

**Welcome to  
Rossendale Borough Council's  
Development Control Committee  
21<sup>st</sup> March 2023**

# **Item B1**

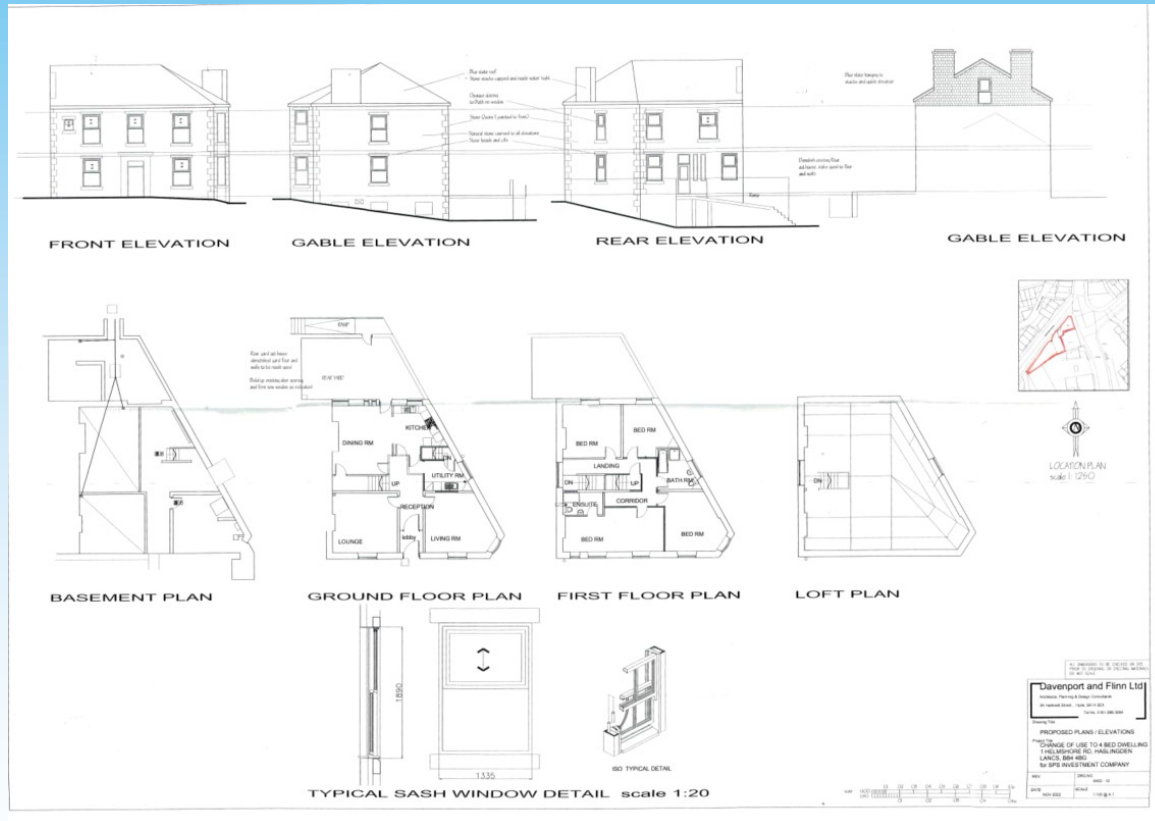
**2022/0587– 1 Helmshore Road,  
Haslingden, Rossendale, Lancashire**

**Change of use from Sui Generis to Residential  
House and Parking and Garden Space**

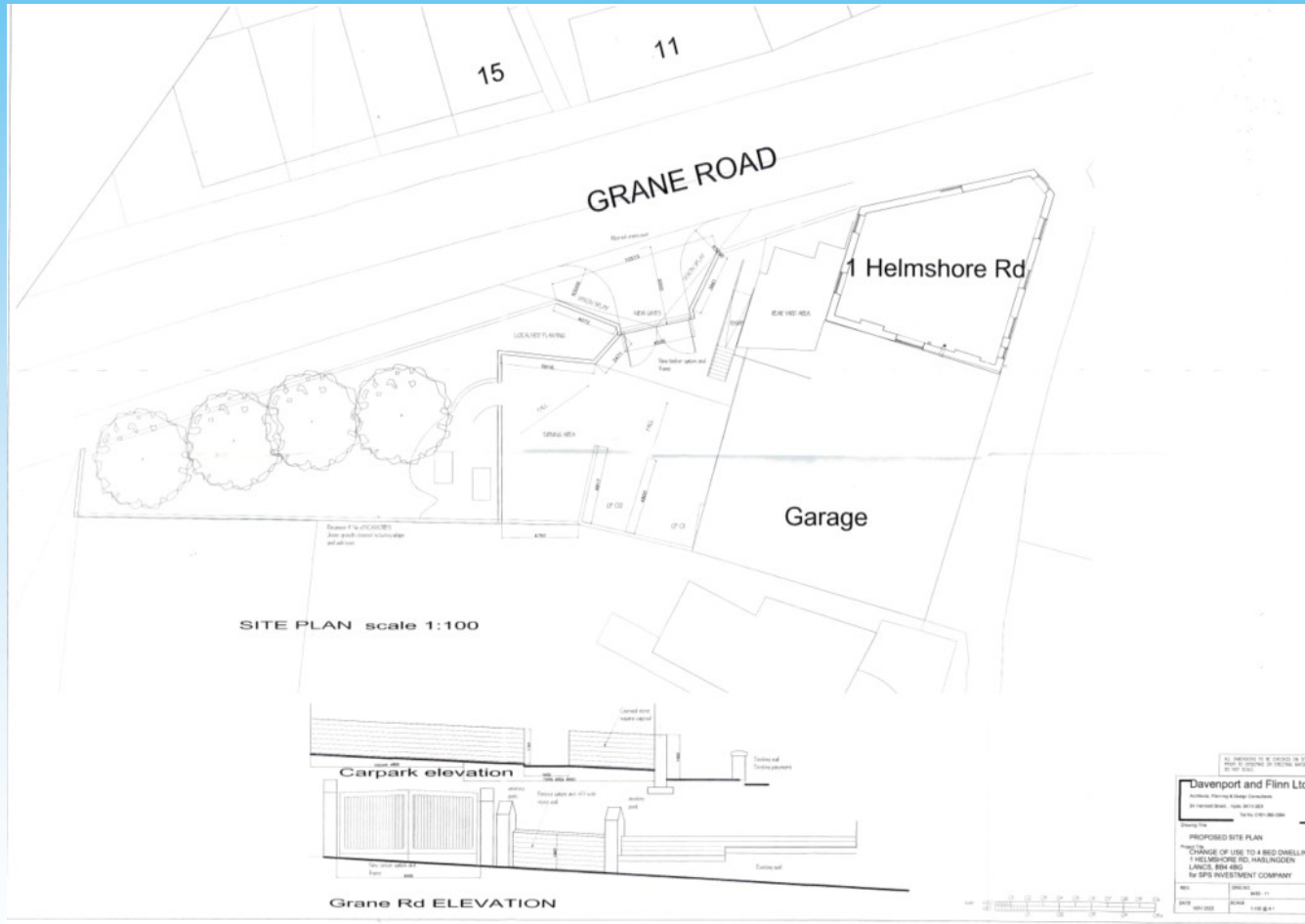
# Location Plan



# Proposed Plans and Elevations



# Proposed Site Plan



# PHOTOGRAPH



# PHOTOGRAPH



## **Item B2**

**2023/0063– 5 Philips Road, Weir, Bacup,  
Lancashire, OL13 8RH**

**Householder: Single storey gable  
extension to existing dormer bungalow**



# OS Site Plan

Project: 5 Philips Road, Weir, Bacup OL13 8RH

Project No.: 2022-87

Title: OS Site Plan

Scale: 1:1250@A4



20 Fernhill Drive  
Stacksteads, Bacup  
Lancashire  
OL13 8JS  
mob: 07528809178  
tel 01706 870944  
e: ben@eds20.co.uk



# Existing and Proposed Plans and Elevations



# Photograph



# Photograph



# Photograph



## **Item B3**

**2022/0489 – Land to the rear of 41  
Highfield Park, Haslingden, Rossendale,  
BB4 4BH**

**Part retrospective planning submission for the erection of 2no. detached dwellings with associated parking and landscaping at a site to the north of 41 Highfield Park, Haslingden. The proposals also include a retaining wall dressed with stone/timber fencing.**

# Drawing - Landscaping

## SPECIFICATION

**General**  
 The contractor shall be responsible for the design and construction of the landscaping works shown on the drawings. The contractor shall ensure that the landscaping works are completed in accordance with the specification and the drawings. The contractor shall ensure that the landscaping works are completed in accordance with the specification and the drawings.

**Planting**  
 The contractor shall ensure that the plants are planted in accordance with the specification and the drawings. The contractor shall ensure that the plants are planted in accordance with the specification and the drawings.

**Soil**  
 The contractor shall ensure that the soil is suitable for the plants. The contractor shall ensure that the soil is suitable for the plants.

**Watering**  
 The contractor shall ensure that the plants are watered in accordance with the specification and the drawings. The contractor shall ensure that the plants are watered in accordance with the specification and the drawings.

**Maintenance**  
 The contractor shall ensure that the plants are maintained in accordance with the specification and the drawings. The contractor shall ensure that the plants are maintained in accordance with the specification and the drawings.

**Access**  
 The contractor shall ensure that the plants are accessible in accordance with the specification and the drawings. The contractor shall ensure that the plants are accessible in accordance with the specification and the drawings.

**Drainage**  
 The contractor shall ensure that the plants are drained in accordance with the specification and the drawings. The contractor shall ensure that the plants are drained in accordance with the specification and the drawings.

**Lighting**  
 The contractor shall ensure that the plants are lit in accordance with the specification and the drawings. The contractor shall ensure that the plants are lit in accordance with the specification and the drawings.

**Security**  
 The contractor shall ensure that the plants are secured in accordance with the specification and the drawings. The contractor shall ensure that the plants are secured in accordance with the specification and the drawings.

**Insurance**  
 The contractor shall ensure that the plants are insured in accordance with the specification and the drawings. The contractor shall ensure that the plants are insured in accordance with the specification and the drawings.

**Warranty**  
 The contractor shall ensure that the plants are warranted in accordance with the specification and the drawings. The contractor shall ensure that the plants are warranted in accordance with the specification and the drawings.



## PLANT SCHEDULE

**PLANT SCHEDULE**

The contractor shall be responsible for the design and construction of the landscaping works shown on the drawings. The contractor shall ensure that the landscaping works are completed in accordance with the specification and the drawings. The contractor shall ensure that the landscaping works are completed in accordance with the specification and the drawings.

NO.	DESCRIPTION	TYPE	FORM	QTY	UNIT	DATE	REVISION	BY
01	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
02	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
03	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
04	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
05	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
06	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
07	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
08	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
09	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
10	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
11	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
12	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
13	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
14	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
15	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
16	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
17	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
18	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
19	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						
20	Planting schedule to be provided for all trees to be planted in accordance with Part 2 Land Plat 2	Tree						

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3. The contractor shall ensure that the soil is suitable for the plants. The contractor shall ensure that the soil is suitable for the plants.

4. The contractor shall ensure that the plants are watered in accordance with the specification and the drawings. The contractor shall ensure that the plants are watered in accordance with the specification and the drawings.

5. The contractor shall ensure that the plants are maintained in accordance with the specification and the drawings. The contractor shall ensure that the plants are maintained in accordance with the specification and the drawings.

6. The contractor shall ensure that the plants are accessible in accordance with the specification and the drawings. The contractor shall ensure that the plants are accessible in accordance with the specification and the drawings.

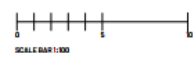
7. The contractor shall ensure that the plants are drained in accordance with the specification and the drawings. The contractor shall ensure that the plants are drained in accordance with the specification and the drawings.

8. The contractor shall ensure that the plants are lit in accordance with the specification and the drawings. The contractor shall ensure that the plants are lit in accordance with the specification and the drawings.

9. The contractor shall ensure that the plants are secured in accordance with the specification and the drawings. The contractor shall ensure that the plants are secured in accordance with the specification and the drawings.

10. The contractor shall ensure that the plants are insured in accordance with the specification and the drawings. The contractor shall ensure that the plants are insured in accordance with the specification and the drawings.

11. The contractor shall ensure that the plants are warranted in accordance with the specification and the drawings. The contractor shall ensure that the plants are warranted in accordance with the specification and the drawings.

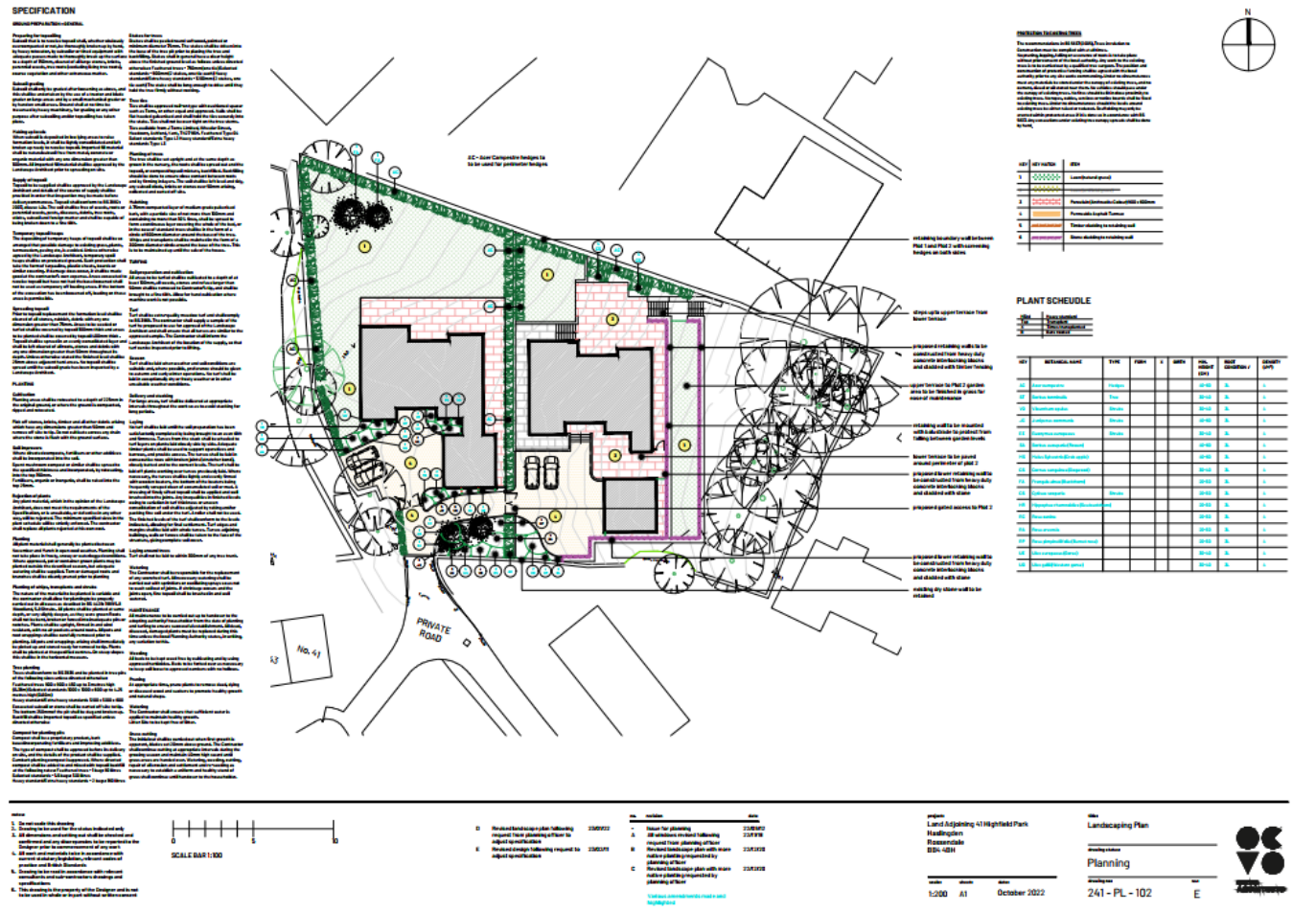


NO.	DESCRIPTION	DATE
0	Issue for planning	23/09/22
1	Issue for planning	23/09/22
2	Issue for planning	23/09/22
3	Issue for planning	23/09/22
4	Issue for planning	23/09/22
5	Issue for planning	23/09/22
6	Issue for planning	23/09/22
7	Issue for planning	23/09/22
8	Issue for planning	23/09/22
9	Issue for planning	23/09/22
10	Issue for planning	23/09/22
11	Issue for planning	23/09/22
12	Issue for planning	23/09/22
13	Issue for planning	23/09/22
14	Issue for planning	23/09/22
15	Issue for planning	23/09/22
16	Issue for planning	23/09/22
17	Issue for planning	23/09/22
18	Issue for planning	23/09/22
19	Issue for planning	23/09/22
20	Issue for planning	23/09/22

Project: Land Adjacency 41 Highfield Park, Haddington  
 Requested: EDC 4211  
 Date: 23/09/22  
 Scale: 1:200  
 Drawing No: 241 - PL - 102  
 Date: October 2022  
 Revision: E

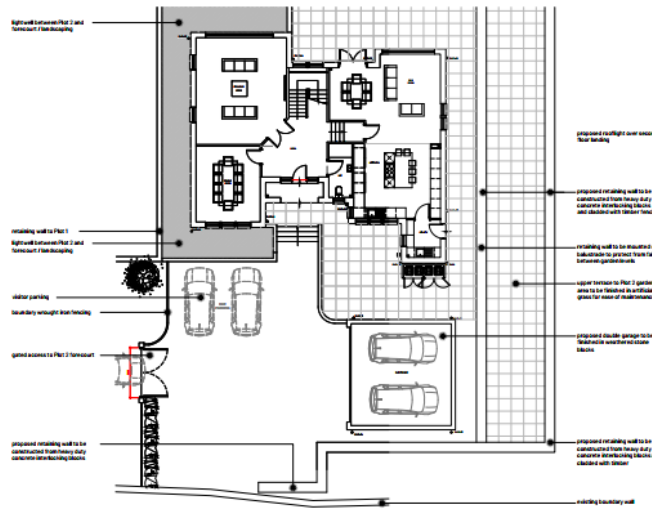


# Drawing – Plot 1

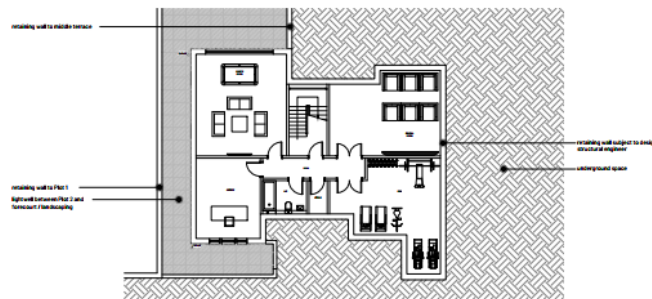




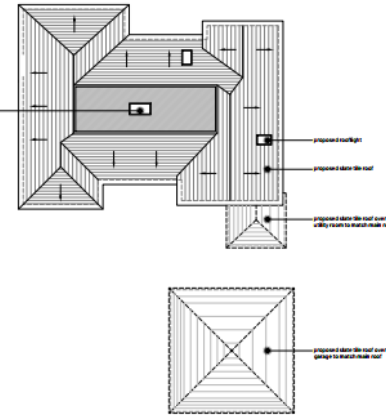
# Drawing – Plot 2



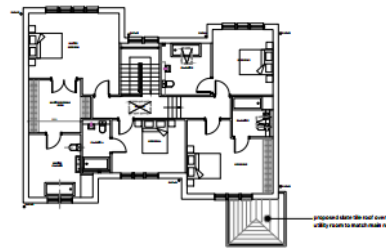
GROUND FLOOR



BASEMENT



ROOF



FIRST FLOOR

- Notes
1. Do not scale this drawing
  2. Consult the architect for the latest specifications
  3. All dimensions and settings are checked, checked and confirmed and any other questions to be referred to the architect prior to the start of any work
  4. All work shall be done in accordance with the current building regulations and any other applicable standards
  5. Existing structures are shown with solid lines and new structures and alterations with dashed lines
  6. The drawings are prepared by the Designer and shall be issued to the client or the contractor without liability

Key

Site boundary

Issue for planning 23/09/21



Land Adjacent to 41 Highfield Park  
Huddersfield  
Rosenstraße  
SD14 4JN

Plot 2  
Proposed Basement, Ground, First  
Floor & Roof Plan

1:100 A1 September 2021

Planning

241 - PL - 101

# Drawing



1. Smooth



2. Handmade grey weathered stone



3. Black UPVC windows with integrated

1. To be used for the drawing
2. To be used for the roof for the entire site boundary
3. To be used for the walls for the entire site boundary
4. To be used for the windows for the entire site boundary
5. To be used for the doors for the entire site boundary
6. To be used for the ground for the entire site boundary
7. To be used for the site boundary for the entire site boundary
8. To be used for the site boundary for the entire site boundary

**Key**  
 Site boundary



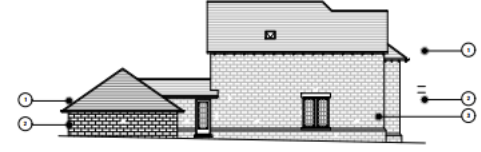
FRONT ELEVATION



SIDE ELEVATION




REAR ELEVATION



SIDE ELEVATION  
(TO PLOT 2)

Site plan for planning 21964



Land Adjacent to 41 Highfield Park  
 HighWyton  
 Leicestershire  
 LE14 4BH

Plot 1  
 Proposed Elevations

Scale: 1:100  
 Date: 21 September 2022

Planning  
 241-PL-201

# Photograph



# Photograph



# Photograph



# Photograph



# Photograph



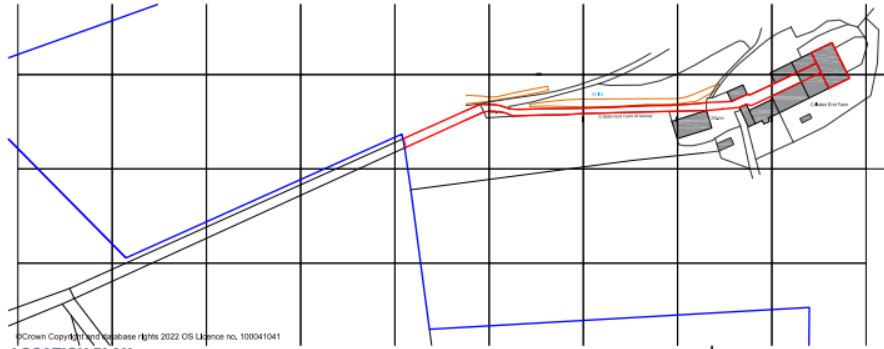
## **Item B4**

**2022/0597 – Cribden End Farm, Cribden Lane, Rawtenstall, Rossendale, BB4 8UD**

**Change of use from agricultural use to a mixed use of agriculture and domestic garaging/storage including the storage of light aircraft for personal use.**



# Location and Block Plan



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**LOCATION PLAN**  
 Scale: 1:12500

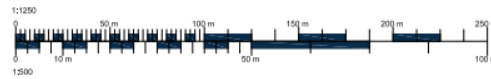


©Crown Copyright and database rights 2022 OS Licence no. 100041041  
**BLOCK PLAN**  
 Scale: 1:8500

**SITE LOCATION**

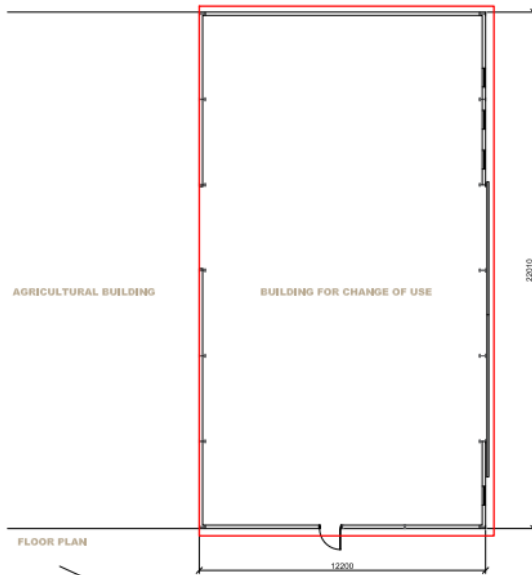


- NOTES:**
1. Use written dimensions only. All dimensions to be checked on site and any discrepancies reported to ACORUS immediately, if in doubt ask.
  2. Where relevant, significant hazards have been identified on the drawing. Hazards which should be obvious to a competent contractor or unforeseeable have not been identified.
  3. This drawing is confidential and remains the exclusive property of ACORUS.
  4. Ordnance Survey Paper Map Copying Licence Number: 100039406.
- © ACORUS Rural Property Services Ltd.

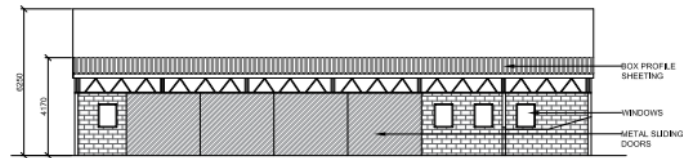


DATE	10/22	BY	EB	CHECKED	AA
TITLE	WHITEHEAD CRIBDEN END FARM BB4 8UD				
SCALE	AS SHOWN	DATE	10/22	DRAWN BY	EB
PROJECT NO.	WCE/AA22/171	REVISION NO.	100_01	ISSUED BY	AA
 acorus acorus.co.uk Planning. Design. Property.					

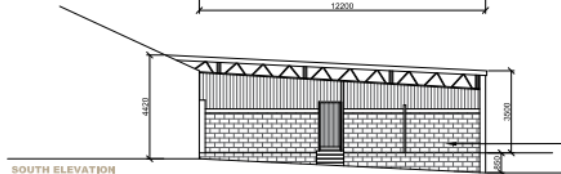
# Existing Building



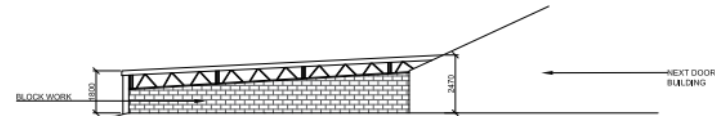
FLOOR PLAN



EAST ELEVATION



SOUTH ELEVATION



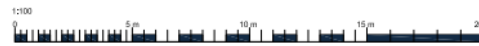
NORTH ELEVATION

FLOOR PLAN & ELEVATIONS

Scale 1:100

**NOTES:**

1. Use written dimensions only. All dimensions to be checked on site and any discrepancies reported to ACORUS immediately. It is deemed safe.
2. Where relevant, significant hazards have been identified on the drawing. Hazards which should be obvious to a competent contractor or assessable have not been identified.
3. This drawing is confidential and remains the exclusive property of ACORUS.
4. Ordnance Survey Paper Map Copying Licence Number: 100039656.



Rev	Date	Description	Scale
001		Issue for Information	1:100

**PROJECT:**  
 WHITEHEAD  
 CRIBDEN END FARM  
 BB4 8UD

**TITLE:**  
 EXISTING BUILDING  
 PLAN & ELEVATIONS

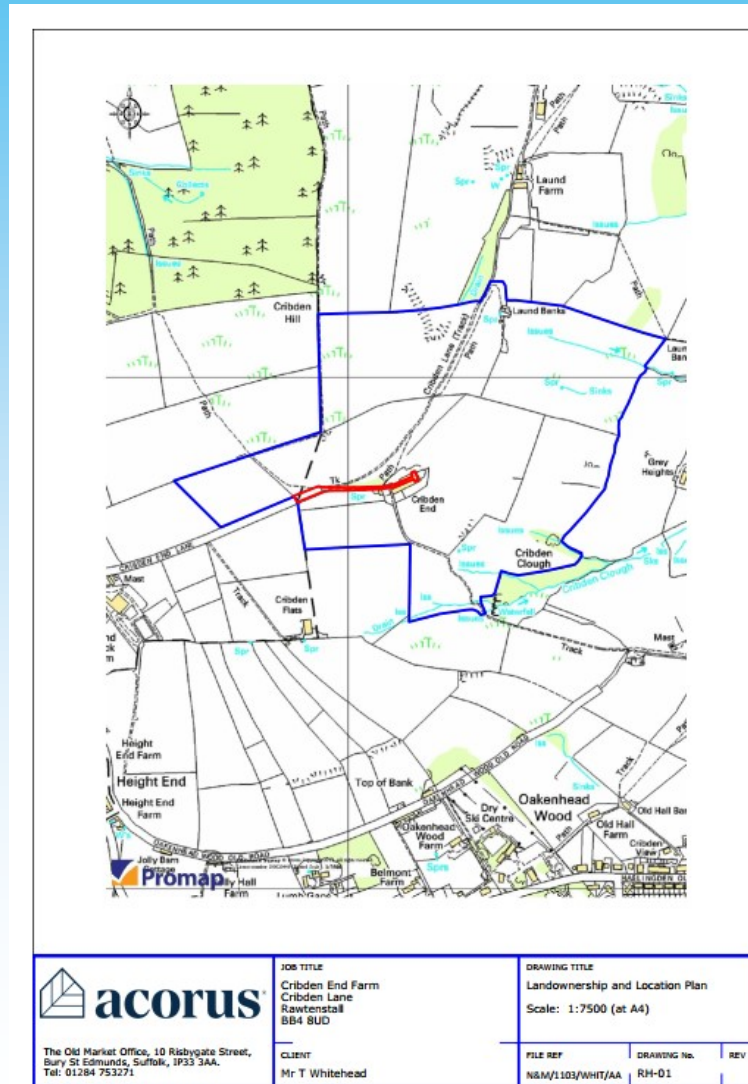
DATE	ISSUED BY	CHECKED BY	SCALE
AS SHOWN 11/22	EB	AA	100_02

**REF NO:** WCE/AA22/171  
**VERSION:** 100\_02



EXISTING

# Landholding and Site Plan



# Photograph



# Photograph



# Photograph



# Photograph

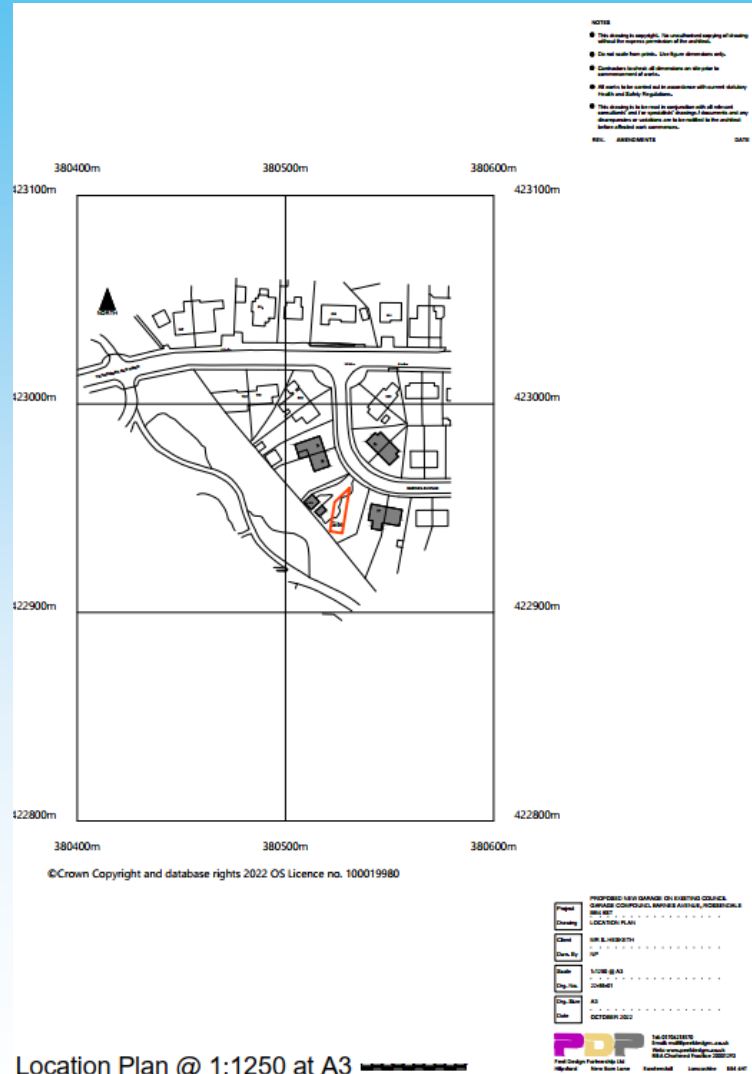


**Item B5**  
**2022/0573 – Land At**  
**Barnes Avenue, Rawtenstall,**  
**Rossendale, Lancashire**

**Full - Construction of a garage and  
extension of existing access way**

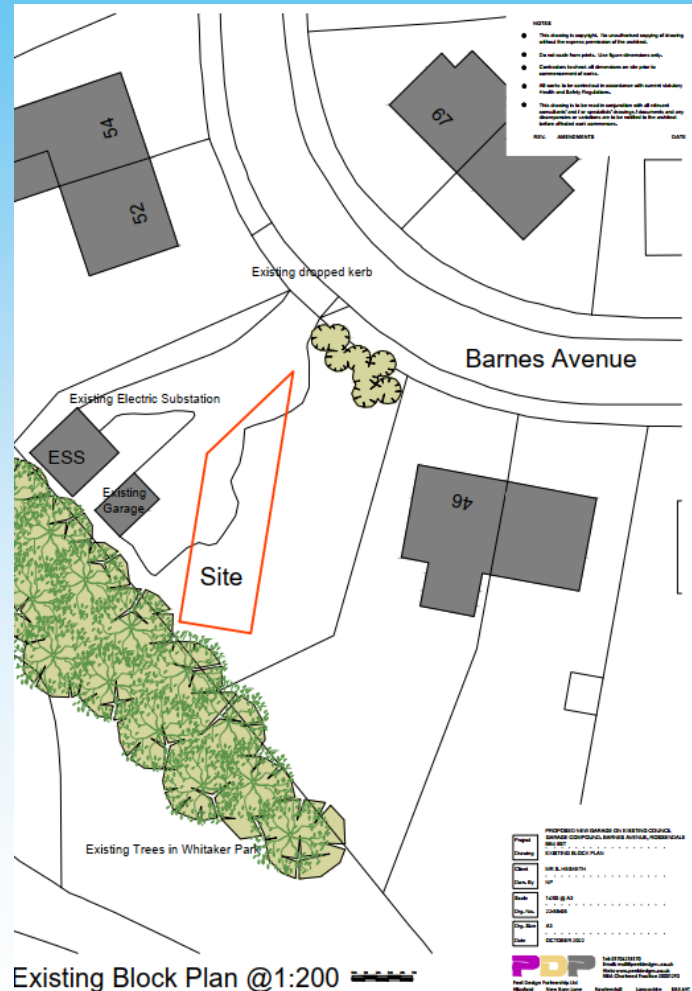


# Location Plan

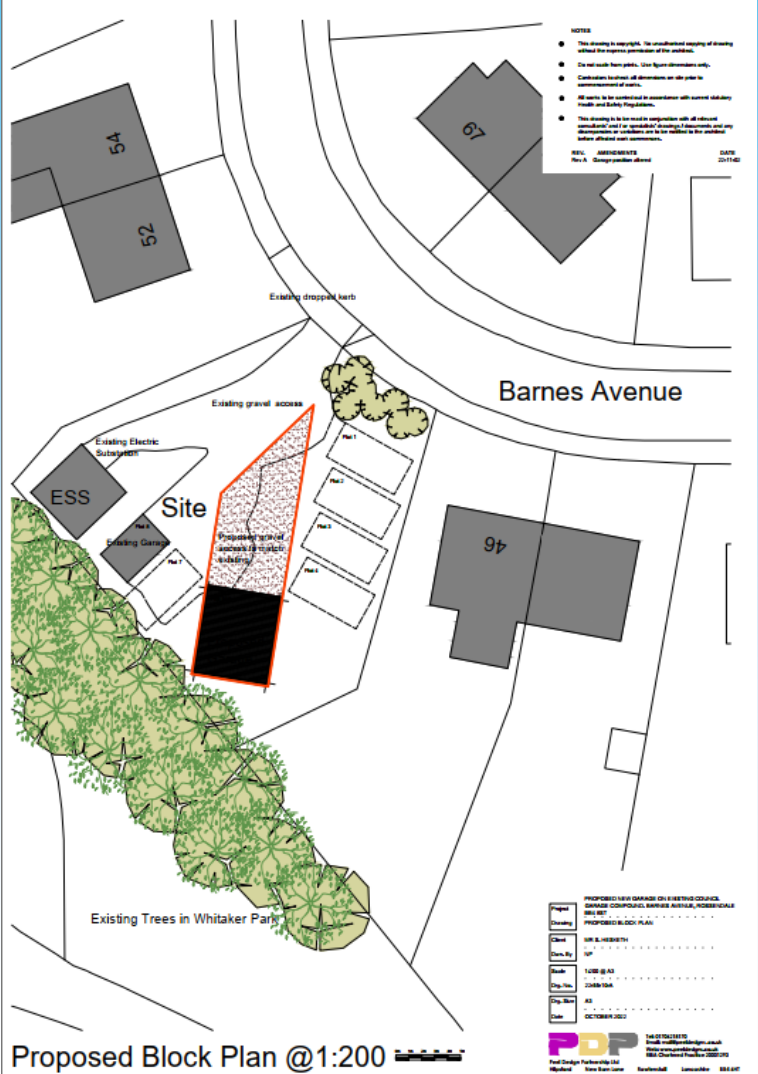


Location Plan @ 1:1250 at A3

# Existing Block Plan

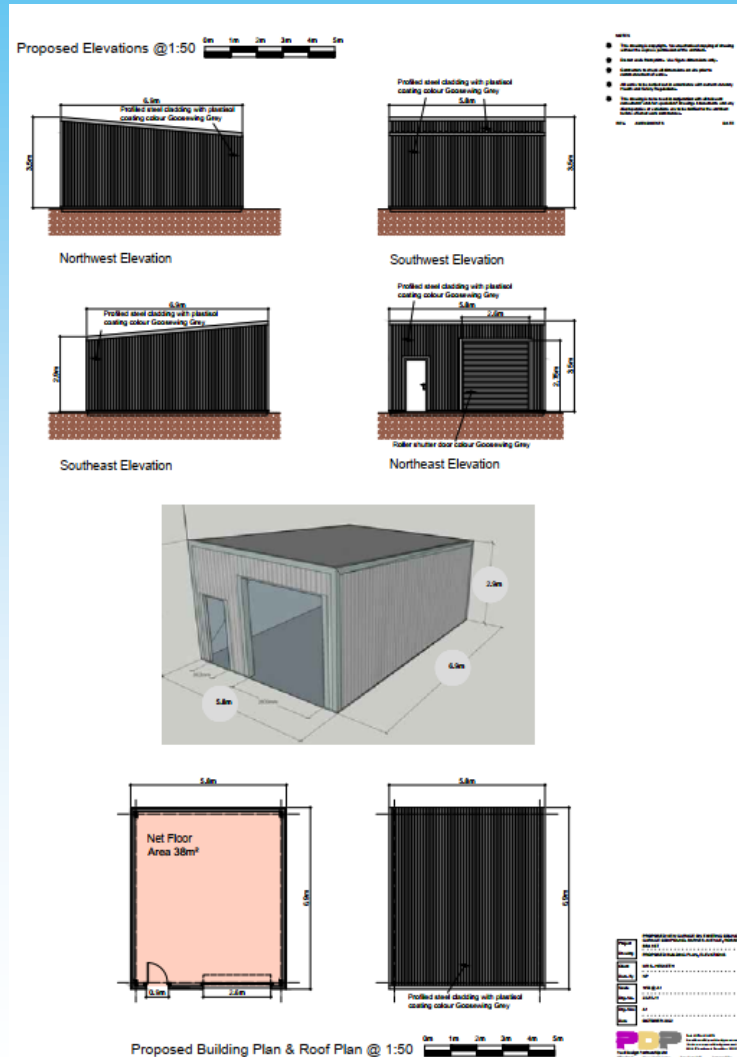


# Proposed Block Plan



Proposed Block Plan @1:200

# Proposed Garage Plan and Elevations



# Photograph



# Photograph



# Photograph



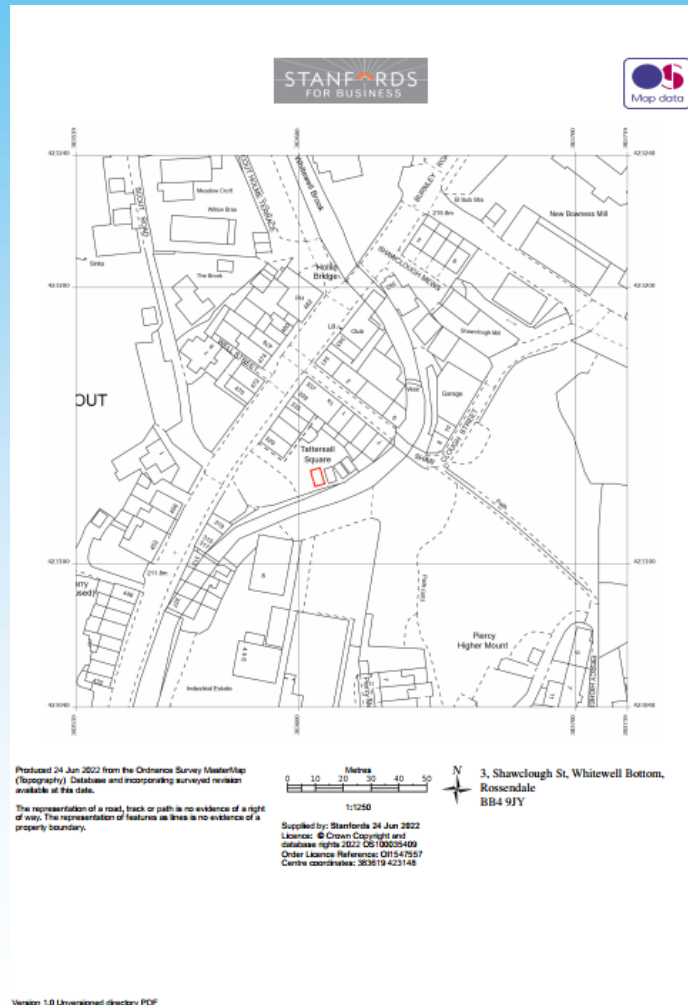
## **Item B6**

**2022/0464 – Garage Site, Shawclough  
Street / Off Burnley Road East, Scout  
Bottom, Rossendale, Lancashire**

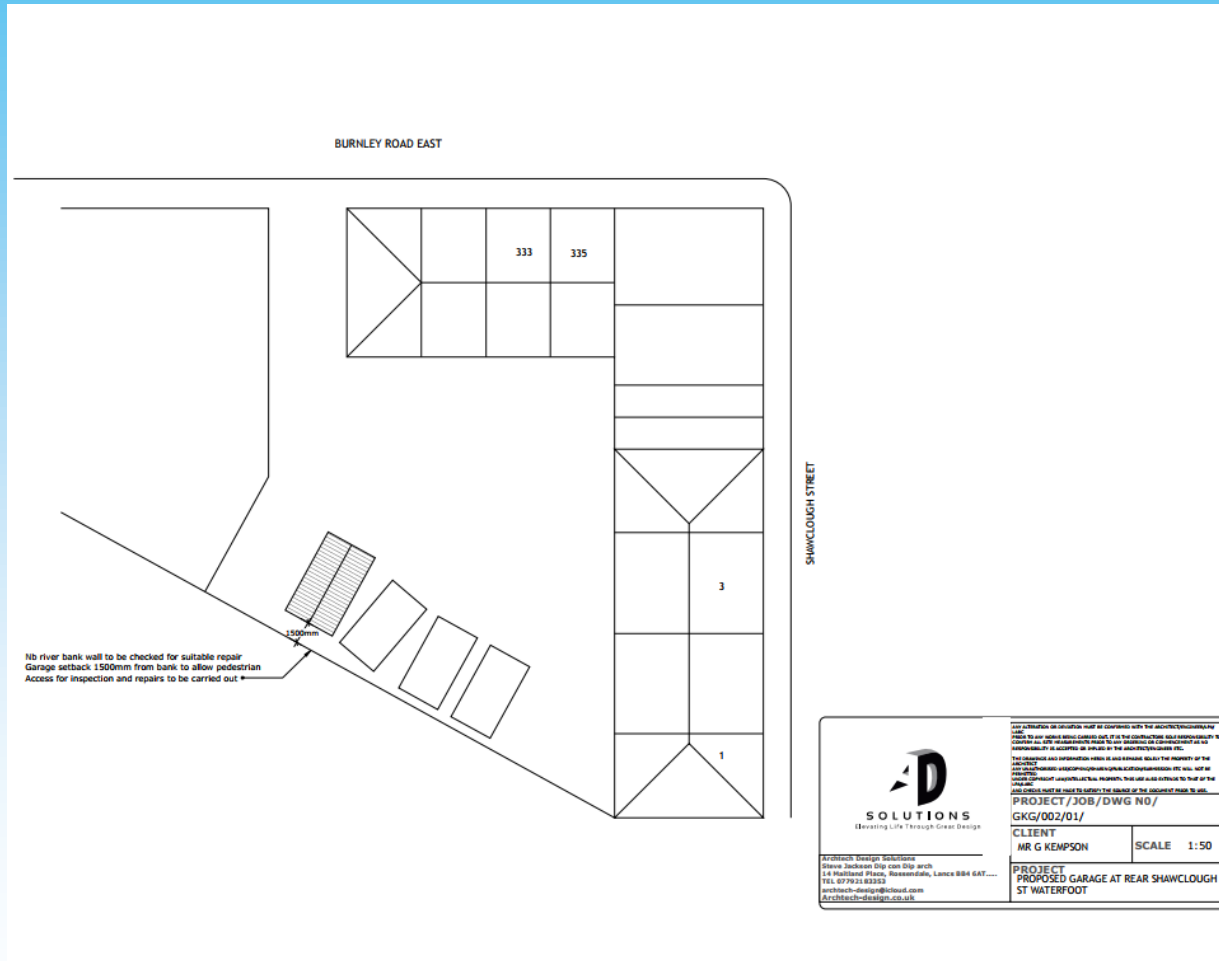
**Full: Construction of detached garage**



# Location Plan



# Proposed Site Plan





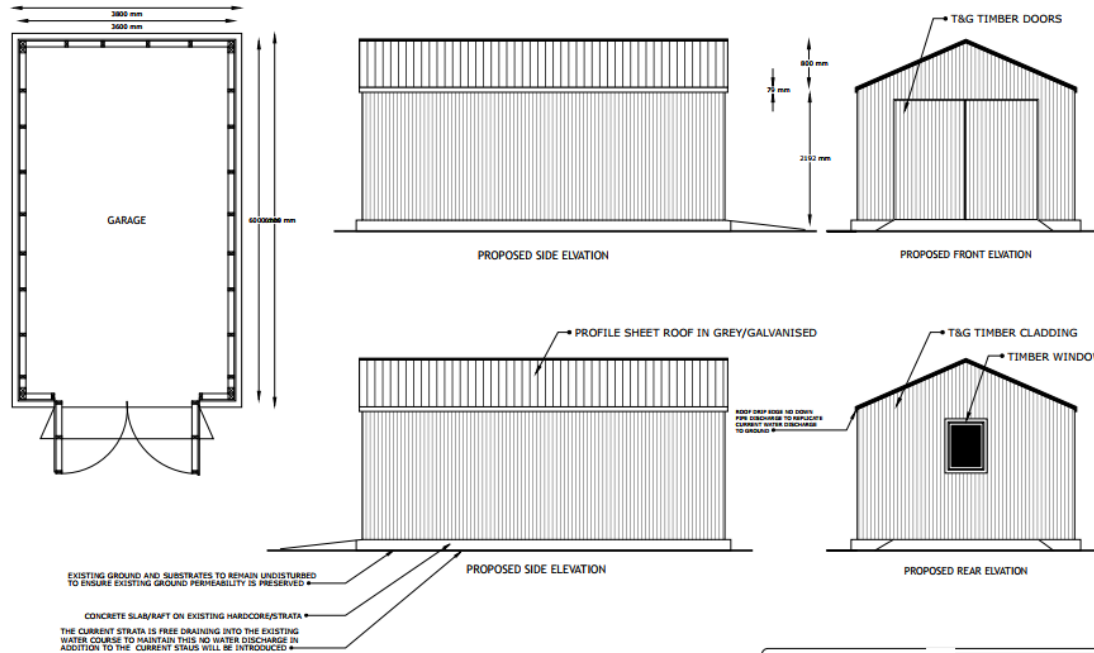
**SOLUTIONS**  
Elevating Life Through Great Design


Any information or consultation must be confirmed with the architect/consultant before use. No liability is accepted for errors or omissions. It is the client's responsibility to ensure that all information is accurate and up to date. The architect/consultant is not responsible for any errors or omissions. The architect/consultant is not responsible for any errors or omissions. The architect/consultant is not responsible for any errors or omissions.

PROJECT / JOB / DWG NO/ GKG/002/01/	
CLIENT MR G KEMPSON	SCALE 1:50
PROJECT PROPOSED GARAGE AT REAR SHAWCLOUGH ST WATERFOOT	

Architect: Through Solutions  
Steve Jackson: 01204 555 555 arch  
14 Highland Place, Rossendale, Lancs BB4 6AT....  
TEL: 07 7923 83262  
architect-design@icloud.com  
Architect-design.co.uk

# Proposed Garage Plans and Elevations



 <b>SOLUTIONS</b> <small>liberating life through great design</small>	ALL INFORMATION ON THIS DRAWING MUST BE CORRELATED WITH THE ARCHITECTURAL CONTRACT AND SPECIFICATIONS. THE ARCHITECT ASSUMES NO LIABILITY FOR THE CONSTRUCTION OF ANY WORKS UNLESS IT IS SPECIFICALLY STATED OTHERWISE BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORKS AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THAT THE WORKS WILL BE FREE FROM DEFECTS OR THAT THEY WILL BE COMPLETELY SATISFACTORY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORKS AS SHOWN ON THIS DRAWING. THE ARCHITECT DOES NOT WARRANT THAT THE WORKS WILL BE FREE FROM DEFECTS OR THAT THEY WILL BE COMPLETELY SATISFACTORY.	
	PROJECT/JOB/DWG NO/ GKG/001/01/	
CLIENT MR G KEMPSON		
SCALE 1:50		
Architect Design Solutions Oneva Jackson Way, open big arch 14 Haulwood Place, Rossendale, Lancs BB4 6AT.... TEL: 07782182352 architect-design@architect.com architect@architect.com		
PROJECT PROPOSED GARAGE AT REAR SHAWCLOUGH ST WATERFOOT		

# Photograph



# Photograph



# Photograph

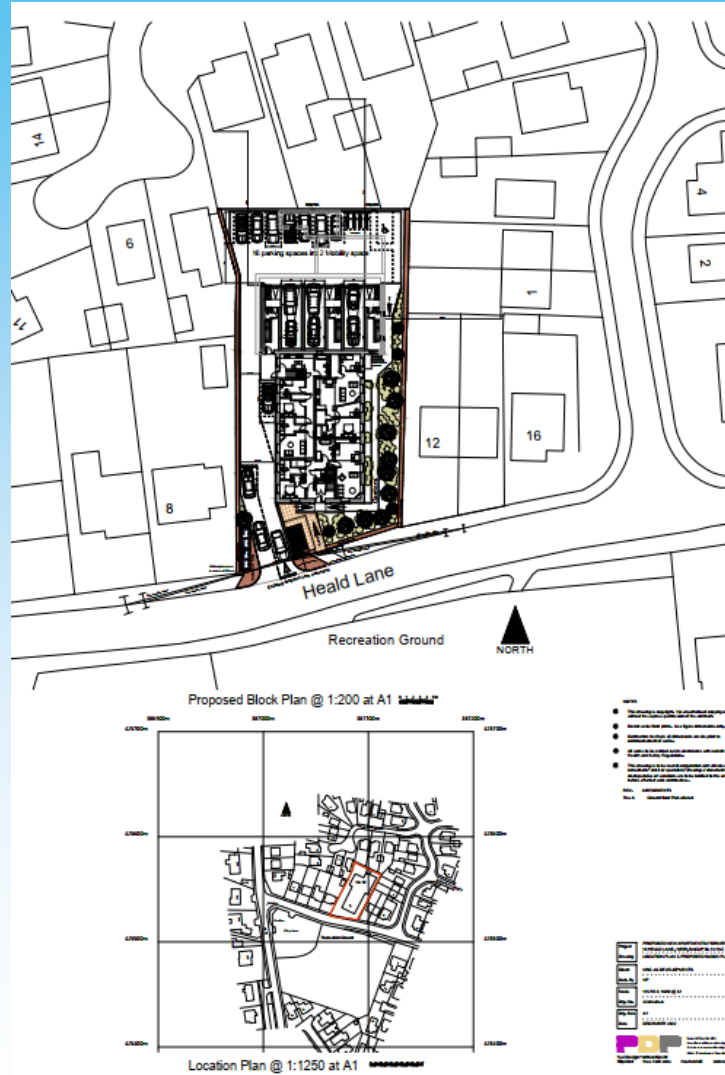


## **Item B7**

**2023/0018 – Deerplay Rest Home, 10  
Heald Lane, Weir, Bacup, Lancashire**

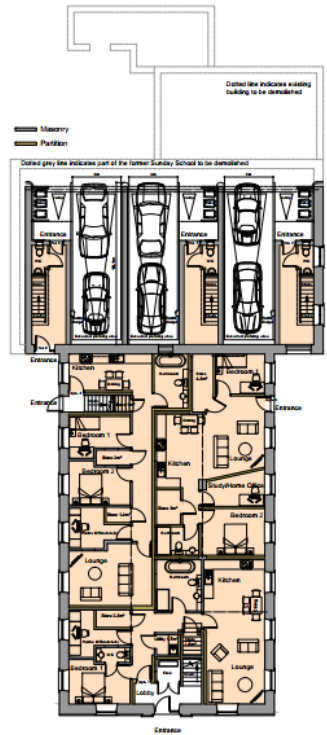
**Full: Conversion and alterations of a  
former Care Home with attached Sunday  
School into an Apartment Building with  
six dwellings plus three attached Town  
Houses.**

# Location Plan

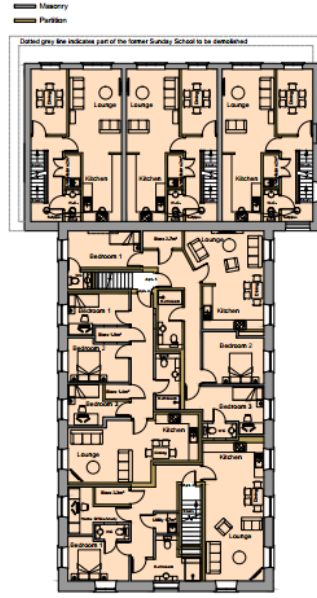




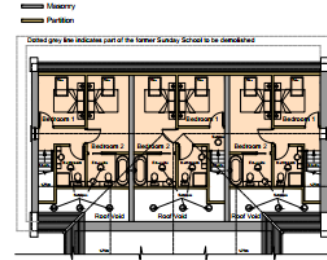
# Proposed Ground, First and Second Floor Plans



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan

Net floor areas

Apartment 1 (1 bed - 2 person)	81.0m <sup>2</sup> 872ft <sup>2</sup>
Apartment 2 (1 bed - 2 Person)	78.7m <sup>2</sup> 847ft <sup>2</sup>
Apartment 3 (2 bed - 3 Person)	85.2m <sup>2</sup> 917ft <sup>2</sup>
Apartment 4 (3 bed - 4 Person)	78.2m <sup>2</sup> 841ft <sup>2</sup>
Apartment 5 (3 bed - 4 Person)	85.8m <sup>2</sup> 920ft <sup>2</sup>
House 6 (2 bed - 4 Person)	102.3m <sup>2</sup> 1,101ft <sup>2</sup>
House 7 (2 bed - 4 Person)	102.3m <sup>2</sup> 1,101ft <sup>2</sup>
House 8 (2 bed - 4 Person)	102.3m <sup>2</sup> 1,101ft <sup>2</sup>
Apartment 9 (2 bed - 3 Person)	77.5m <sup>2</sup> 834ft <sup>2</sup>

**NOTES**

- The existing to be retained. The architectural quality of existing should be retained wherever possible.
- Do not scale floor plans. Use floor dimensions only.
- Consent to proceed with development on the site for commencement of works.
- All works to be carried out in accordance with current building Health and Safety Regulations.
- The quantity of the work is approximate and subject to any amendments or variations which may be required to be provided before official work commences.

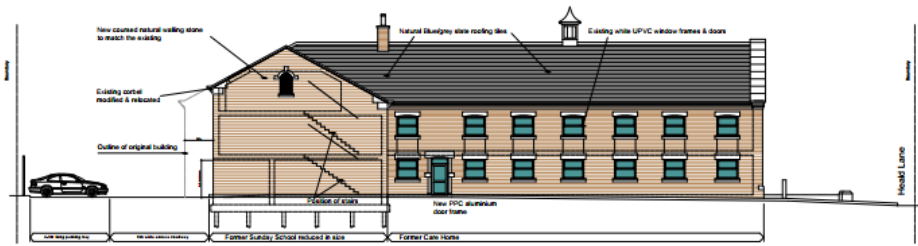
Rev: 04/06/2019 12:17  
Rev A: 11/08/2019 13:07:08

Proposed Floor Plans @1:100

PROPOSED NEW APARTMENTS/HOUSES WITH CARE HOME IN BRISTOL CITY CENTRE DEVELOPMENT  
 PROPOSED GROUND FLOOR & SECOND FLOOR PLANS  
 HBC DEVELOPMENTS  
 UP  
 Scale: 1:100 @ A1  
 Date: 11/08/2019  
 By: JH/ML/ML  
 Date: 11/08/2019

**PDP**  
 Project Director: Paul D. Phillips  
 Project Manager: Paul D. Phillips  
 Project Engineer: Paul D. Phillips  
 Project Architect: Paul D. Phillips  
 Project Surveyor: Paul D. Phillips  
 Project Quantity Surveyor: Paul D. Phillips  
 Project Cost Consultant: Paul D. Phillips  
 Project Environmental Consultant: Paul D. Phillips  
 Project Planning Consultant: Paul D. Phillips  
 Project Legal Consultant: Paul D. Phillips  
 Project Insurance Consultant: Paul D. Phillips  
 Project Finance Consultant: Paul D. Phillips  
 Project HR Consultant: Paul D. Phillips  
 Project IT Consultant: Paul D. Phillips  
 Project Security Consultant: Paul D. Phillips  
 Project Sustainability Consultant: Paul D. Phillips  
 Project Training Consultant: Paul D. Phillips  
 Project Recruitment Consultant: Paul D. Phillips  
 Project Payroll Consultant: Paul D. Phillips  
 Project Pension Consultant: Paul D. Phillips  
 Project Tax Consultant: Paul D. Phillips  
 Project Accountant: Paul D. Phillips  
 Project Banker: Paul D. Phillips  
 Project Solicitor: Paul D. Phillips  
 Project Notary Public: Paul D. Phillips  
 Project Chartered Accountant: Paul D. Phillips  
 Project Chartered Engineer: Paul D. Phillips  
 Project Chartered Surveyor: Paul D. Phillips  
 Project Chartered Architect: Paul D. Phillips  
 Project Chartered Quantity Surveyor: Paul D. Phillips  
 Project Chartered Project Manager: Paul D. Phillips  
 Project Chartered Environmentalist: Paul D. Phillips  
 Project Chartered Planning Consultant: Paul D. Phillips  
 Project Chartered Legal Consultant: Paul D. Phillips  
 Project Chartered Insurance Consultant: Paul D. Phillips  
 Project Chartered Finance Consultant: Paul D. Phillips  
 Project Chartered HR Consultant: Paul D. Phillips  
 Project Chartered IT Consultant: Paul D. Phillips  
 Project Chartered Security Consultant: Paul D. Phillips  
 Project Chartered Sustainability Consultant: Paul D. Phillips  
 Project Chartered Training Consultant: Paul D. Phillips  
 Project Chartered Recruitment Consultant: Paul D. Phillips  
 Project Chartered Payroll Consultant: Paul D. Phillips  
 Project Chartered Pension Consultant: Paul D. Phillips  
 Project Chartered Tax Consultant: Paul D. Phillips  
 Project Chartered Accountant: Paul D. Phillips  
 Project Chartered Banker: Paul D. Phillips  
 Project Chartered Solicitor: Paul D. Phillips  
 Project Chartered Notary Public: Paul D. Phillips  
 Project Chartered Chartered Accountant: Paul D. Phillips  
 Project Chartered Chartered Engineer: Paul D. Phillips  
 Project Chartered Chartered Surveyor: Paul D. Phillips  
 Project Chartered Chartered Architect: Paul D. Phillips  
 Project Chartered Chartered Quantity Surveyor: Paul D. Phillips  
 Project Chartered Chartered Project Manager: Paul D. Phillips  
 Project Chartered Chartered Environmentalist: Paul D. Phillips  
 Project Chartered Chartered Planning Consultant: Paul D. Phillips  
 Project Chartered Chartered Legal Consultant: Paul D. Phillips  
 Project Chartered Chartered Insurance Consultant: Paul D. Phillips  
 Project Chartered Chartered Finance Consultant: Paul D. Phillips  
 Project Chartered Chartered HR Consultant: Paul D. Phillips  
 Project Chartered Chartered IT Consultant: Paul D. Phillips  
 Project Chartered Chartered Security Consultant: Paul D. Phillips  
 Project Chartered Chartered Sustainability Consultant: Paul D. Phillips  
 Project Chartered Chartered Training Consultant: Paul D. Phillips  
 Project Chartered Chartered Recruitment Consultant: Paul D. Phillips  
 Project Chartered Chartered Payroll Consultant: Paul D. Phillips  
 Project Chartered Chartered Pension Consultant: Paul D. Phillips  
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 Project Chartered Chartered Accountant: Paul D. Phillips  
 Project Chartered Chartered Banker: Paul D. Phillips  
 Project Chartered Chartered Solicitor: Paul D. Phillips  
 Project Chartered Chartered Notary Public: Paul D. Phillips

# Proposed Building Elevations



Proposed West Elevation

- NOTES**
- The building is to remain. The modified copying of existing elevations is to be undertaken in accordance with the conditions.
  - Do not work from within. Use falsework where necessary.
  - Constructive to be used. All dimensions are to be to the face of work.
  - All work to be undertaken in accordance with current building regulations and safety regulations.
  - The building is to be used in accordance with all relevant regulations and for residential purposes. All dimensions and any construction or conditions are to be verified by the architect.
- REV. AMENDMENTS** DATE
- 01/20 Drawn showing on a high level of the form. Initialled and dated for the architect. 1/20/20



Proposed South Elevation



Proposed North Elevation



Proposed East Elevation

- Opaque glass
- Frosted glass
- Clear glass

Project	PROPOSED NEW SHARPSIDE FORMER CARE HOME
Client	PROPOSED SHARPSIDE FORMER CARE HOME
Drawn By	ARC DEVELOPMENTS
Scale	1:100
Block	V100 @ A1
Drawn By	12/08/2020
Drawn Date	A1
Date	DECEMBER 2020

ARC DEVELOPMENTS  
 100, New South Street, Newcastle, Lancashire, BB2 2AT  
 Tel: 01204 611111  
 Email: info@arcdevelopments.co.uk  
 Website: www.arcdevelopments.co.uk  
 Registered in England No. 11111111

Proposed Elevations @ 1:100

# Photograph



# Photograph



# Photograph



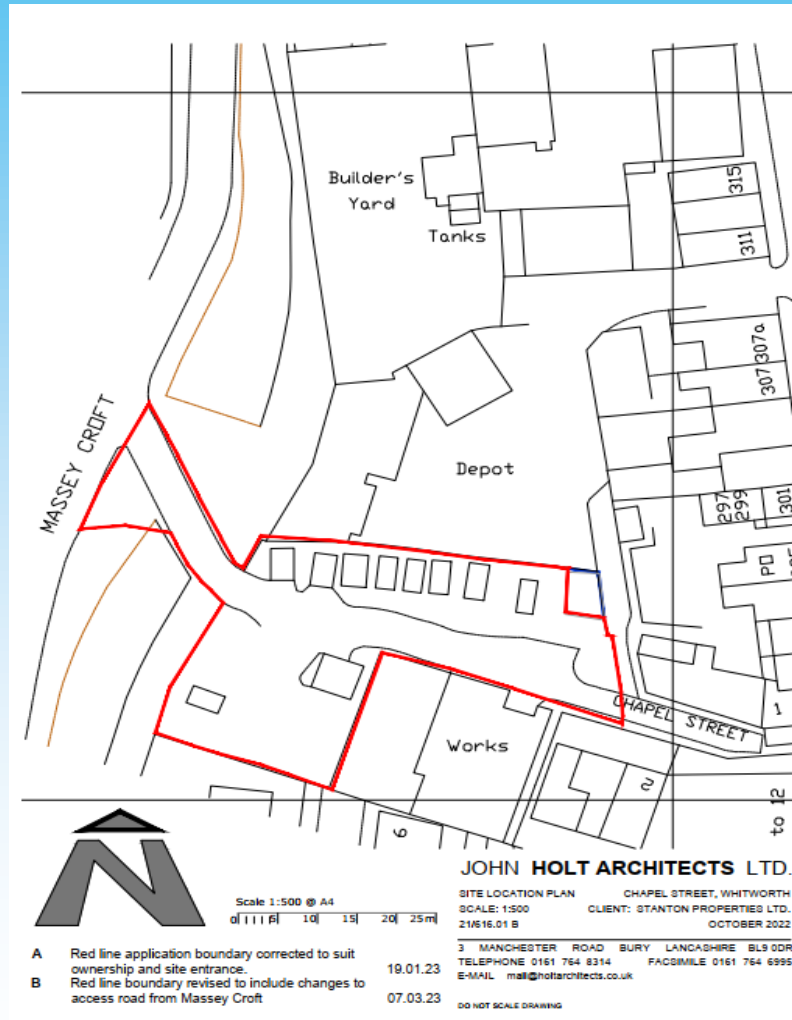
## **Item B8**

**2022/0541 – Land At**

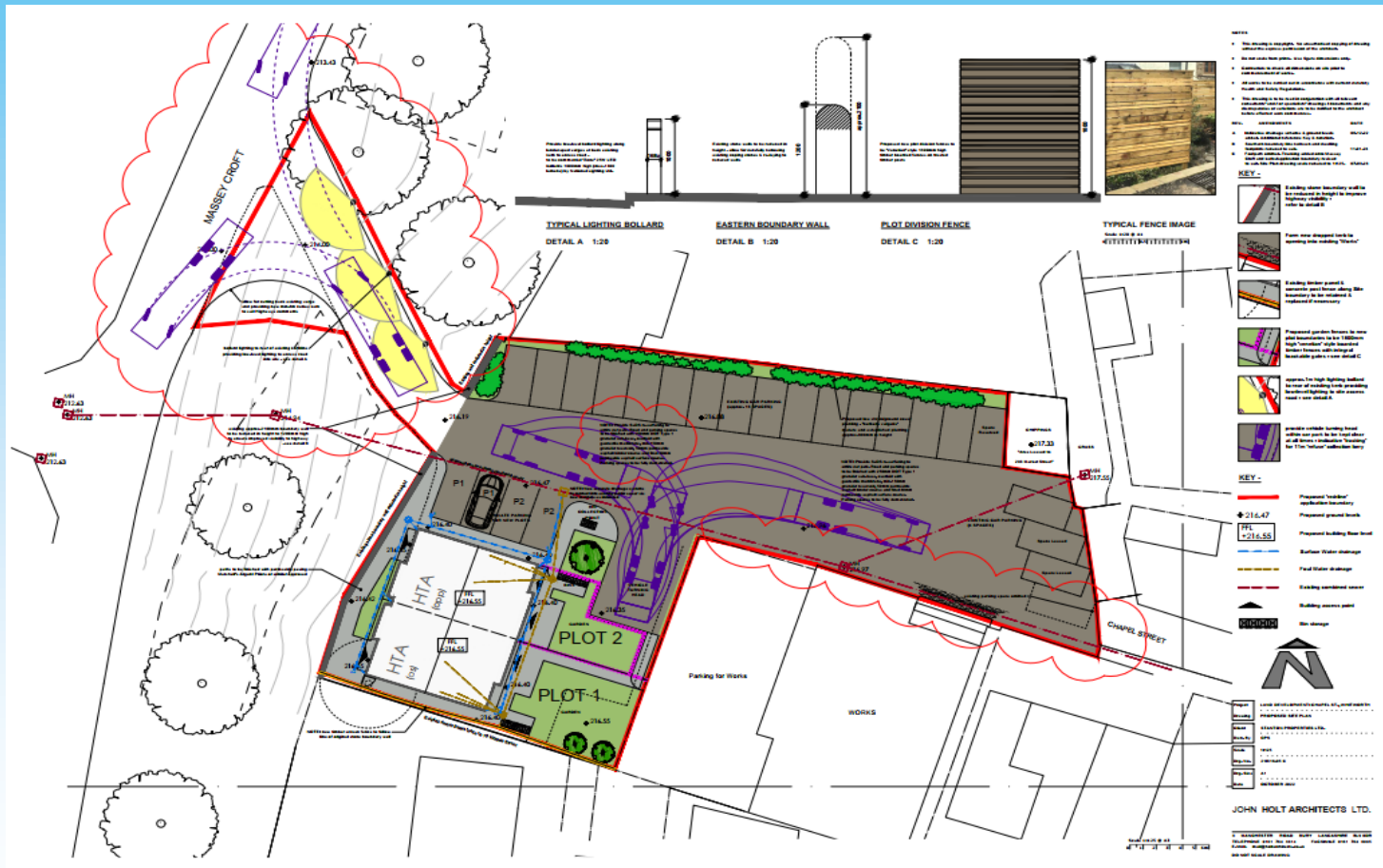
**Chapel Street, Whitworth, Rochdale,  
Lancashire, OL12 8PP**

**Full: Erection of 2 no. three-bedroom dwellings, with access, parking and landscaping. Improvement and demarcation of surrounding parking area**

# Location Plan



# Proposed Site Plan





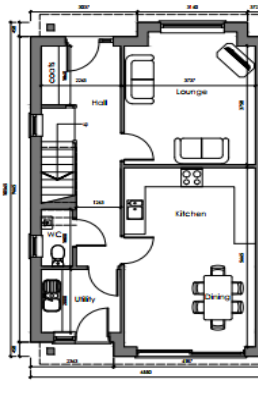
# Proposed House Type



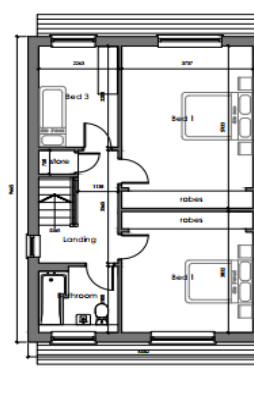
FRONT ELEVATION



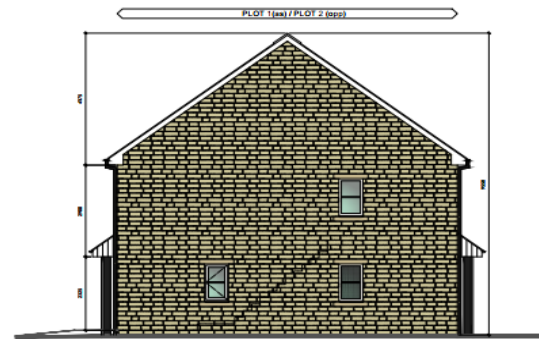
REAR ELEVATION



GROUND FLOOR (AS)



FIRST FLOOR (AS)



SIDE ELEVATION

- NOTES
- The drawings are prepared for the construction of a building which will be erected in accordance with the conditions of the contract.
  - Do not scale drawings. Use figure dimensions only.
  - Construction to show all dimensions on the plan to be implemented as noted.
  - All works to be carried out in accordance with current building codes and Building Regulations.
  - The drawings to be used in conjunction with all relevant construction and specification documents, and all other relevant documents and drawings.
- DATE: 20/08/2024  
 BY: JH  
 CHECKED: JH

**ACCOMMODATION SCHEDULE**

HOUSETYPE A	3b5p
GROUND FLOOR	56.28m <sup>2</sup>
FIRST FLOOR	53.49m <sup>2</sup>
<b>Total</b>	<b>109.89m<sup>2</sup></b>

Project	LAND OF GULDFORS OXWELL ST., WIMBORNE, DORSET
Client	WIMBORNE OXWELL ST.
Drawn By	JH
Scale	1:50
Plot No.	1/1
Date	20/08/2024

JOHN HOLT ARCHITECTS LTD.

Scale 1:50 @ A1  
 1:50 @ A2  
 1:100 @ A3  
 1:200 @ A4  
 1:400 @ A5  
 1:800 @ A6  
 1:1600 @ A7  
 1:3200 @ A8  
 1:6400 @ A9  
 1:12800 @ A10

# Photograph



# Photograph



# Photograph



# Photograph



# Photograph

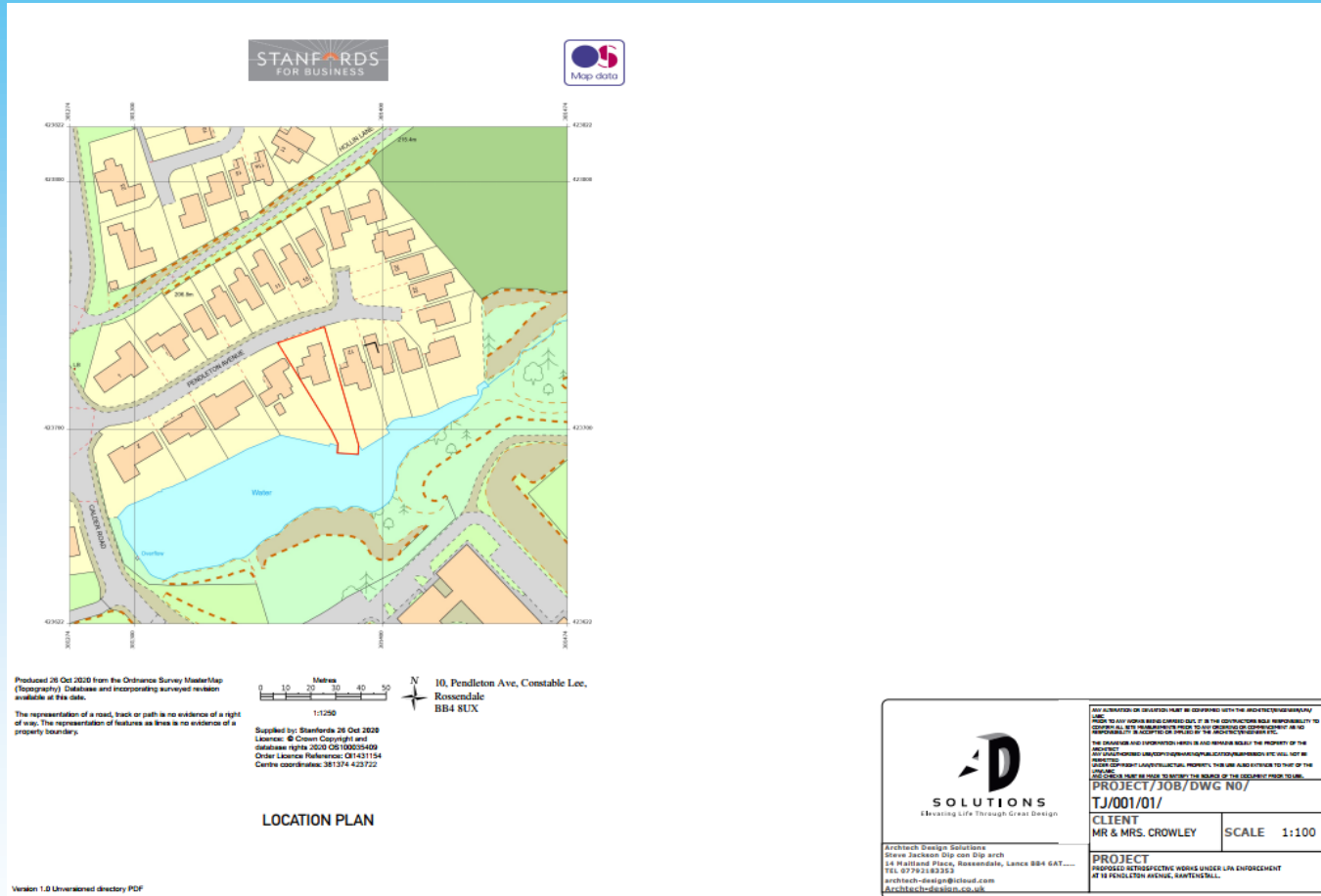


## **Item B9**

**2022/0535 – 10 Pendleton Avenue,  
Constable Lee, Rossendale, BB4 8UX**

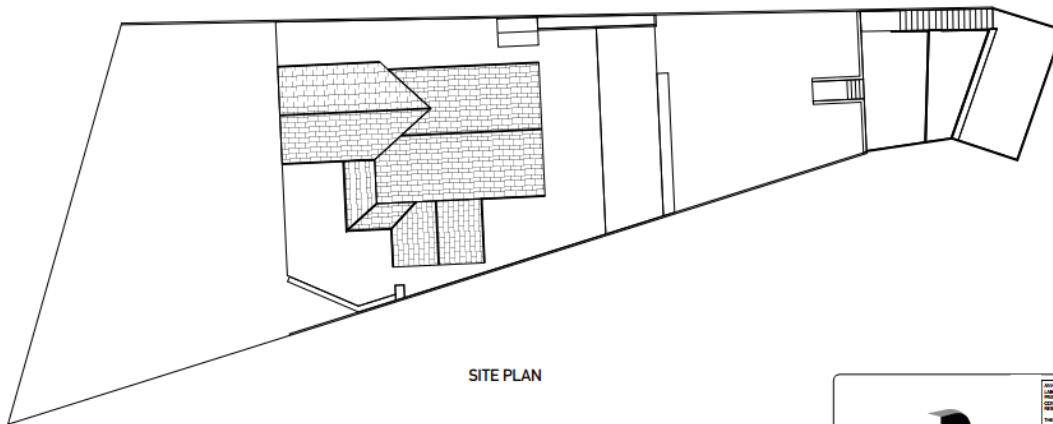
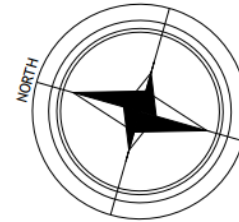
**Householder: Retention of existing patio  
and decked area**

# Location Plan






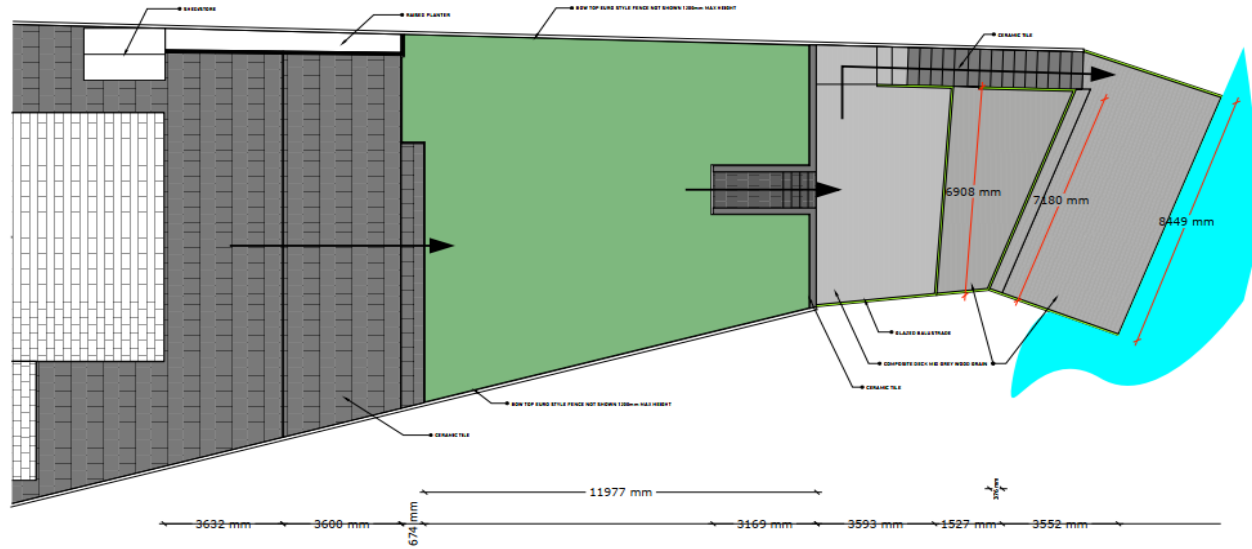
# Site Plan



SITE PLAN

 <b>SOLUTIONS</b> Elevating Life Through Great Design	<small>ALL ATTACHED OR CREATED DRAWINGS ARE COPYRIGHTED BY THE ARCHITECTS/DESIGNERS/PLANNERS AND NO PART OF ANY DRAWING SHOULD BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS/DESIGNERS/PLANNERS. THE ARCHITECTS/DESIGNERS/PLANNERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF ANY DRAWING OR INFORMATION THEREIN. THE ARCHITECTS/DESIGNERS/PLANNERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF ANY DRAWING OR INFORMATION THEREIN.</small>	
	<b>PROJECT / JOB / DWG NO /</b> TJ/002/01/ <b>CLIENT</b> MR & MRS. CROWLEY <b>SCALE</b> 1:200	
<small>Architech Design Solutions Steve Jackson Dip Arch Dip Arch 14, Millstone Place, Rosemead, Lancs BB4 6AT... TEL 07791182353 architech-design@btcloud.com Architech-design.co.uk</small>	<b>PROJECT</b> <small>PROPOSED RESIDENTIAL DEVELOPMENT UNDER LIA ENFORCEMENT AT 10 PENGLITH AVENUE, MANTONHILL.</small>	

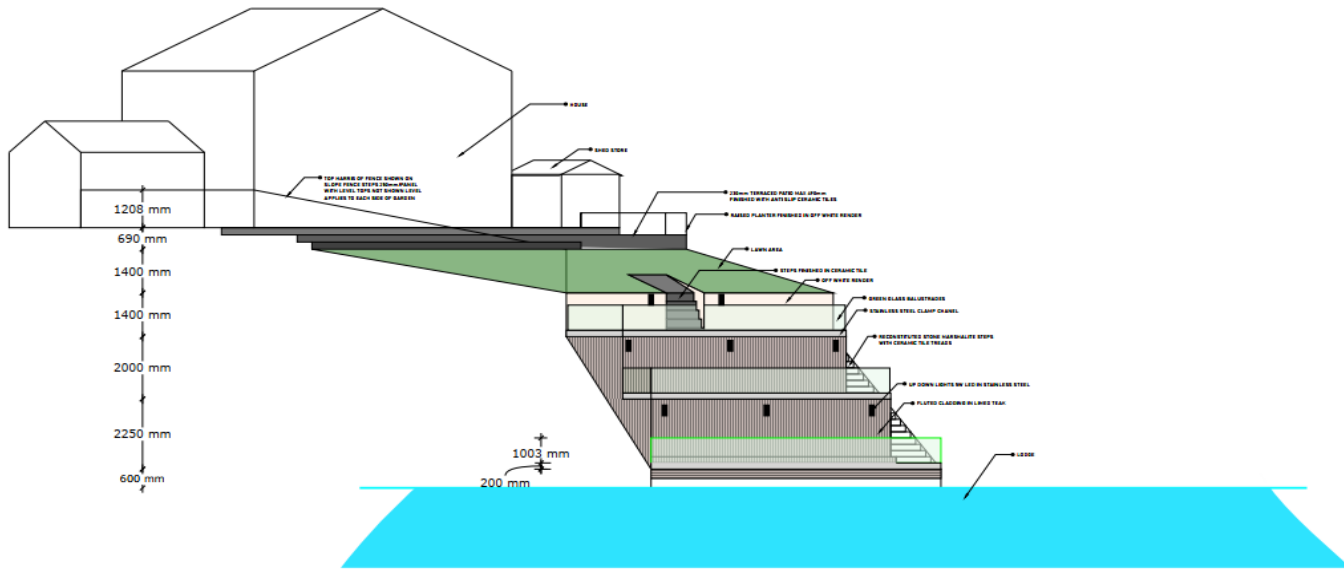
# Garden Plan as Existing/Prior to Current Unapproved Alterations




GARDEN PLAN AS EXISTING/PRIOR TO CURRENT UNAPPROVED ALTERATIONS

 <b>SOLUTIONS</b> Elevating Life Through Great Design		THE ALTERATION OR REVISIONS MUST BE APPROVED WITH THE ARCHITECT/ENGINEER'S/CONSULTANT'S SIGNATURE AND SEAL. THE ARCHITECT/ENGINEER/CONSULTANT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY WORKS WHICH ARE CONSTRUCTED AS A RESULT OF THE REVISIONS OR ALTERATIONS TO THE ORIGINAL DESIGN. THE ARCHITECT/ENGINEER/CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY WORKS WHICH ARE CONSTRUCTED AS A RESULT OF THE REVISIONS OR ALTERATIONS TO THE ORIGINAL DESIGN WHICH ARE NOT THE PROPERTY OF THE ARCHITECT/ENGINEER/CONSULTANT. THE ARCHITECT/ENGINEER/CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY WORKS WHICH ARE CONSTRUCTED AS A RESULT OF THE REVISIONS OR ALTERATIONS TO THE ORIGINAL DESIGN WHICH ARE NOT THE PROPERTY OF THE ARCHITECT/ENGINEER/CONSULTANT.	
		PROJECT/JOB/DWG NO: <b>TJ/003/01/</b>	
ARCHITECT Design Solutions Grove Jackson Slip road Slip arch 14 Haldon Place, Rosendale, Lancashire B64 6AT TEL: 07792 182353 archtech-design@icloud.com Archtechdesignsolutions.co.uk		CLIENT <b>MR &amp; MRS. CROWLEY</b>	SCALE <b>1:100</b>
PROJECT PROPOSED HISTORIC WORKS UNDER LINE ENFORCEMENT AT 18 PENNULTON AVENUE, GARTON, WILT.			

# Proposed Perspective Elevation



FOR PLANNING PURPOSES PROPOSED PERSPECTIVE ELEVATION  
 WORKS CARRIED OUT AS NOW EXISTING  
 ELEVATION FROM LODGE PARALLEL TO BOTTOM DECK

 <p><b>SOLUTIONS</b> Elevating Life Through Great Design</p>	ANY ALTERATION OR SIMILATION THAT IS DEVIATED WITH THE PROTECTIVE/DEFENSIVE/... FROM TO ANY WORKS BEING CARRIED OUT IN THE CONSTRUCTION WILL REMAIN SUBJECT TO CONTRACTUAL TO BE MAINTAINED UNDER THE SUPERVISION OF CONSTRUCTION AS NO THE DRAWINGS ARE INFORMATION ONLY IN AND REMAINS BELONG TO THE PROPERTY OF THE ANY UNLAWFUL OR UNAUTHORIZED REPRODUCTION OR ALTERATION WILL NOT BE THE PROJECT'S OWNERS/CONTRACTORS/PROPERTY, THE OWNERS/CONTRACTORS/PROPERTY OF THE CONTRACTOR SHALL BE HELD TO BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS FROM THE...	
	PROJECT/JOB/DWG NO/ <b>TJ/004/01/</b>	
Architect Design Solutions Steve Jackson Dip Arch Dip Arch 14 Millland Place, Rosemount, Lancs BB4 6AT... TEL: 07 792 182323 architect-design@icloud.com @architectdesignlancs	CLIENT <b>MR &amp; MRS. CROWLEY</b>	SCALE <b>1:100</b>
PROJECT PROPOSED RETROSPECTIVE WORKS UNDER LIA ENFORCEMENT AT 19 FENELTON AVENUE, BARTONSTALL.		

# Photograph



# Photograph



# Photograph



# Photograph



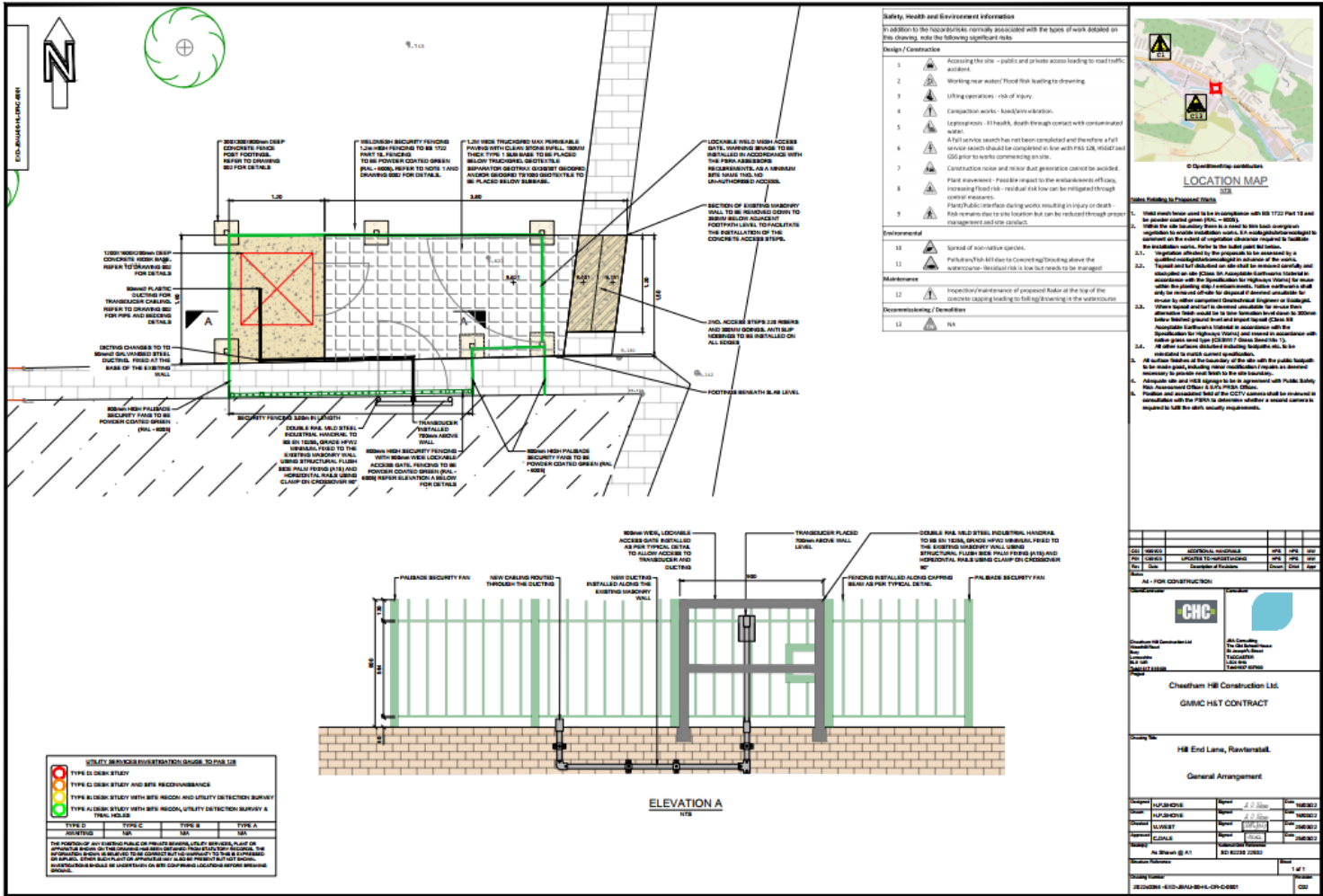
## **Item B10**

**2023/0095 – Land Next To The River  
Irwell, Hill End Lane, Cloughfold,  
Rossendale, Lancashire**

**Environment Agency Flood Risk  
Infrastructure: establishment of gated  
compound and 1m x 1m kiosk with  
hydrometry and telemetry equipment  
onsite.**



# Location Map and Elevation



**Safely, Health and Environment Information**  
 In addition to the hazards/injuries normally associated with the type of work detailed on this drawing, note the following significant risks.

- Design / Construction**
- Accidents at the site - public and private access leading to road traffic accidents.
  - Working near water/ Flood Risk leading to drowning.
  - Lifting operations - risk of injury.
  - Construction works - Road/Vehicle collision.
  - Legionnaires - Ill health, death through contact with contaminated water.
  - All full service search has been completed and the before a full service search should be completed in line with PAS 128, instead of Q10 prior to works commencing on site.
  - Construction noise and vibration generation cannot be avoided.
  - Plant movement - Possibility impact to the environment if noisy, increasing flood risk - road/rail risk low can be mitigated through control measures.
  - Plant/Public interface during works resulting in injury or death. Risk is more due to the location but can be reduced through project management and site control.

- Environmental**
- Spread of non-native species.
  - Public Health risk due to ground/groundwater above the watercourse - detailed risk is low but needs to be managed.

- Maintenance**
- Inspection/maintenance of proposed fence at the top of the concrete coping leading to fall/lag/tripping of the work/crowd.

**Demolition/Retrieval / Decontamination**

- NA



- Risks Potentially to be Mitigated (Data)**
- Hired earth fence used to be in compliance with BS 1722 Part 10 and be powder coated green (RAL - 6005).
  - Hired the site location fence to be green to this look integration with the site design but ensure fence is high enough to prevent intrusion and maintain the aspect of integration otherwise required to facilitate the installation of fence. Note the main gate set location.
  - Vegitation affected by the presence to be assessed by a qualified arboriculturalist to determine the extent of the works.
  - Topsoil and turf excavated on site shall be removed carefully and stockpiled on site close to excavation/retention walls. Vibration associated with the specification for highways paving for main area shall be limited to 50% of the design of ground vibration for other completed development together with any adjacent. Where burial and/or to be removed suitable for re-use then the contractor shall be liable for the removal of the material. After removal ground level and impact of any retained ground level shall be assessed. Suitable methods of assessment shall be agreed with the main gate used to be installed in line with the main gate used to be installed in line with BS 1722 Part 10.
  - All other methods of retention shall be agreed with the main gate used to be installed in line with BS 1722 Part 10.
  - Off-site material to be removed and taken to a public highway to be made good, including minor modification/repair as deemed necessary to provide level to the site boundary.
  - Adjacent site and H&E signage to be in agreement with Public Safety Risk Assessment Officer & H&E Risk Officer.
  - Position and installation of the CCTV camera shall be in consultation with the PFA to determine whether a separate camera is required to suit the site security requirements.

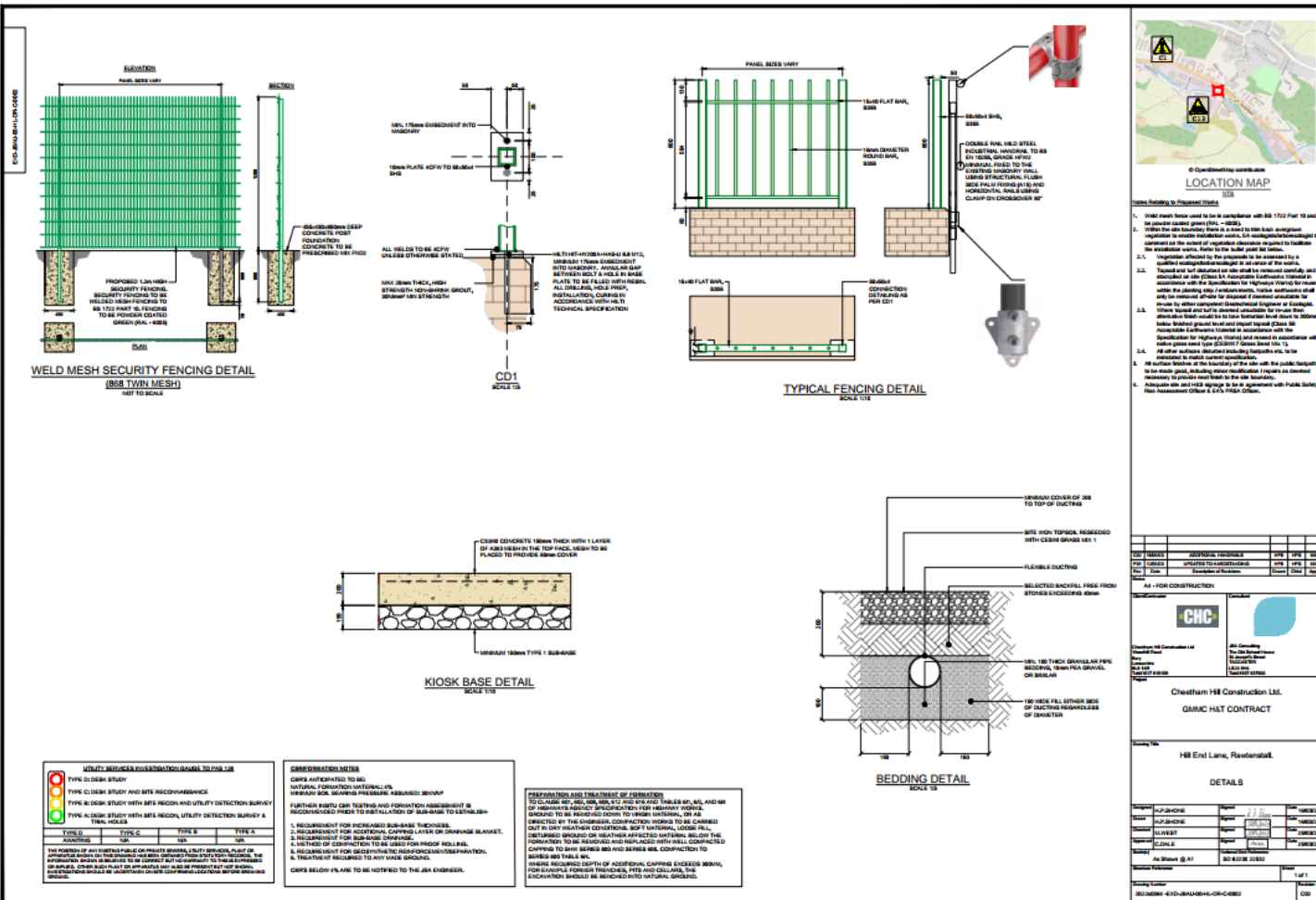
NO APPROVAL	APPROVED	
Contract No	CHC/2023/001	Contract Name
Client	HE End Lands, Rowlandstall	Contract No
Contract Value	£1,000,000	Contract Status
Contract Start Date	2023-01-01	Contract End Date
Contract Completion Date	2023-12-31	Contract Extension
Contract Extension		Contract Variation
Contract Variation		Contract Variation
Contract Variation		Contract Variation
Contract Variation		Contract Variation
Contract Variation		Contract Variation

UTILITY SERVICE INVESTIGATION GAUGE TO PAH 118			
	TYPE C/D ONLY STUDY		
	TYPE C/D ONLY STUDY AND SITE RECOGNISANCE		
	TYPE B/D ONLY STUDY WITH SITE RECOGN AND UTILITY DETECTION SURVEY		
	TYPE A/D ONLY STUDY WITH SITE RECOGN AND UTILITY DETECTION SURVEY & TRAIL HOLE		
TYPE	TYPE C	TYPE B	TYPE A
ACCESS	NA	NA	NA

THE POSITION OF ANY EXISTING PUBLIC OR PRIVATE UTILITY SERVICES, TRAIL OR ACCESS POINTS IN THE INSTALLED OR PROPOSED FENCE SHALL BE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE A CURRENTLY VALID UTILITY DETECTION SURVEY TO THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITY SERVICES. THERE SHOULD BE AGREEMENT ON SITE CONDITIONS LOCATED BEFORE STARTING WORK.

ISSUED: 4-10-2023 BY: JH/CHC-CHC-001

# Details



1. UNLESS OTHERWISE NOTED, ALL FENCING SHALL BE IN COMPLIANCE WITH BS 1722 Part 10 and be powder coated green (RAL - 6005).
2. UNLESS OTHERWISE NOTED, THERE IS A LEAD TO BE TAKEN TO USE AN APPROVED VIBRATOR TO COMPACT THE FILLING TO THE MAXIMUM DENSITY TO THE FULL DEPTH OF THE FENCING. THE VIBRATOR SHALL BE OPERATED IN A MANNER TO BE APPROVED BY THE CONTRACTOR'S SUPERVISOR.
3. THE FENCING SHALL BE OPERATED IN A MANNER TO BE APPROVED BY THE CONTRACTOR'S SUPERVISOR.
4. THE FENCING SHALL BE OPERATED IN A MANNER TO BE APPROVED BY THE CONTRACTOR'S SUPERVISOR.

NO.	DATE	DESCRIPTION
1	01/20/2023	ISSUED FOR PERMIT

CHC

Construction & Infrastructure

01/20/2023

Cheatham HE Construction Ltd.  
GMMC H1T CONTRACT

HE End Lane, Ravenhall.

**DETAILS**

NO.	DATE	DESCRIPTION
1	01/20/2023	ISSUED FOR PERMIT

Project No: GMMC H1T CONTRACT

Scale: 1:500

Author: [Name]

Checked: [Name]

Drawn: [Name]

Date: 01/20/2023

# Photograph



# Photograph



# Photograph – Existing Similar Equipment at Cape Street

