

Application Number:	2022/0063	Application Type:	Householder
Proposal:	Single storey gable extension to existing dormer bungalow	Location:	5 Philips Road, Weir Bacup OL13 8RH
Report of:	Planning Manager	Status:	For Publication
Report to:	Development Control Committee	Date:	March 2023
Applicant:	Mr David Usher	Determination Expiry Date:	31.03.23
Agent:	Edmondson Design Services		

Contact Officer:	Caroline Callow	Telephone:	01706 252432
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	
Member Call-In Name of Member: Reason for Call-In:	
3 or more objections received	
Other (please state):	Applicant related to member of staff

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications

arising from the following rights:

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

That Permission be approved subject to the conditions set out in Section 10 of the Report.

2. The Site

The application concerns a 3 bedroomed, semi detached dwelling constructed of brick under a tiled roof. It is on the north side of Phillips Road facing south along Nicola Close. It is located within the Urban Boundary

3. RELEVANT PLANNING HISTORY

None

4. PROPOSAL

The proposal is to erect a single storey side extension. It would be set back from the main front of the dwelling by 1.23m and would be flush with the rear elevation. It would be set in 0.445m from the side boundary. The roof will have a similar pitch to the existing dwelling and would have a roof window in the front and the rear elevation. The extension would be constructed with bricks, concrete tiles and white UPVC windows to match the existing.

The extension will provide a study, utility room and extended kitchen diner.

5. POLICY CONTEXT

National

National Planning Policy Framework

- Section 2 Achieving Sustainable Development
- Section 5 Delivering a Sufficient Supply of Homes
- Section 9 Promoting Sustainable Transport
- Section 11 Making Effective Use of Land
- Section 12 Achieving Well Designed Places
- Section 14 Meeting the Challenge of Climate Change, etc
- Section 15 Conserving and Enhancing the Natural Environment

Development Plan

Rossendale Local Plan 2019-2036

- Spatial Strategy SS - Suitability of the site, its sustainability and the needs of the local area
- SD1 - Presumption in Favour of Sustainable Development
- SD2 Urban Boundary and Green Belt
- HS1 – Meeting Rossendale’s Housing Requirements
- HS8 – Private Outdoor Amenity Space
- ENV1- High Quality Development in the Borough
- TR4- Parking

Other Material Planning Policy Considerations

- National Planning Practice Guidance
- RBC Alterations and Extensions to Residential Properties SPD

6. CONSULTATION RESPONSES

LCC Highways – No objection

7. NOTIFICATION RESPONSES

To accord with the General Development Procedure Order, 6 neighbours were notified by letter on 10th February 2023.

One representations have been received from an adjoining property supporting the proposal.

8. ASSESSMENT

The main considerations in this case are as follows

Principle

- 1) Principle
- 2) Visual Amenity
- 3) Neighbour Amenity
- 4) Access/Parking
- 5) Ecology
- 6) Contamination

1) Principle

The application site is located within the Urban Boundary and the principle of the development is therefore considered acceptable.

2. Visual Amenity

The submitted drawings indicate that the extension will be built with a matching pitched roof and of brick and concrete tiles and upvc windows. These materials would be considered appropriate in this location and will ensure a satisfactory appearance to the development. The proposed coherent design is considered to be acceptable. The extension is set back from the main front elevation and set in from the boundary by 0.445m. It will not therefore result in a terracing effect with the adjoining property

3. Neighbour Amenity

Having regard to the proposed siting, orientation and design of the scheme, it is not considered that the proposed extension will have an unduly harmful impact on the privacy, outlook, daylight or other amenities enjoyed by residents of adjoining properties.

The proposed extension will be set behind one small ground floor window serving a toilet and will be opposite two small windows one at ground floor and one at first floor serving a hallway and landing. These are not considered habitable rooms. The proposal is therefore considered to comply with the separation distances set down the Alterations and Extensions to Residential Properties SPD.

Based upon the above, the development is considered to be acceptable in terms of neighbour amenity.

4. Highways

The Highway Development Control Section of Lancashire County Council has no objections to the planning application and is of the opinion that the proposal should have a negligible impact on highway safety and highway capacity within the immediate vicinity of the site.

9. CONCLUSION

The proposed development would be acceptable in principle and would not be detrimental to residential amenity, visual amenity or highway safety.

10. RECOMMENDATION

Approve subject to the following conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: Required by Section 51 of the Planning and Compulsory Purchase 2004 Act.

2. The development shall be carried out in accordance with the following:

- Planning application forms signed and dated 02/02/23.
- The submitted plans:
 - Existing and Proposed Plans and Elevations drawing No. 2022/87-01 Rev B received 03/02/2023;
 - Location Plan received 03/02/2023;

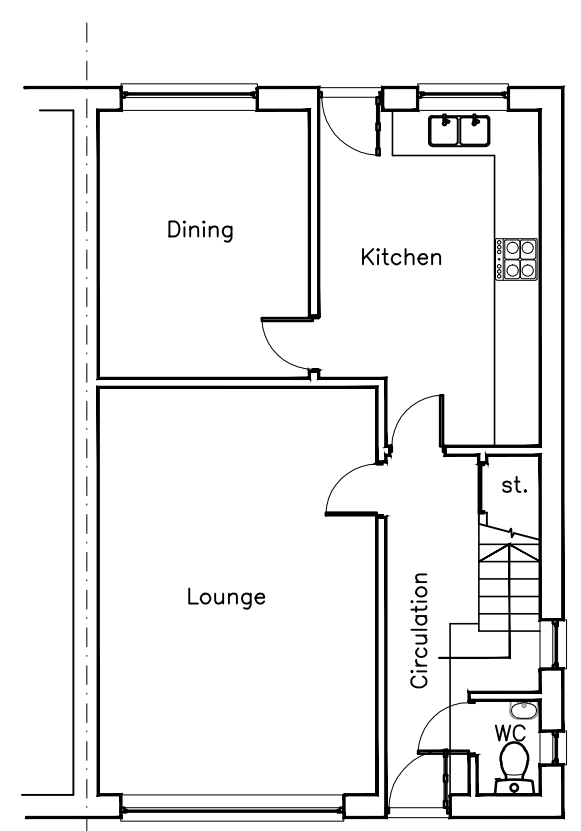
Reason: To define the permission and in the interests of the proper development of the site.

3. No materials shall be used on the external elevations or roof of the proposed development other than those referred to on the approved plans and that match the existing dwelling.

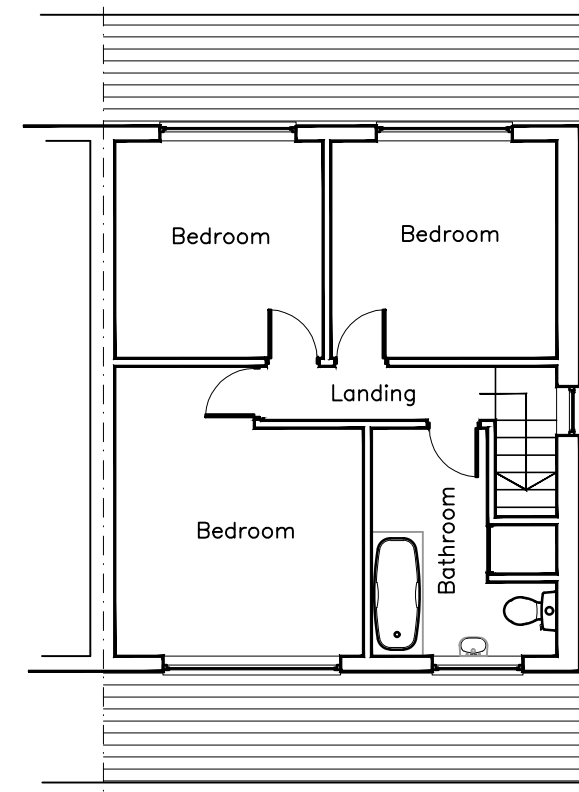
Reason: In the interests of visual amenity of the area and ensuring that the appearance of the development is acceptable.

Informative

1. The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.



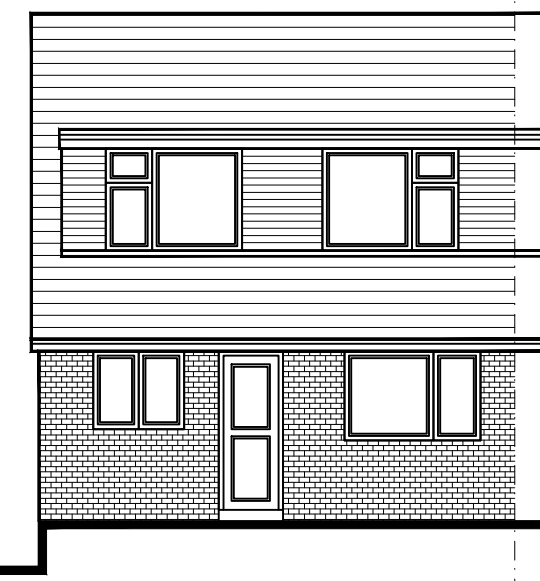
Existing Ground Floor Plan (1:100)



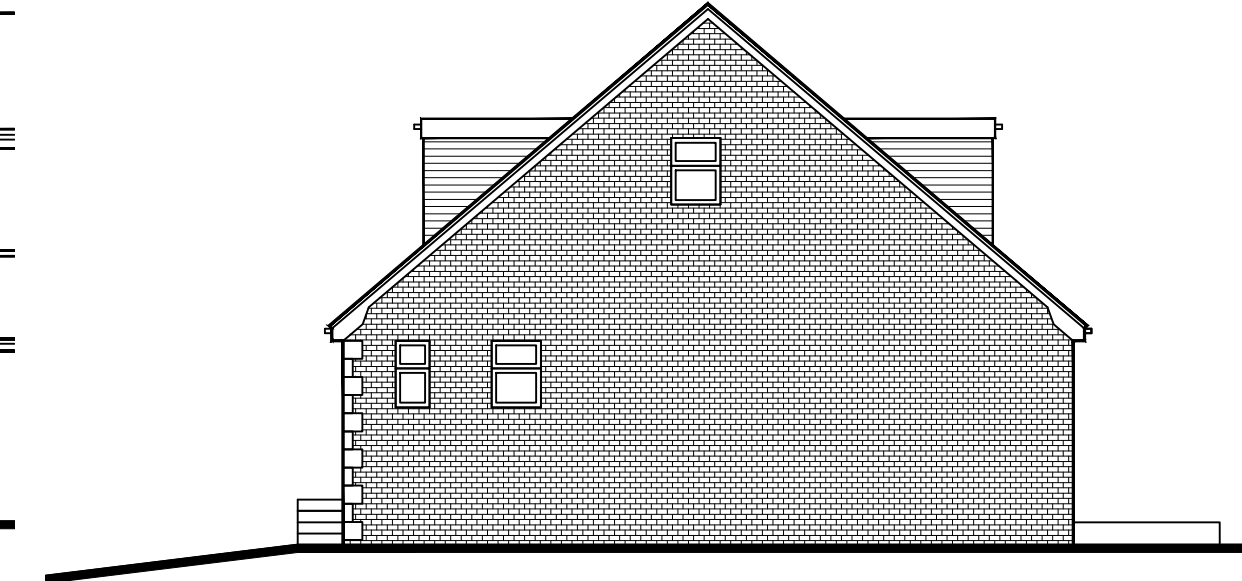
Existing First Floor Plan (1:100)



Existing Front Elevation (1:100)



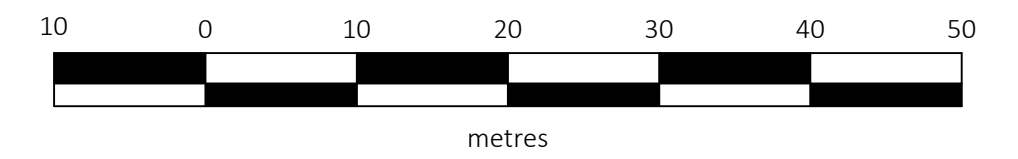
Existing Rear Elevation (1:100)



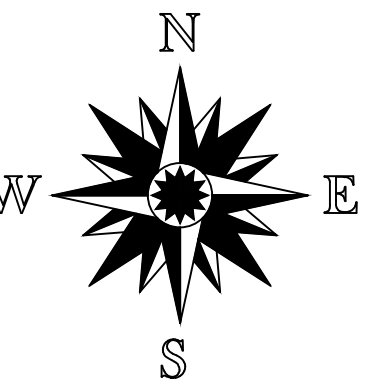
Existing Gable Elevation (1:100)



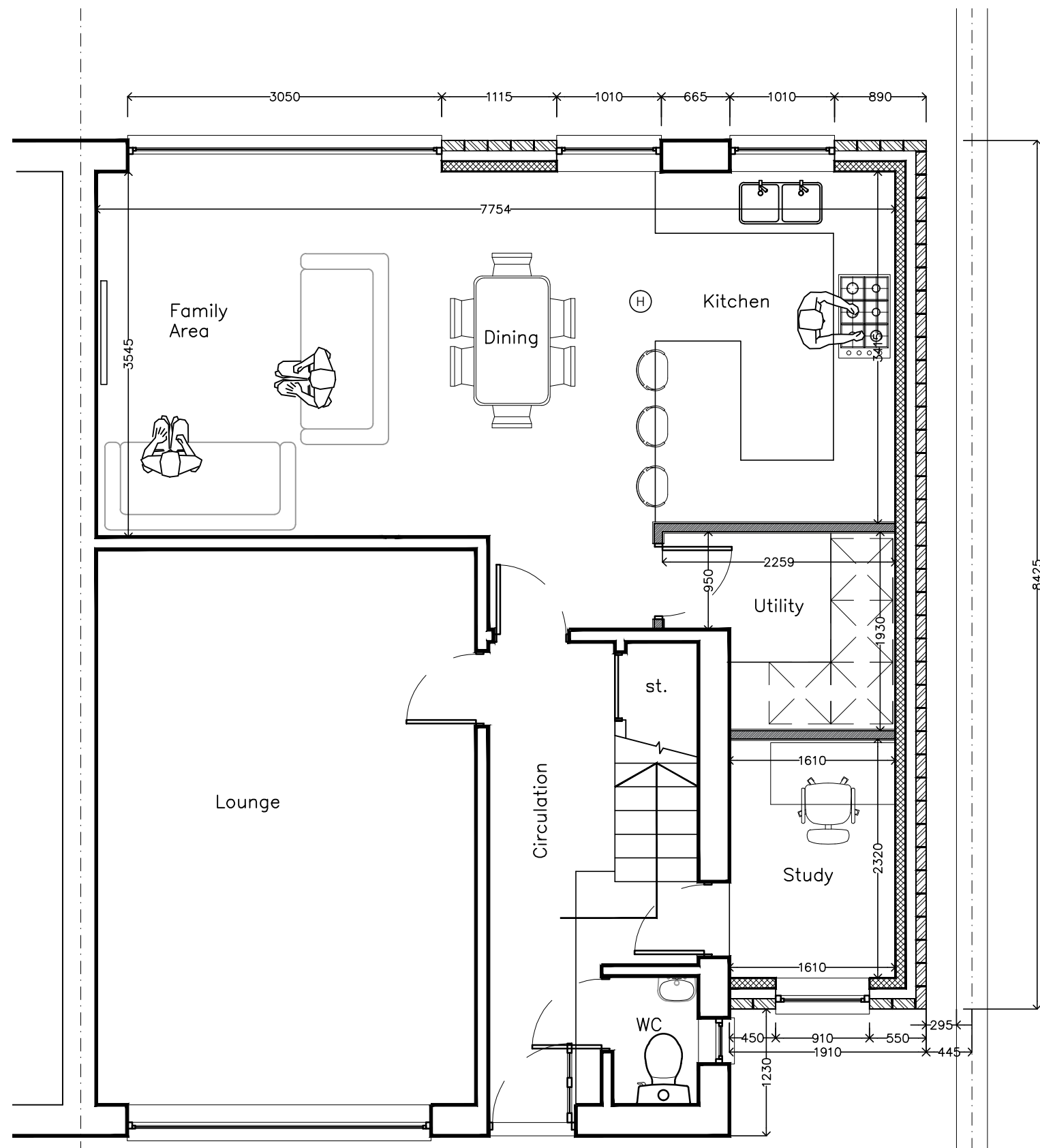
DO NOT SCALE



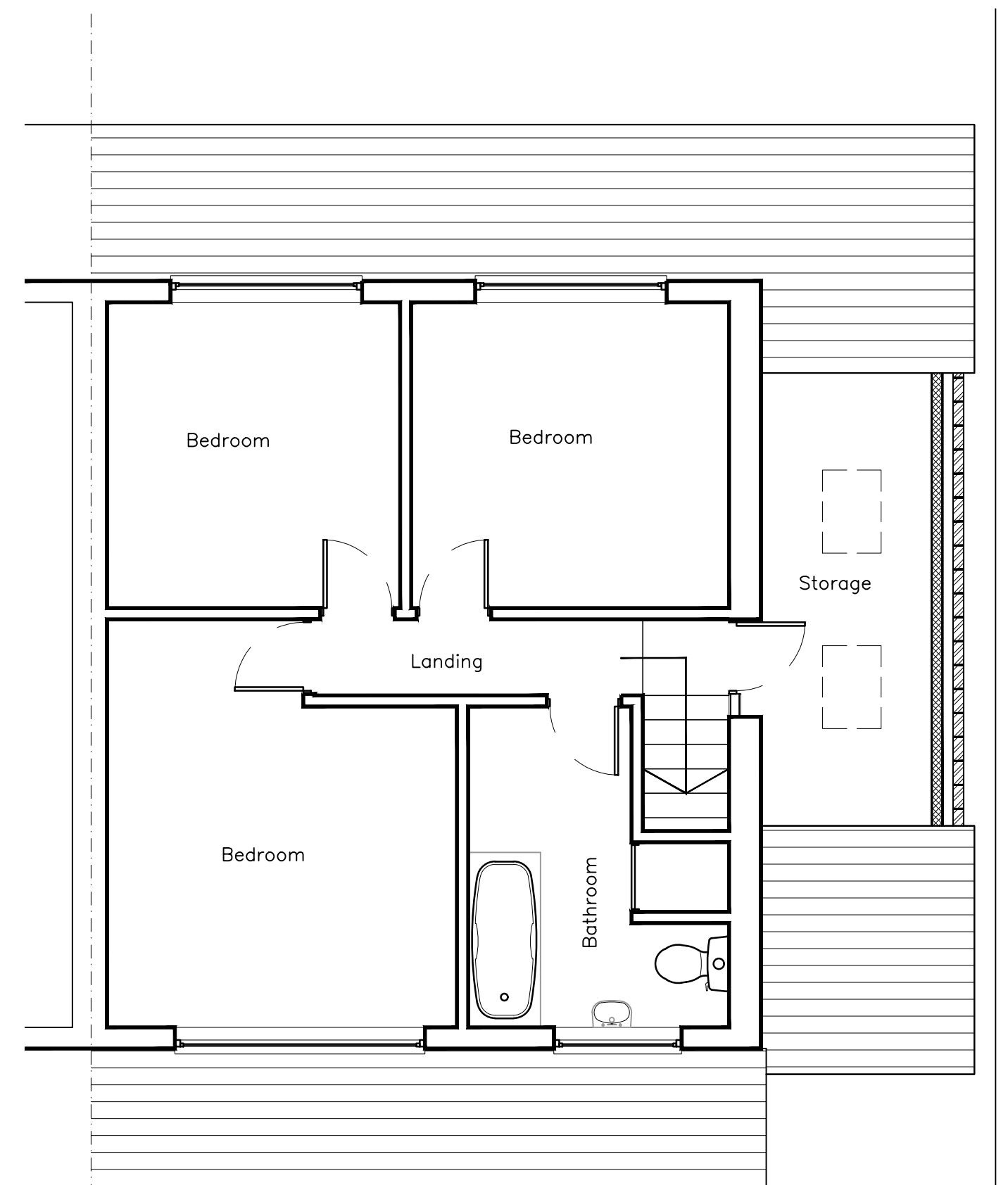
Site Plan (1:500)



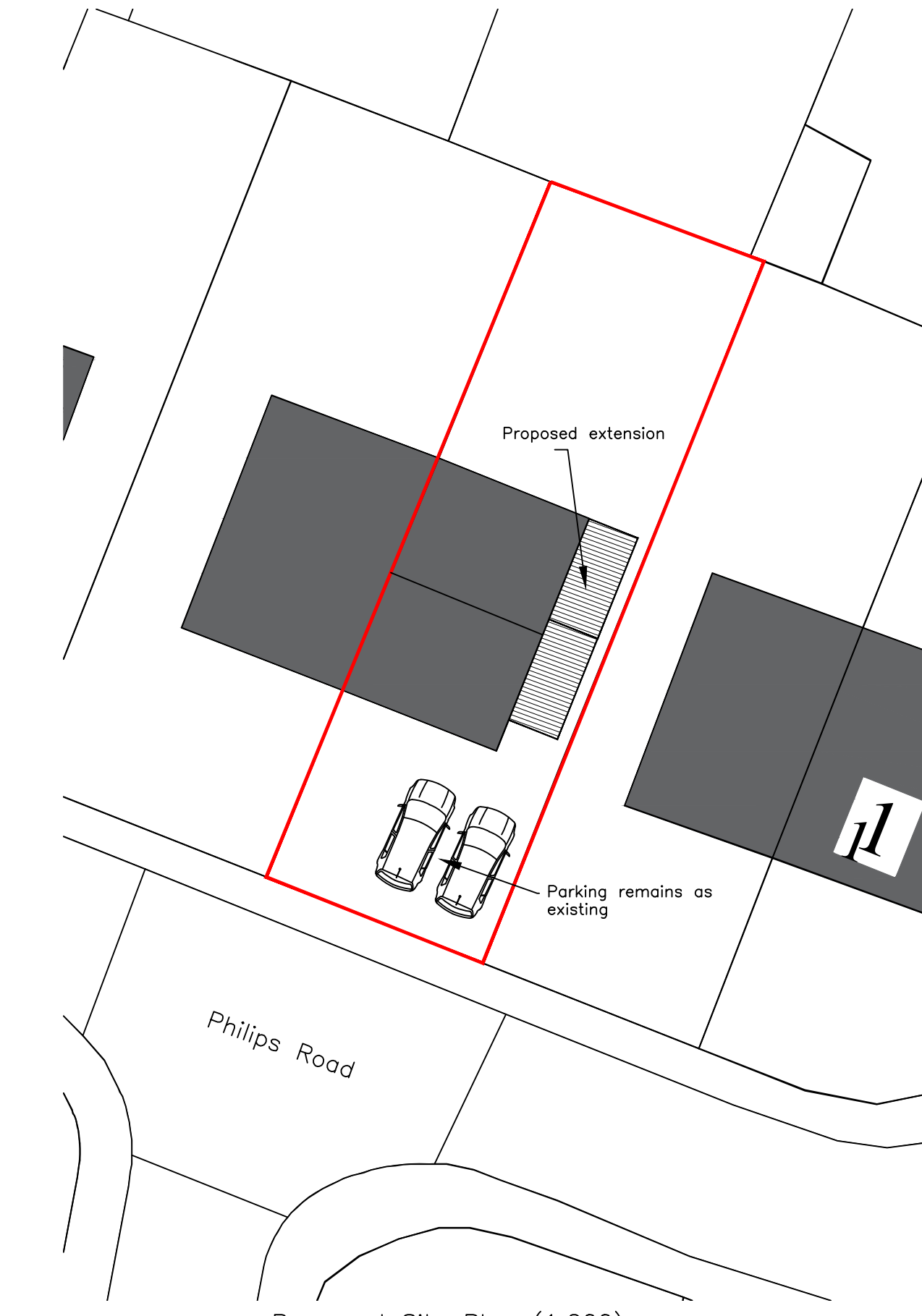
For Planning Purposes Only



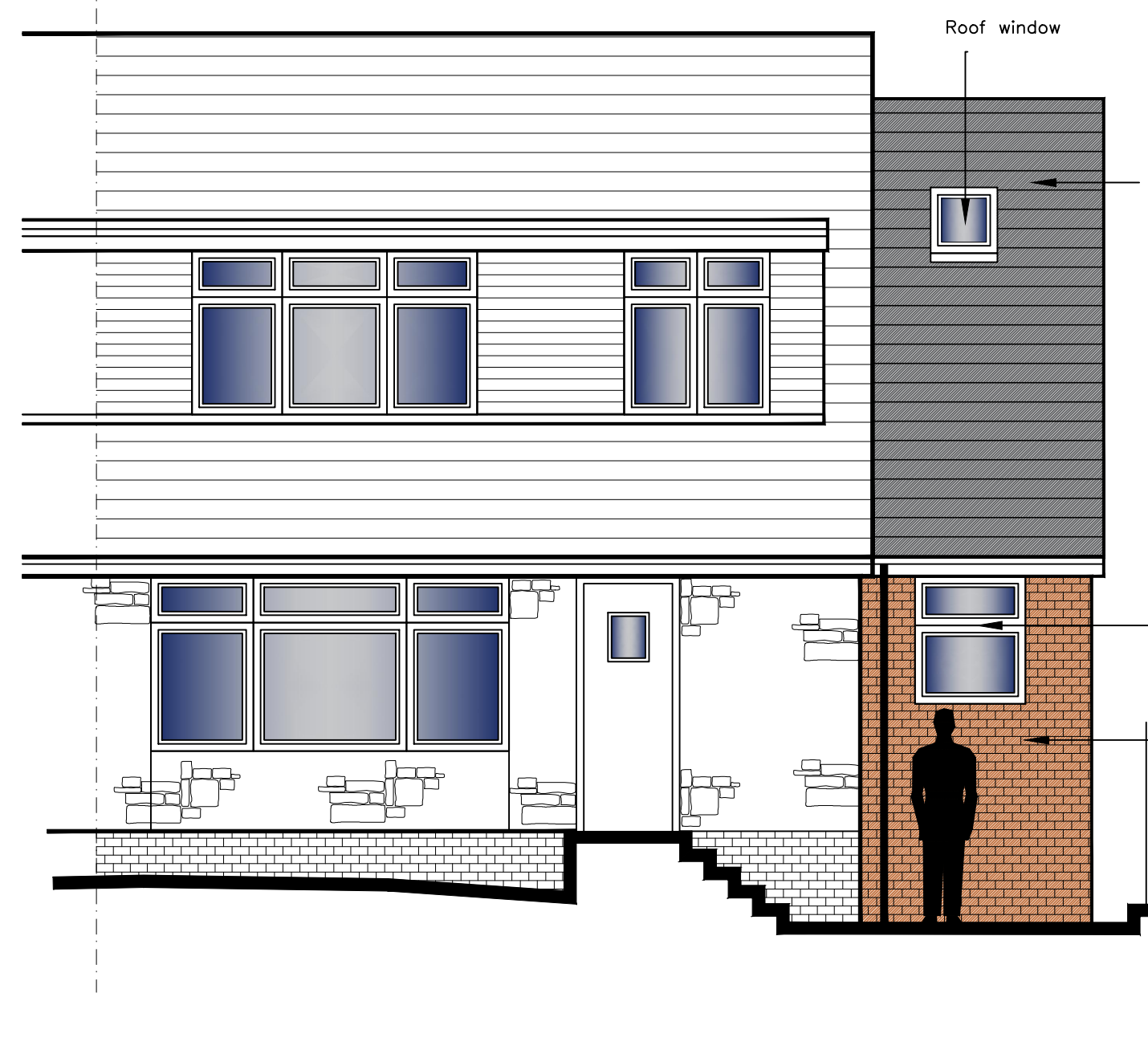
Proposed Ground Floor Plan (1:50)



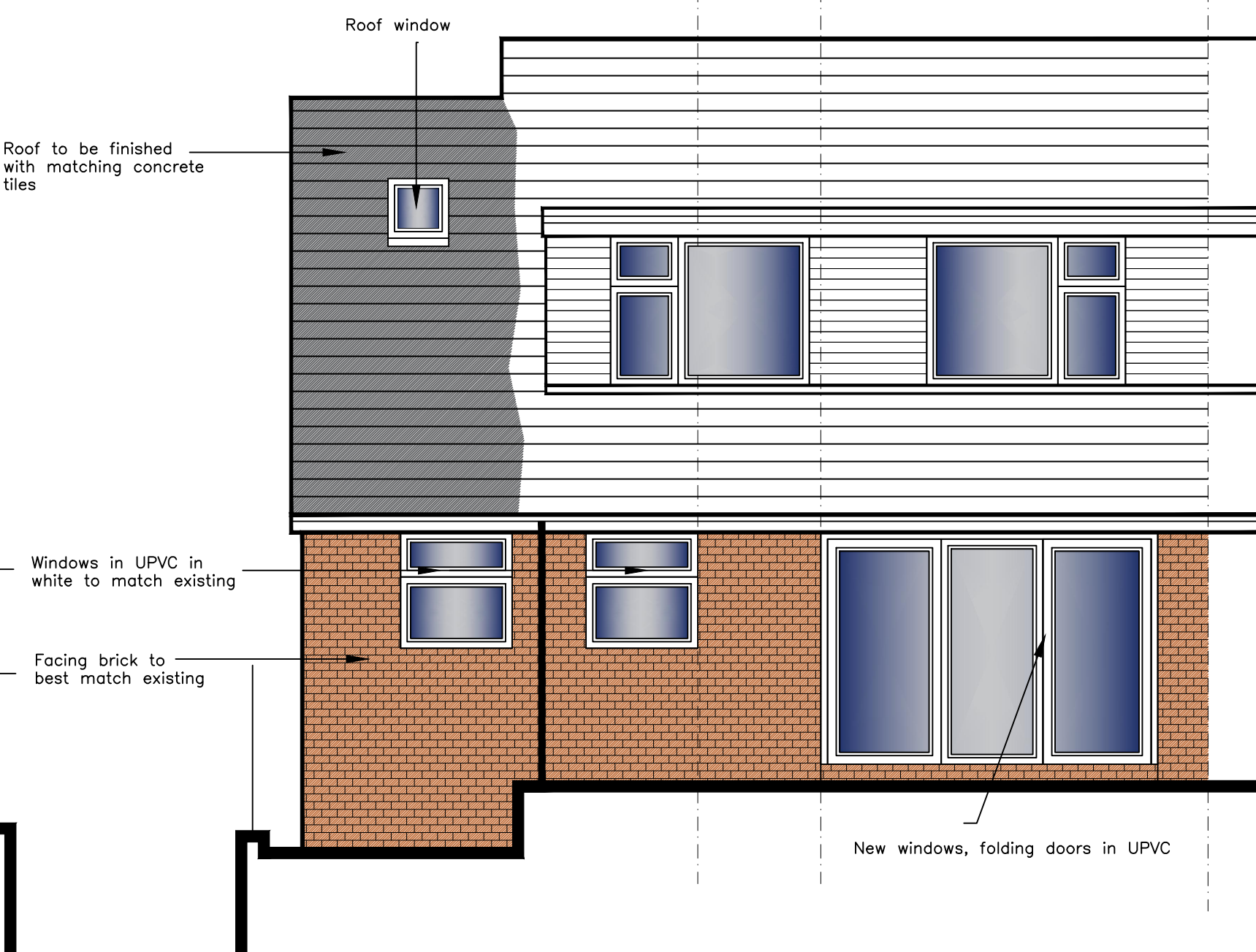
Proposed First Floor Plan (1:50)



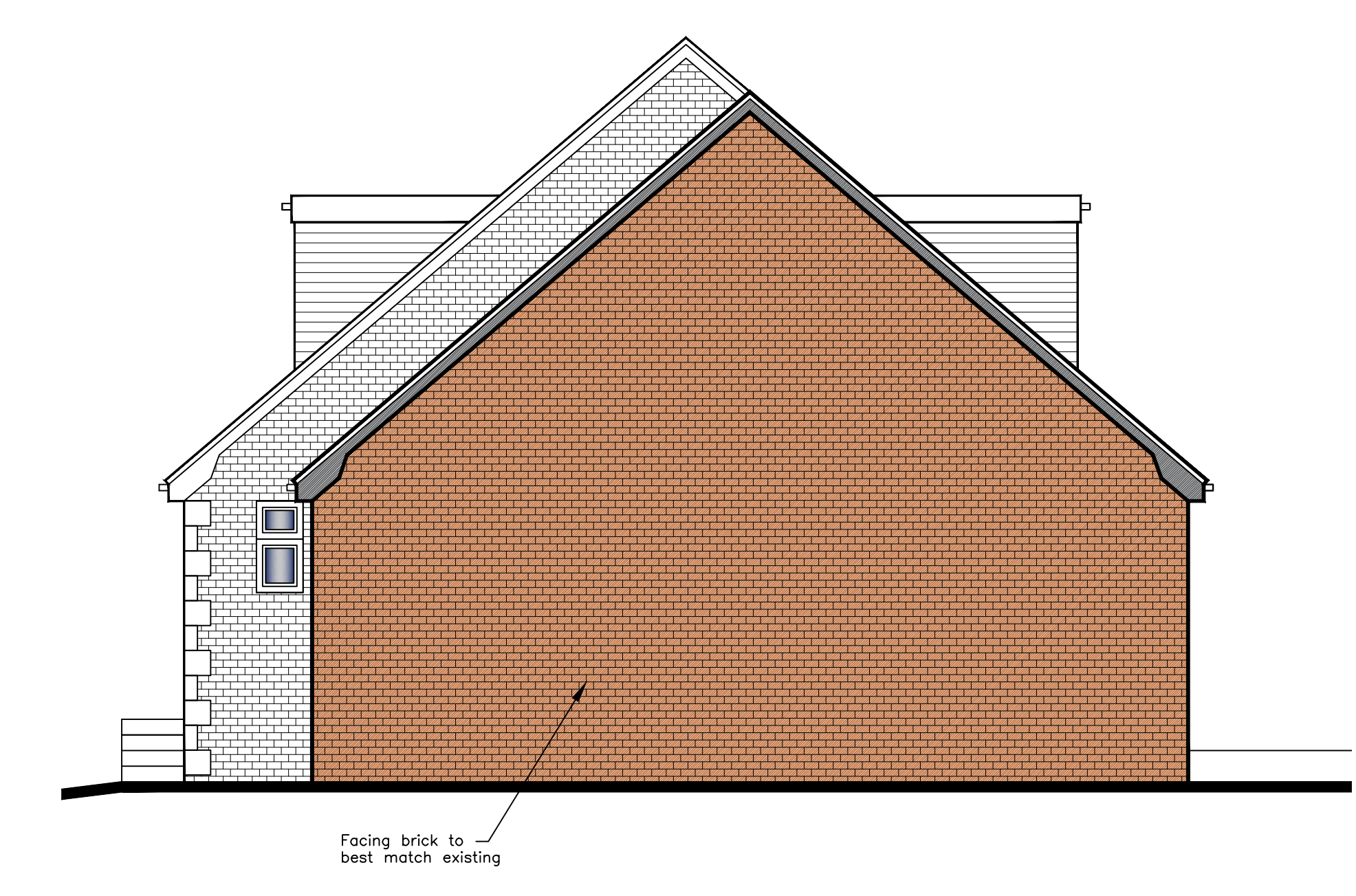
Proposed Site Plan (1:200)



Proposed Front Elevation (1:50)



Proposed Rear Elevation (1:50)



Proposed Gable Elevation (1:50)

Client							
Mr David Usher							
Project							
Single storey gable extension at 5 Philips Road, Weir OL13 8RH							
Job No.	Area	File Ref					
2022/87							
Title							
Existing & Proposed Plans & Elevations							
2022/87-01		rev.	B				
Date	Drn.	Scale	Checked				
09.01.23	B. Edmondson	AS Noted@A1					
				20 Fernhill Drive			
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				Lancashire			
				OL13 8JS			
tel 01706 870944							
mob: 07528809176							
e:info@eds20.co.uk							

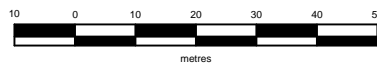
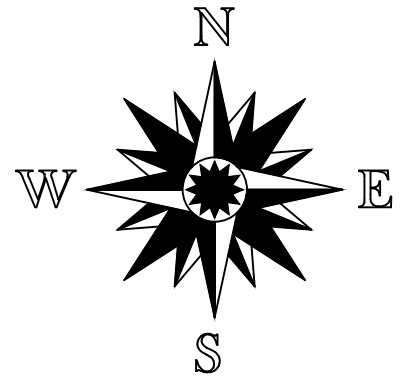
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Project: 5 Philips Road, Weir, Bacup OL13 8RH

Project No.: 2022-87

Title: OS Site Plan

Scale: 1:1250@A4



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