

Application Number:	2023/0050	Application Type:	Householder
Proposal:	Householder: Two storey extension to rear, single storey side extension and single storey porch extension to front	Location:	Birchcliffe Tonacliffe Road Whitworth Rossendale OL12 8SJ
Report of:	Planning Manager	Status:	For Publication
Report to:	Development Control Committee	Date:	23 rd May 2023
Applicant:	Mr Chris Duffy	Determination Expiry Date:	06.06.2023 (Time extension added)
Agent:	Mrs Clare Hatchman – Neil Pike Architects		

Contact Officer:	Chris Dobson	Telephone:	01706 238639
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	
Member Call-In Name of Member: Reason for Call-In:	<p>Cllr Dane Powell</p> <p>Following this evening's meeting of Whitworth Full Council the above application was discussed by members of Council who in principle were minded to support this application, as the Town Council did on the previous occasion this application came before the members.</p> <p>Myself and my fellow ward councilor felt the need to call this application in so that we can conclude once and for all whether this application is suitable and so that applicant will have an opportunity to put their case forward in front of members of the Development and Control Committee.</p>
3 or more objections received	
Other (please state):	

1. RECOMMENDATION

Refusal

2. THE SITE

The application site is a two-storey detached property of stone and slate construction set within its own grounds containing mature vegetation. The site is accessed via a private driveway with a gated entrance leading to the front elevation of the property. Due to the topography of the land, the property sits at a lower level than the adjacent Tonacliffe Road, with its gable fronting the road behind a coursed stone wall. The property shares a boundary to the rear with No.118 Market Street which is a grade II listed building.

The property is accessed from Tonacliffe Road via the A671 Market Street approximately 1.5 miles to the south of Whitworth town centre.

The property is located within the urban boundary.

3. RELEVANT PLANNING HISTORY

2022/0442 - Householder: Two storey extension to rear, single storey side extension and single storey porch extension to front – **Refused** – reason for refusal as follows:

“The proposed development by reason of its scale, design and style, would have an incongruous relationship with the host dwelling and would appear as an unsympathetic visually jarring form of development in a visually prominent location. The development would significantly harm the character and appearance of the host dwelling and would detract from the character of the surrounding street scene. Therefore, the proposed scheme is contrary to Section 12 of the Framework, Policies HS9 and ENV1 of the Rossendale Local Plan 2019 – 2036 and the guidance contained within the Council’s Alterations and Extensions to Residential Properties SPD.

4. PROPOSAL

The applicant proposes the addition of a part single storey part two-storey extension to the rear elevation of the property as well as a single storey side extension and a porch extension to the front elevation.

The rear extension will extend to an overall length of 8.5m into the rear garden with the two-storey section projecting from the centre of the rear elevation. The design incorporates a two-storey link extension from the existing building containing a flat roof leading to a two-storey section containing a pitched roof. To the east side a single storey extension is shown with a canopy in place to the west side providing space for a covered terrace. Owing to its design, the outlook from the extension will be west facing with large amounts of glazing of differing scales and designs incorporated within this elevation including a large picture window within the link section, an ‘Oriel’ style window at first floor level and a corner window at ground floor level. Further window designs are incorporated within the east facing elevation with three tall narrow windows shown at first floor level and a further corner window in place.

The rear extension is shown to be constructed from natural stone to match the existing building with natural slate proposed for the pitched roof. The submitted plans also show the use of Equitone (or similar) cladding to eastern side of the link section at first floor level. The ground floor of the extension is shown to contain a lounge and a kitchen with the first floor level containing a living room, bedroom with en-suite and a study.

The side extension will be a flat roofed stone addition located on the western elevation away from the roadside. The extension is shown to contain the sixth bedroom and will project from the existing side elevation wall by 3.25m and run 6.4m along the side elevation. The extension incorporates tall narrow windows to the front and side elevations and double doors to the rear.

The new porch on the south side will be constructed from a powder-coated aluminum frame and will be glazed.

5. POLICY CONTEXT

National

National Planning Policy Framework

Section 12 Achieving Well Designed Places

Development Plan Policies

Rossendale Local Plan 2019-2036

SS Spatial Strategy
SD1 Presumption in Favour of Sustainable Development
ENV1 High Quality Development in the Borough
HS9 House Extensions
TR4 Parking

Other Material Considerations

Alterations and Extensions to Residential Properties SPD

6. CONSULTATION RESPONSES

LCC Highways – No objection
Whitworth Town Council – No objection

7. NOTIFICATION RESPONSES

To accord with the General Development Procedure Order letters were sent to neighbours and a site notice posted.

No representations have been received.

8. ASSESSMENT

Principle

The site is located within the urban boundary; therefore, an extension to this residential property is acceptable in principle.

Effect of the Proposal on the Character and Appearance of the Application Property and the Streetscene

The Framework aims to deliver high quality design and paragraph 130 states planning decisions should ensure that developments

a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping.”

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting.

Policy ENV1 (High Quality Development in the Borough) of the Rossendale Local Plan echoes the above national policy and Policy HS9 (House Extensions) expects extensions to respect the existing house and the surrounding buildings in terms of scale, size, design and materials.

The Alterations and Extensions to Residential Properties SPD states that:

“...any application for a domestic extension will not normally be permitted unless the proposal:

- Achieves a high standard of design and gives the appearance of being part of the original building. Specific features, such as doors, windows and roof style and eaves, should particularly reflect the dwelling’s original shape, size, alignment and architectural integrity;*
- Complements the original building through the use of matching materials and by reflecting the design, massing, bulk, detail, proportion, scale and style of the original building, so as not to dominate it;*
- Does not detract from the character of neighbouring properties through siting, excessive bulk, ill-matched materials or inconsistent design*
- Does not detract from the appearance of the street-scene or general character of the surrounding area”*

In this instance, the development work proposed is considered excessive in terms of its scale due to the rear extension shown to extend from the rear elevation of the property by 8.5m. This, along with the excessive bulk added to the host dwelling, results in an unduly large addition – with the first floor level being visibly prominent when viewed from the adjacent Tonacliffe Road.

The proposed additions are considered to ignore the architectural integrity of the host property. The design of all the extensions does not reflect the design of the host dwelling, and the extensions appear bulky, unsympathetic and visually incongruous when viewed alongside the host dwelling, which contains several strong architectural features. In addition to this, the rear link extension contains a two-storey flat roof design which conflicts with section 3.6 of the Councils Alterations and Extensions to Residential Properties SPD which specifically relates to two-storey rear extensions and advises, *“Flat roofed extensions will not normally be permitted”*.

Contributing further to the extensions unsympathetic appearance, is the proposed use of Equitone (or similar) cladding to a section of the rear extension as well as the excessive amount of glazing proposed to be included, with this being particularly relevant to the west elevation of the rear extension at both ground and first floor. In relation to the cladding, the existing building is constructed from stone with no existing cladding in place. The use of Equitone cladding on a single first floor section introduces a contemporary feature which is not a material visible on properties within the surrounding area. The addition of the proposed Equitone cladding does not reflect the dwelling's original style or character, or the character of the surrounding built environment. The windows proposed to be included within the extensions are a range of different sizes and designs, resulting in a jarring contrast with the host dwelling, which contains windows of a similar scale and design in a symmetrical format to both front and rear elevations.

Overall, the proposed development, situated in a visually prominent location, is considered excessive in terms of its scale and overall size, with the irregular design appearing incongruous. The unsympathetic appearance results in a jarring contrast with the traditional style of the host dwelling due to their irregular style and form, the use of ill-matching materials and the excessive use and varied styles and sizes of the proposed glazing. Taken as a whole, the proposed extensions would have an extremely poor relationship to the original dwelling, and the scale and design of the proposed scheme would significantly and fundamentally change the character and appearance of the building.

In light of the above, the development is therefore not acceptable in terms of the impact upon the character and appearance of either the host dwelling or the surrounding area.

Effect on the Setting of a Listed Building

The Council's consultant conservation officer was asked to provide comments on the proposals due to the applicant's site sharing a boundary with 118 Market Street which is a grade II listed building. The concluding comments from the consultant are shown below:

"I feel that whilst the proposed extensions will have a marked effect on the appearance of the current property I do not feel the additions will cause any substantive harm to the significance of the adjacent listed building (No. 118 Market Street). As such I feel the proposal would meet the statutory duty 'to preserve' and would comply with the planning guidance contained in Chapter 16 of the NPPF and the Policy ENV2 of the Local Plan."

In light of the above, it is not considered the development would significantly impact upon the setting of the listed building, which is positioned at a lower elevation to the applicant's property with mature vegetation in place between the dwellings.

Neighbour Amenity

Both national and local policies aim to protect the amenity of all existing and future occupants of land and buildings. Policy HS9 of the Local Plan and the SPD states that new development should protect the amenity of residents ensuring that each resident has an acceptable level of privacy and satisfactory level of daylight. Important factors such as overlooking and overshadowing will be taken into consideration.

The proposed development would be most visible from No.79 to No.85 Tonacliffe Road. However, these properties are positioned to the rear of the application site on the opposite side of Tonacliffe Road and are at a higher elevation than the road, with applicant's property being located at a lower elevation. The proposed two-storey rear extension would still be visible however; its impact upon these neighbours would be similar to that of a single storey addition. No

comments/objections have been received during the neighbour consultation phase of the application.

Due to the difference in height and the distance between the properties, it is not considered the development would significantly impact upon the amenity of the surrounding residents.

Access/Parking

Sufficient space for off-street parking is located to the front elevation of the property. LCC Highways have been consulted and raised no objection to the proposals.

9. CONCLUSION

While the proposed development would be acceptable in principle and would not be detrimental to the amenity of surrounding neighbours or highway safety, the proposals are not considered acceptable in terms of the impact upon the character and appearance of the host property or surrounding street scene.

10. RECOMMENDATION

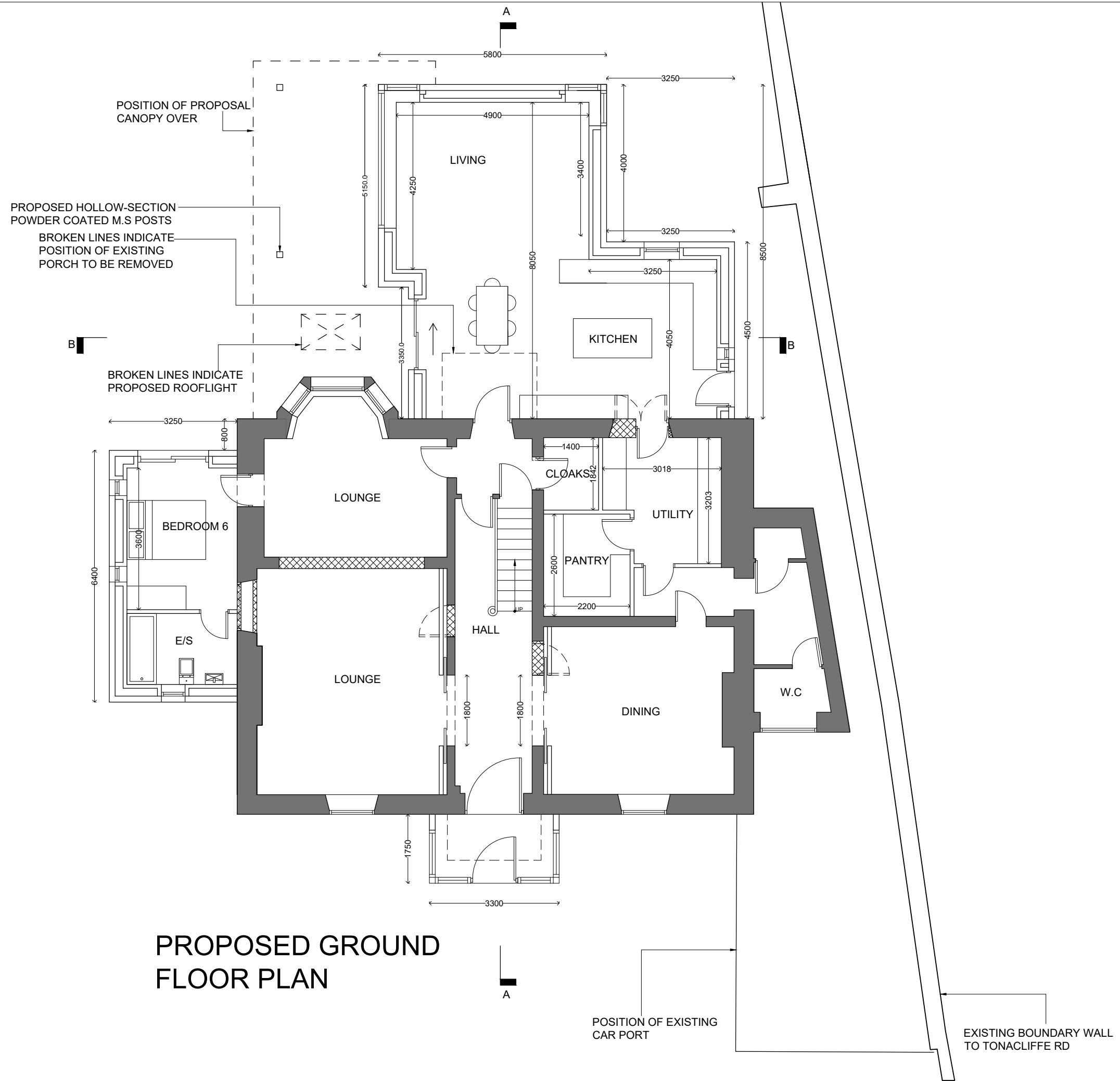
Refusal

Reason for Refusal

- 1) The proposed development by reason of its scale, design and style, would have an incongruous relationship with the host dwelling and would appear as an unsympathetic and visually jarring form of development in a visually prominent location. The development would significantly harm the character and appearance of the host dwelling and would detract from the character of the surrounding street scene. Therefore, the proposed scheme is contrary to Section 12 of the Framework, Policies HS9 and ENV1 of the Rossendale Local Plan 2019 – 2036 and the guidance contained within the Council's Alterations and Extensions to Residential Properties SPD.

Informative

- 1) The proposal would not comply with the development plan and would not improve the economic, social and environmental conditions of the area. There were no amendments to the scheme, or conditions which could reasonably have been imposed, which could have made the development acceptable and it was therefore not possible to approve the application. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.



PROPOSED GROUND FLOOR PLAN

REV	DESCRIPTION
A	BOUNDARY WALL AND NOTES ADDED 17.08.22 R.L.
B	GENERAL AMENDMENTS TO FLOOR PLAN 17.01.23 D.D.

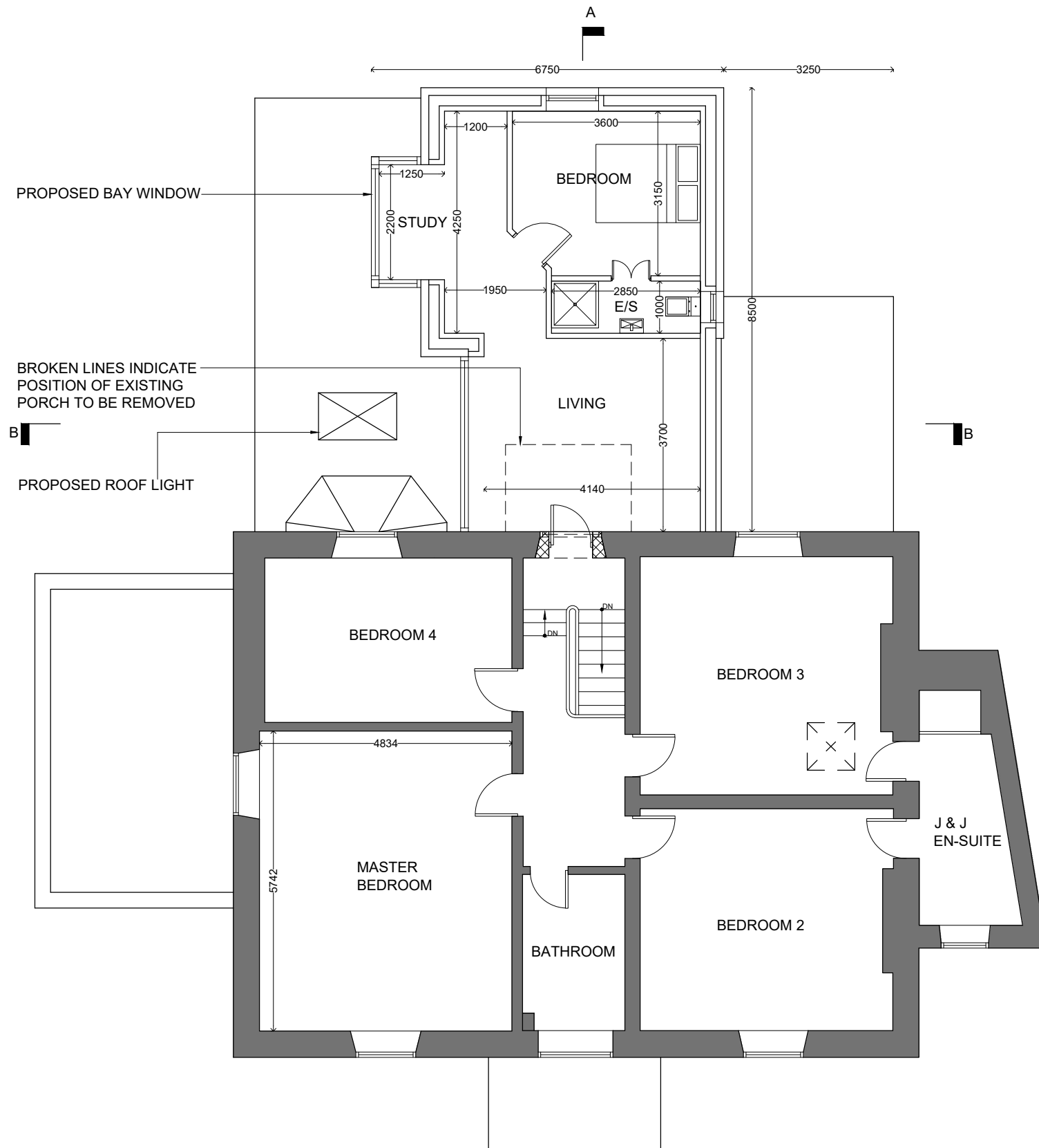
PROPOSED GROUND FLOOR PLAN

PROPOSED EXTENSION AND INTERNAL ALTERATIONS
 BIRCHCLIFFE, TONACLIFFE ROAD, WHITWORTH,
 ROCHDALE, OL1 2SJ

CLIENT:	DUFFY
DWG NO:	PL K1057/02
SCALE:	1/100 @ A3
DRAWN BY:	R.S.P.
DATE:	07/07/22
REV:	B



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PROPOSED FIRST FLOOR PLAN

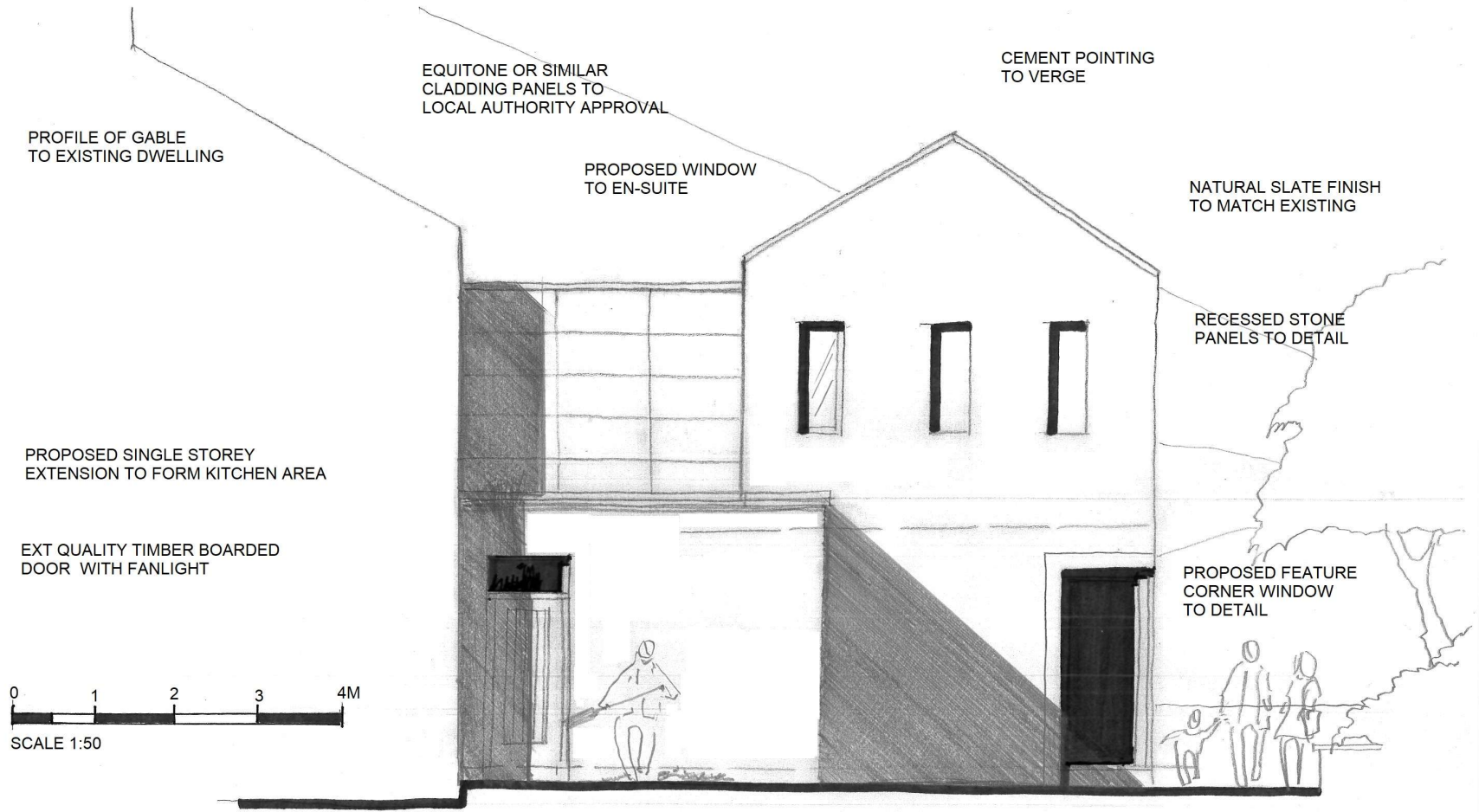
REV	DESCRIPTION
A	EXTERNAL POSTS & E/S REMOVED, NOTES ADDED 17.08.22 R.L.
B	GENERAL AMENDMENTS TO FLOOR PLAN 17.01.23 D.D.

PROPOSED FIRST FLOOR PLAN
 PROPOSED EXTENSION AND INTERNAL ALTERATIONS
 BIRCHCLIFFE, TONACLIFFE ROAD, WHITWORTH,
 ROCHDALE, OL1 2SJ

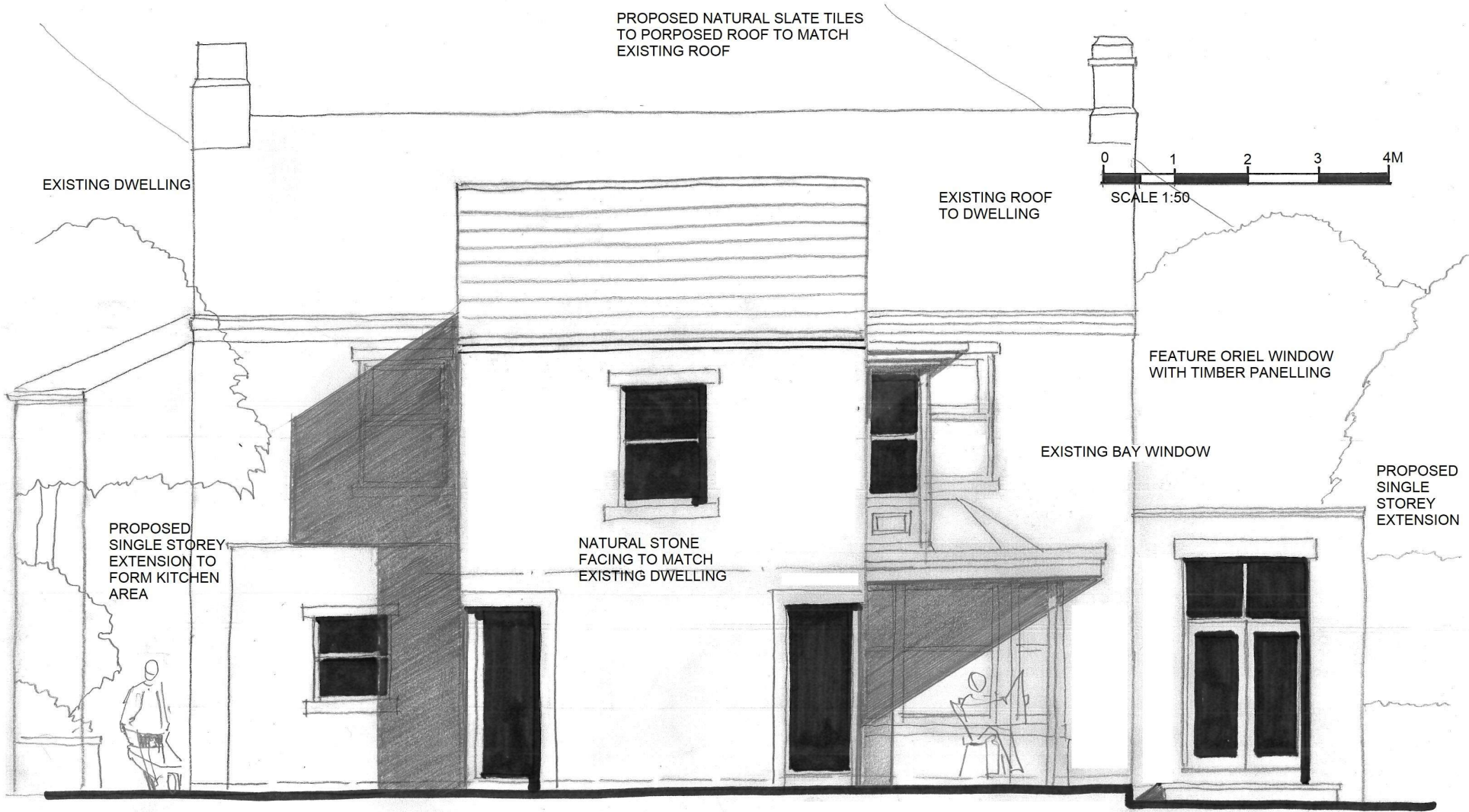
CLIENT: DUFFY
 DWG NO: PL K1057/03
 SCALE: 1/100 @ A3
 DRAWN BY: R.S.P.
 DATE: 07/07/22
 REV: A



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**PROPOSED EAST ELEVATION
 ALTERATIONS AND EXTENSIONS TO
 BIRCHCLIFFE, TONACLIFFE ROAD, WHITWORTH**

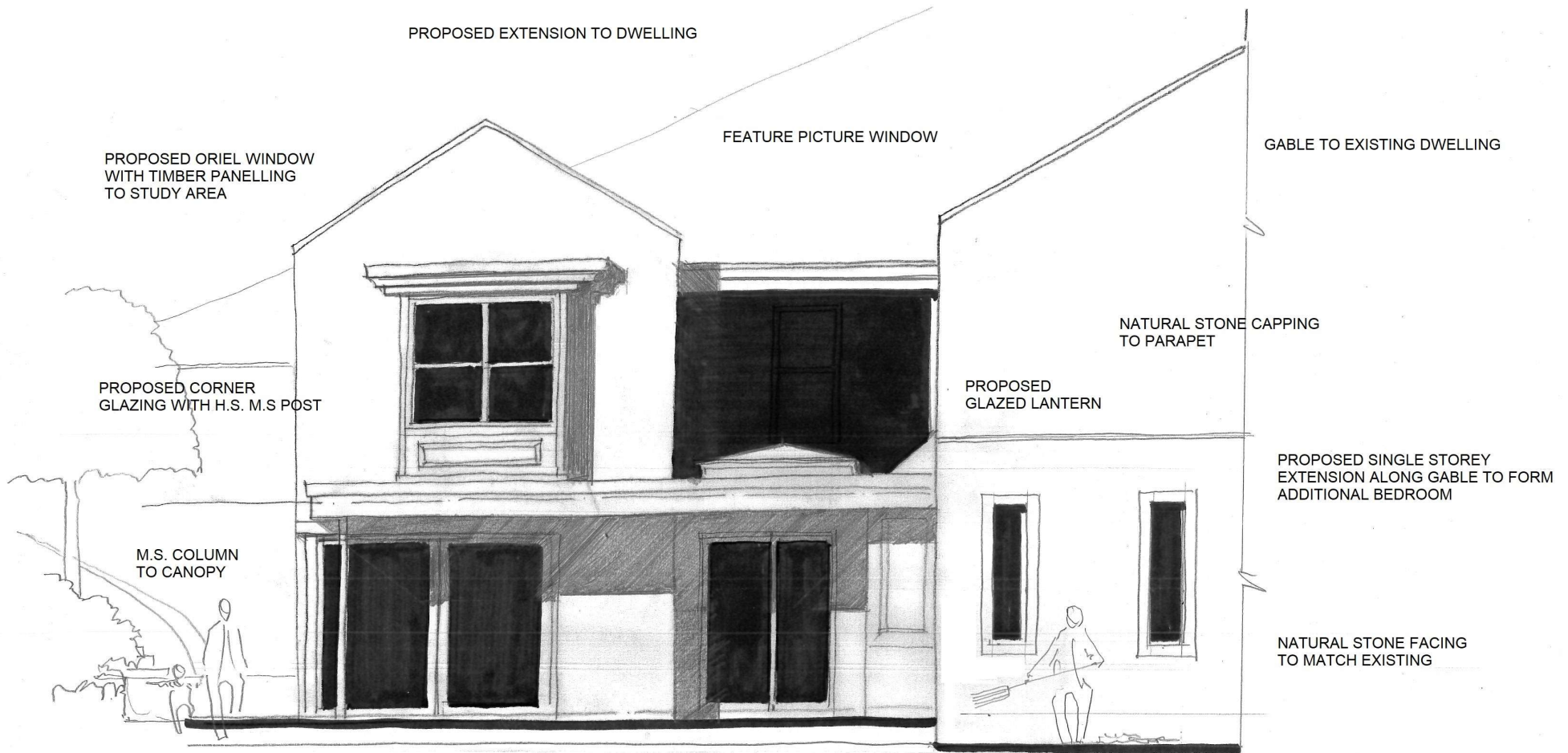


FEATURE CORNER WINDOWS
WITH M.S. H.S. STRUCTURAL
COLUMNS TO DETAIL

PROPOSED CANOPY
TO TERRACE

PROPOSED NORTH ELEVATION
ALTERATIONS AND EXTENSIONS TO
BIRCHCLIFFE, TONACLIFF ROAD, WHITEWORTH





PROPOSED EXTENSION TO DWELLING

PROPOSED ORIEL WINDOW WITH TIMBER PANELLING TO STUDY AREA

FEATURE PICTURE WINDOW

GABLE TO EXISTING DWELLING

PROPOSED CORNER GLAZING WITH H.S. M.S POST

NATURAL STONE CAPPING TO PARAPET

PROPOSED GLAZED LANTERN

PROPOSED SINGLE STOREY EXTENSION ALONG GABLE TO FORM ADDITIONAL BEDROOM

M.S. COLUMN TO CANOPY

NATURAL STONE FACING TO MATCH EXISTING

EXISTING BAY WINDOW



PROPOSED WEST ELEVATION
ALTERATIONS AND EXTENSIONS TO
BIRCHLIFFE, TONACLIFFE ROAD, WHITWORTH



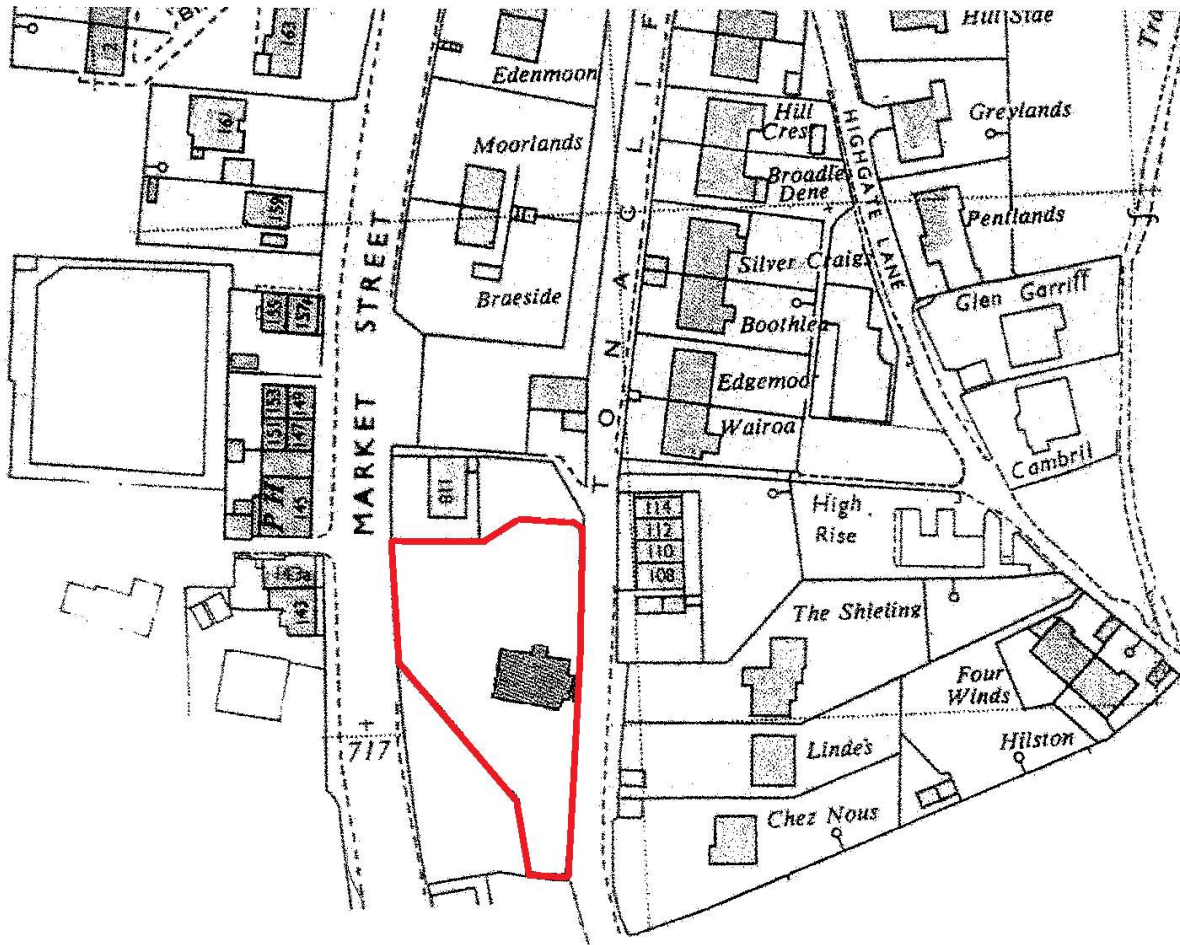
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FRONT ELEVATION

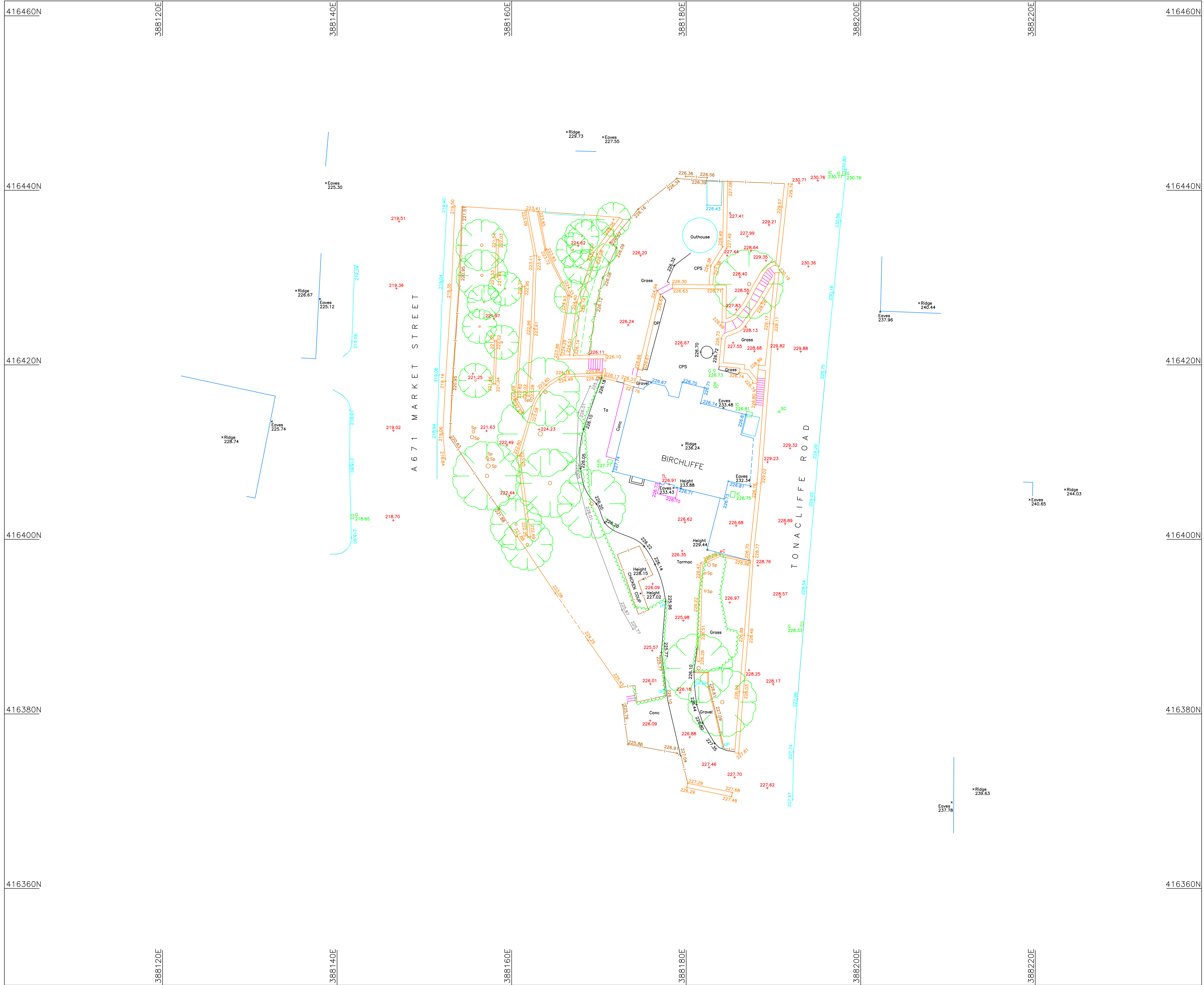
REV	DESCRIPTION
A	CLADDING CHANGED, WINDOWS ALTERED, NOTES ADDED. 17.08.22 R.L.
PROPOSED FRONT ELEVATION	
PROPOSED EXTENSION AND INTERNAL ALTERATIONS BIRCHCLIFFE, TONACLIFFE ROAD, WHITWORTH, ROCHDALE, OL1 2SJ	
CLIENT:	DUFFY
DWG NO:	PL K1057/04
SCALE:	1/100 @ A3
DRAWN BY:	R.S.P.
DATE:	07/07/22
REV:	A
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Location Plan
Birchcliffe, Tonacliffe Road
Whitworth
OL12 8SJ
Scale - 1:1250 @ A4



ABBREVIATIONS					
AB	Automatic Barrier	GV	Gas Valve	Sap	Sapping
AC	Air Conditioning	HR	Head Rail	SC	Stop Cook
Apx	Approximate	H	High	Sec	Security fence
B	Bollard	HL	Height	SH	Speed Hump
BB	Beisha Beacon	IB	Illuminated Bollard	SK	Skate
BL	Backstop Level	IC	Inspection Cover	SN	Sign
BH	Bonhole	ICH	Inspection Chamber	SOL	Soft Level
BL	Bed / Beam / Base Level	IL	Invert Level	SOS	Emergency telephone
BR	Brick Paving	im	Intercom	Sp	Stamp
BR	Bollard Removable	IRF	Iron Rail Fence	SPC	Speed Camera
BRW	Brick Retaining Wall	KD	Keel Outlet	SFF	Sheet Pile/face Fence
BS	Bus Stop/Shelter	KT	Keel Top	SFS	Stone Facing Slabs
BT	British Telecom	L	Light	SFR	Stone Retaining Fence
BW	Brick Wall	LH	Lamp Hole	SRW	Stone Retaining Wall
BWF	Brick Wire Fence	LP	Lamp Post	St	Step
C	Column	m	Meters	SV	Stop Valve
CB	Cell Box	Max	Maximum	SW	Surface Water
CBF	Close Board Fence	MC	Motoway Corrim	Ta	Tarmac surface
CCTV	Closed Circuit TV	MH	Manhole	Temp	Temporary
CCF	Congrued Iron Fence	MHB	Manhole Biscuit	TH	Trail Hole
CLF	Chain Link Fence	Mk	Marker	TL	Threshold Level
Conc	Concrete surface	MG	Multiple Girth tree	Tk	Tank
CPF	Concrete Panel Fence	Min	Minimum	TM	Ticket Machine
CPS	Concrete Paving Slabs	MP	Marker Post	TP	Telephone Pole
CTV	Cable Television	MRF	Metal Railing Fence	TFS	Tackle Facing Slabs
CW	Combined Water	MW	Mouthing Well	TS	Traffic Signal
D	Diameter	NP	Name Plate	TV	Cable TV
DE	Difference in Easting	NVP	No Pipe Visible	UB	Utility Box
DN	Difference in Northing	OHL	Overhead Line	US	Underdrain
Dp	Downpipe	OP	Overhead Power	UTL	Unable To Lift
DPC	Damp course wall	OHT	Overhead Telecom	UTS	Unable To Survey
DRF	Diamond Rail Fence	OP	Ornamental Planting	VC	Vitrified Clay
EB	Electricity Box	P	Post	W	Wash
EL	Electricity cover	PB	Post Box	WB	Water Box
EP	Electricity Pole	PC	Pedestrian Crossing	WF	Woods Hoarding Fence
FB	Flower Bed	PCF	Post & Chain Fence	WL	Water Level
FD	Ful Depth	PN	Pipe	WM	Water Meter
FH	Fire Hydrant	PM	Parking Marker	WMF	Woods Mesh Fence
FL	Flour Level	PRF	Post & Panel Fence	WPF	Woods Panel Fence
FP	Fog Pole	PRF	Post & Rail Fence	Wo	Woods
FW	Foul Water	PWF	Post & Wire Fence	XZ	Multiple instances
G	Gully	RE	Rodding Eye	Ø	Diameter in mm
Ga	Gravel surface	RS	Road Sign	→	Direction of flow
GP	Gate Post	RSL	Road Sign Illuminated		

NOTES

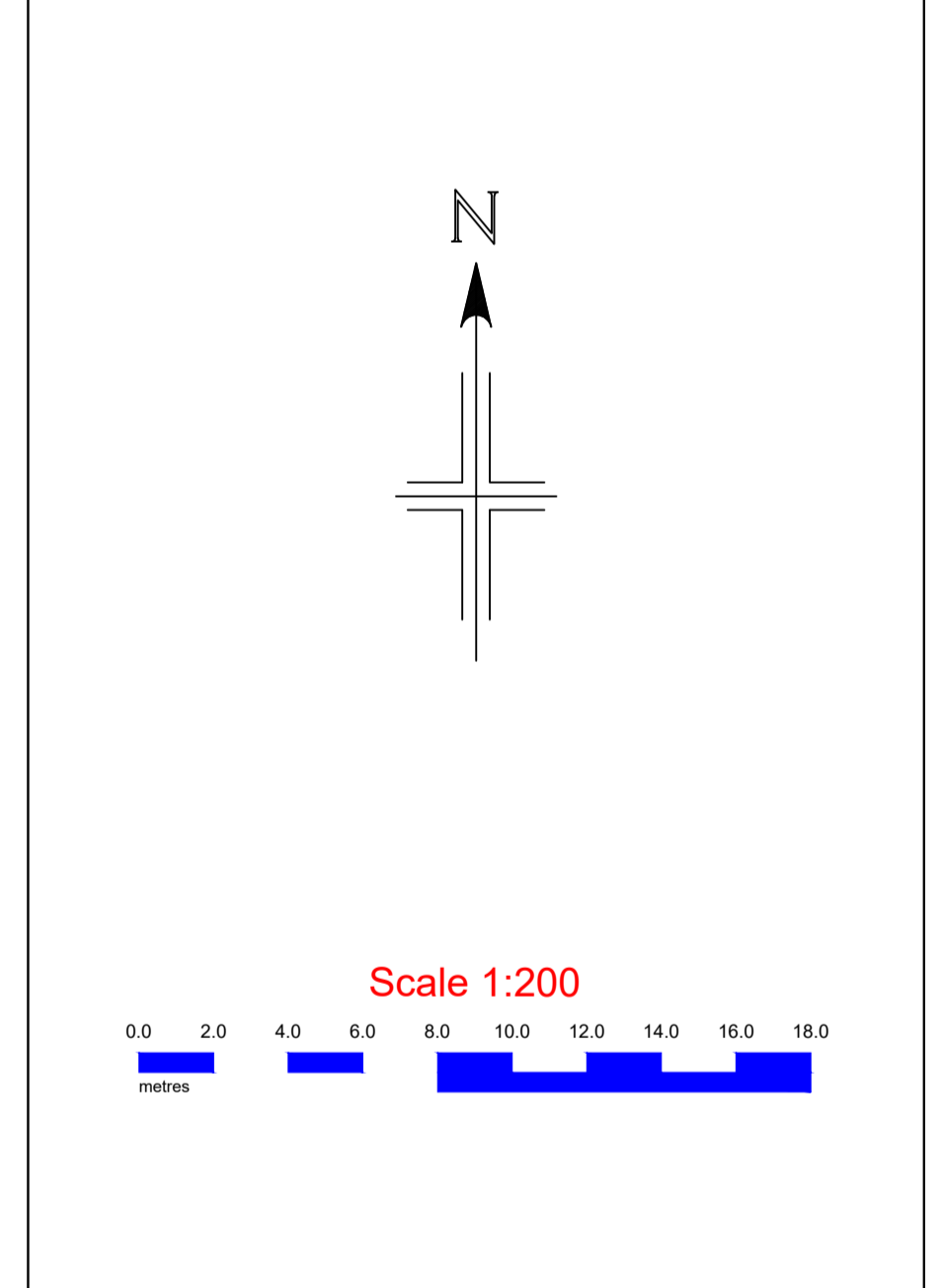
PLAN GRID IS LOCAL BASED UPON O.S. NATIONAL GRID

ALL LEVELS RELATE TO ORDANCE DATUM, (OSGM15)

ESTABLISHED USING THE O.S. NATIONAL ACTIVE GPS NETWORK

Issue	Details	By	Chk'd	Date
00	Original issue	AS/CD	SA	12/07/2022

SHEET LAYOUT



SURVEYED BY AS/CD	DRAWN BY AS/CD	SCALE 1:200
DATE OF ISSUE JULY 2022	@ A1	

TITILE

**TONACLIFFE ROAD
ROCHDALE
OL12 8SJ**

TOPOGRAPHICAL SURVEY

DRAWING No. PS-2242-TS	ISSUE 00
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SHEET 1 OF 1

PARAGON SURVEYS
Chartered Surveyors
GEOMATICS: Land & Engineering Surveyors

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Greater Manchester
WN6 9SH
T: (01257) 453200
E: post@ParagonSurveys.co.uk
Northern Office: Gosforth Lodge, Gosforth, Seascale, Cumbria. CA20 1AS

Rosendale BOROUGH COUNCIL

The Town and Country Planning Act 1990
(Development Management Procedure)

Application for Planning Permission

Application Reference: [REDACTED]

The Planning Manager gives notice that Mr C. Duffy
under the above legislation for:

Proposal: Householder: Two storey extension to
side porch extension to front
Location: Birchcliffe, Tonacliffe Road, Whitworth, [REDACTED]

Members of the public may view this application
at <https://www.rossendale.gov.uk/planningcomment>

or scan the QR code with your smart phone to view our

Representations should be made via our website or
quoting the application reference number above.
Comments you make cannot be treated as confidential
including personal information will be made available
to the applicant or other members of the public.

If an appeal is made against the application,
the Planning Inspectorate and will be considered with the appeal
but will be taken into consideration.

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Date of Notice: 4/11/22













