

<b>Application Number:</b>	2023/0103	<b>Application Type:</b>	Full (Major)
<b>Proposal:</b>	Full: demolition of the main school building and language centre (Use Class F1a), erection of replacement education facility (Use Class F1a) and photovoltaic panels, with associated vehicle and cycle parking, refuse store and outdoor recreation facilities.	<b>Location:</b>	All Saints RC Language College Haslingden Road Rawtenstall
<b>Report of:</b>	Planning Manager	<b>Status:</b>	For Publication
<b>Report to:</b>	Development Control Committee	<b>Date:</b>	05/09/2023
<b>Applicant(s):</b>	All Saints RC High School	<b>Determination Expiry Date:</b>	08/09/2023
<b>Agent:</b>	Lucy Furber (Iceni Projects)		

<b>Contact Officer:</b>	<b>James Dalglish</b>
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<b>REASON FOR REPORTING</b>	
<b>Outside Officer Scheme of Delegation</b>	✓ (Major Application)
<b>Member Call-In</b> Name of Member: Reason for Call-In:	
<b>3 or more objections received</b>	
<b>Other (please state):</b>	

### HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:-

#### Article 8

The right to respect for private and family life, home and correspondence.

#### Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

## 1. **RECOMMENDATION**

Approve subject to the conditions set out in this report.

## 2. **SITE**

The entire school complex is within Green Belt, to the west of the Urban Boundary of Rawtenstall. It extends to approximately 5.2 hectares.

The existing complex of a number of 2 and 3 storey buildings is to the south side of Haslingden Road, although little is seen from this road as the site sits at a much lower level and, in part, behind a row of residential properties.

Access to the school is by means of a long drive that descends from Haslingden Road. At the base of the slope is a car park and bus pick-up/drop-off zone, and beyond this the complex of buildings to its south west, and playing fields to the south east.

There are no tree preservation orders on the site, nor conservation areas or listed buildings (although one of the buildings in the neighbouring Cribden House School is Grade II Listed).

## 3. **RELEVANT PLANNING HISTORY**

**2009/0199** - Erection of new sports hall (683sqm) with terraced seating area on its south side with canopy over (159sqm) (amended plan) (Approved)

**2009/0516** - Discharge of conditions 1 to 9 of planning application 2009/0199 (Approved)

**2011/0341** - Replacement of all existing windows to the main school block and provision of Brise Soleil & Terracotta Cladding Panels & Metal Panel Overcladding of Water Tower and Stairwell Blocks (Approved)

**2011/0626** - Erection of palisade fencing to height of 2m along southern boundary (Approved)

**2012/0166** - Modification and refurbishment of the existing building to southwest of site (ROSLA block), and the existing Gymnasium to become a new Expressive Arts Centre including new roofs and external cladding (Approved)

**2016/0017** - Erection of fencing & access gates to the Car Park adjacent to the main entrance and driveway (Approved)

## 4. **PROPOSAL**

The application relates to one of 50 schools selected for funding under the Department for Education's School Rebuilding Programme. It is understood that selection was based on their physical condition.

The proposed development comprises the demolition and replacement of the existing school with a new building, with the exception of the sports hall, which will be retained. The school must remain operational during the construction period and therefore the new development will avoid all the existing buildings. Construction access to the contractors'

compound is to be from the existing access off Haslingden Road, which is shared with the existing school vehicle access.

The proposed new building will have two and three storey elements and will allow approximately an additional 25 pupils, thereby increasing the intake from 500 to 525. The building will be flat roofed and will be a traditional steel frame and masonry / brick / cladding construction.

The new building will be sited on land that currently forms the existing 3 court Multi-Use Games Area (MUGA) and on the northernmost part of the playing field. The MUGA will be relocated to the north-western part of the site adjacent to the sports hall, and the long jump pit will be relocated between playing field pitches. The area of playing field to be lost is approximately 0.2ha. This land will accommodate the construction compound, and then will be used for deliveries and refuse during the operational stage of the development.

In addition to a new building, hard informal spaces will be re-provided in line with the existing provision. Soft landscaped informal spaces will be provided within the remaining areas. The MUGA to the south of the sports hall will remain in place.

The existing site entrance to the northwest will remain as the main site entrance for staff and visitors. The staff car park will provide 54 parking spaces (including five EV charging bays), six disabled bays, and three motorbike spaces, plus 16 cycle parking spaces. The car park will be physically separated from pupils and cycle parking for safeguarding reasons.

## **5. POLICY CONTEXT**

### **National**

#### **National Planning Policy Framework**

Section 2 Achieving Sustainable Development

Section 8 Promoting Healthy and Safe Communities

Section 9 Promoting Sustainable Transport

Section 11 Making Effective Use of Land

Section 12 Achieving Well Designed Places

Section 13 Protecting Green Belt Land

Section 14 Meeting the Challenge of Climate Change, Flooding and Coastal Change

Section 15 Conserving and Enhancing the Natural Environment

Section 16 Conserving and Enhancing the Historic Environment

### **Development Plan Policies**

#### **Local Plan**

Strategic Policy SS: Spatial Strategy

SD1: Presumption in favour of sustainable development

SD2: Urban boundary and green belt

SD4: Green belt compensatory measures

ENV1: High quality development

ENV3: Landscape character and quality

ENV4: Biodiversity

ENV5: Green infrastructure networks

ENV6: Environmental protection

ENV9: Surface water run-off

ENV10: Trees and hedgerows  
 LT1: Protection of playing pitches  
 TR4: Parking

### **Other Material Planning Considerations**

National Planning Practice Guidance  
 Open Space SPD  
 Playing Pitch and Outdoor Sport Strategy  
 Climate Change SPD

## **6. CONSULTATION RESPONSES**

<b>Consultee</b>	<b>Response</b>	<b>Conditions recommended?</b>
Cadent	No objection	No
Coal Authority	No objection	No
Ecology	No objection	Yes
Tree Consultant	No objection	Yes
Environment Agency	No response received	No
Land Contamination Consultant	No objection	Yes
Fire Brigade	No objection	No
Growth Lancashire (Conservation Consultant)	No objection	No
LCC Young People Directorate	No response received	No
LCC Development Management	No response received	No
LCC Lead Local Flood Authority	No objection	Yes
LCC Planning Contributions	No response received	No
LCC Property Department	No response received	No
LCC Public Rights of Way	No response received	No
LCC School Planning Team	No response received	No
LCC Highways	No objection	Yes
Lancashire Constabulary	No response received	No
RBC Building Control	No comments to make	No
RBC Environmental Health	No objection	Yes
RBC Forward Planning	No objection	No
RBC Operations	No response received	No
RBC Property Services	No comments to make	No
United Utilities	No objection	Yes
Sport England	No objection	Yes
LCC Archaeology	No objection	No

## **7. NOTIFICATION RESPONSES**

To accord with the General Development Procedure Order a press notice was published, site notices were posted and letters were sent to neighbours.

Two objections have been received from members of the public. The key areas of concern are summarised below:

- Lack of community involvement / consultation by the applicant
- Inaccurate information submitted in relation to Traffic Regulation Orders

- Height and proposed materials are inappropriate
- Harm to neighbour amenity
- Design issues
- Parking, highway safety and access issues
- Drainage issues
- Japanese Knotweed issues
- Damage to trees and property
- Inadequate parking for contractors
- Biodiversity / ecology concerns
- Noise / disturbance
- Concern over proposed gender-neutral toilet facilities

## 8. **ASSESSMENT**

### Principle

#### *Green Belt*

The site lies outside of the Urban Boundary, as identified by the Council’s adopted Local Plan, and wholly within the Green Belt. The proposals need to be considered initially against the provisions of the Rossendale Local Plan and Section 13 of the National Planning Policy Framework (NPPF).

The NPPF primarily seeks to maintain the openness of the Green Belt but also identifies circumstances where development will be viewed as appropriate within it.

Section 13 of the NPPF states that ‘the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open’ adding that ‘the essential characteristics of Green Belts are their openness and their permanence’. The general thrust is that any form of development within the Green Belt is inappropriate and therefore by definition harmful to it unless it represents one of the exceptions identified in paragraphs 149 and 150 of the NPPF.

Paragraph 148 adds that ‘when considering any planning application, Local Planning Authorities should ensure that substantial weight is given to any harm to the Green Belt’. ‘Very special circumstances’ to warrant the approval of applications will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraphs 149 and 150 identify the nature of development that can normally be viewed as an ‘exception’ to Green Belt policy and therefore acceptable in principle. Criterion (d) in paragraph 149 allows for “...the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces.”

The applicant has provided existing and proposed volumes, to enable a comparison to be carried out, and therefore to inform an assessment against criterion (d) above:

Existing Scheme	Volume (m <sup>3</sup> )	Proposed Scheme	Volume (m <sup>3</sup> )
Sports Hall (being retained)	6,539	Sports Hall (being retained)	6,539
Main School building (to be demolished)	16,400	Main school building (new build)	19,792
Learning Centre building (to be demolished)	3,284		
<b>TOTAL</b>	<b>26,223</b>	<b>TOTAL</b>	<b>26,331</b>
<b>% CHANGE</b>	<b>0.55% increase</b>		

The proposed school building is to replace the existing school building and so will be in the same educational use (Use Class F1(a)).

The new school building will be of a very similar volume compared to the existing building (representing a very slight 0.55% increase in volume), and the actual built footprint on site is to be reduced – with the additional volume made up by the fact that the proposed building will be around 1.9m taller than the highest point of the existing.

Having regard to the more compact footprint of the proposed building, and the marginal increase in volume proposed, it is considered in this case that the proposal meets the exception test set out above, as the new building cannot be considered in this case as being *materially* larger than existing.

The resulting smaller footprint of the building will leave more land open for uses including recreation at the school. For all of these reasons, it is considered that the proposals represent appropriate development within the Green Belt.

### *Playing Fields*

As the proposed development involves the loss of part of an existing playing field and a MUGA (multi-use games area), it triggers an assessment against Local Plan Policy LT1 and paragraph 99 of the NPPF.

The applicant has engaged with pre-application discussions with Sport England, and Sport England have been consulted on this application.

Sport England have raised no objection, subject to the inclusion of conditions relating to final details of the replacement multi-use games area, long jump pit and community use of the facilities.

Having regard to the above, it is considered that the proposals accord with Policy LT1 of the Local Plan and the NPPF.

### Visual Amenity

Given the site's location within the Green Belt, considering the building's scale and visibility from PROWs, it is important that the overall appearance of the building is acceptable and that it is compatible with its surroundings.

Local Plan Policy ENV3 expects all development proposals to conserve and, where possible, enhance the natural and built environment. Proposals which are in keeping with

the landscape character, and which are appropriate to its surroundings in terms of siting, design, density, materials, and external appearance and landscaping will be supported.

The ground floor of the proposed school building will consist of buff brick. The upper floors or the main building will receive copper/bronze cladding. Projecting window boxes in a contrasting colour will be used. Additional materials will include dark grey coloured bricks, and powder coated aluminium frames in dark grey, copper, and bronze. Around the sports hall, at the main entrance, and adjacent to the main stairwells will be curtain walls of glazing.

The proposed materials will give the building a distinctive appearance, appropriate to a modern educational facility, and it is considered that it will represent a marked improvement in visual quality compared to the existing buildings on site.

The proposed school building is between two to three storeys in height. Most of the building is at three-storeys, but then steps down at the eastern end to two-storeys. Whilst taller than the existing buildings on site, in the context of the surroundings (having regard to the fact that the site sits considerably lower than the level of Haslingden Road) the height is considered acceptable and the building will not be unduly dominant.

The proposed landscaping of the site will ensure a high quality and attractive appearance to the site once works are complete, providing a good external environment for pupils and staff at the school.

#### Neighbour / Residential Amenity

Objectors' comments are noted. However in this case it is considered that the new school building will be located at such a distance from existing residential properties that impacts on privacy, outlook and daylight will be negligible. Conditions are proposed which will limit the hours that construction works can take place on site, with the intention of minimising disturbance to residents. The Council's Environmental Health team has been consulted and has raised no objection. Similarly, the Local Highway Authority raises no objection to the application in relation to existing parking issues around the area and has requested a condition relating to a construction management plan / method statement.

Having regard to the above, the application is considered acceptable in terms of neighbour / residential amenity subject to the conditions included in this report.

#### Climate Change

The Council has adopted a Climate Change Supplementary Planning Document (SPD). With this in mind, the application is accompanied by a statement demonstrating how the proposed development has been designed to be adaptable to climate change, how it incorporates energy efficiency principles and how it has adopted principles of sustainable construction.

#### Ecology

The Council's ecology consultant (Greater Manchester Ecology Unit) has raised no objection to the proposed scheme subject to the inclusion of conditions securing the implementation of proposed biodiversity enhancement measures and preventing harm to protected species.

## Access, Parking and Highway Safety

The Local Highway Authority has been consulted on the application, and has raised no objection subject to the imposition of conditions which are included below.

## Other Considerations

An objection has been received from a member of the public in relation to proposed gender-neutral toilet facilities at the new school. Such matters are covered under separate legislation and statutory guidance, which the school would need to accord with irrespective of any planning conditions.

Irrespective of the above, for clarity the case officer has raised the issue with the applicant's agent, who has provided the following response:

*"I've checked with the project team on this one and apparently this had been raised previously during the design development stage. Tilbury Douglas checked back with the Department for Education at that time who confirmed that:*

***'The solution proposed by the Tilbury Douglas represents an acceptable interpretation of the School Premises Regulations', and I understand that this is because we are proposing lockable full height cubicles."***

## **9. SUMMARY REASON FOR APPROVAL**

1. The development is acceptable in principle, as an exception to Green Belt policy, given that in this case the proposed building is not considered to be materially larger than that which it replaces. Subject to conditions, the development will not cause undue harm to playing pitch provision, amenity, highway safety, the character of the area or biodiversity. As such, the development accords with the National Planning Policy Framework and the Council's adopted Local Plan.

## **10. CONDITIONS**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To accord with the requirements of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following documents, unless otherwise required by the conditions below:

- Level 00 GA (SRP1051-EWA-ZZ-00-D-A-0400)
- Level 01 GA (SRP1051-EWA-ZZ-01-D-A-0401)
- Level 02 GA (SRP1051-EWA-ZZ-02-D-A-0402)
- Roof Plan (SRP1051-EWA-ZZ-R1-D-A-0403)
- Proposed Elevations (SRP1051-EWA-ZZ-ZZ-D-A-0501)
- Proposed Sections (SRP1051-EWA-ZZ-ZZ-D-A-0601)



- Site Location Plan (SRP1051-EWA-ZZ-ZZ-D-A-9001)
- Site Plan (SRP1051-EWA-ZZ-ZZ-D-A-9002 Rev. P11)
- Proposed Site Sections (SRP1051-EWA-ZZ-ZZ-D-A-9004)
- Demolitions Site Plan (SRP1051-EWA-ZZ-ZZ-D-A-9005)
- Proposed and Existing North Elevation (SRP1051-EWA-ZZ-ZZ-D-A-9006)
- Proposed External Lighting Layout (SRP1051-TAC-ZZ-XX-D-E-9008 REV P01)
- Arboricultural Impact Assessment (V.3)
- Biodiversity Enhancement Measures (V.2)
- Assessment of Biodiversity (V.2)
- Ecological Method Statement (19.12.2022 – Amenity Tree)
- Environmental Strategy Report (SRP1051-TAC-ZZ-XX-T-MEP-0004)
- External Lighting Calculations (PA1656)
- GCN/Amphibian Appraisal & Habitat Enhancement Measures Strategy (December 2022)
- Part L2 Compliance Report (SRP1051-TAC-ZZ-XX-T-0010)
- Precautionary method of works for invasive species (09.01.2022)
- Outline Drainage Strategy (SRP1051-AJP-ZZ-00-D-C-1000-P05)
- SRP1051-AJP-ZZ-00-D-C-1300-P02 - Typical Drainage Details 1 of 3
- SRP1051-AJP-ZZ-00-D-C-1301-P02 - Typical Drainage Details 2 of 3
- SRP1051-AJP-ZZ-00-D-C-1304-P02 - Typical Drainage Details 3 of 3
- SRP1051-AJP-ZZ-00-D-C-1302-P02 - Flow Control Chamber & Typical Catchpit Details
- SRP1051-AJP-ZZ-00-D-C-1303-P02 - Typical Attenuation Tank Detail
- SRP1051-AJP-ZZ-XX-T-C-3000\_P03 - FRA & Drainage Strategy Report (April 2023)
- 26834-HYD-XX-XX-RP-TP-6001-P04 – Travel Plan (10 May 2023)
- Staff Travel Information Pack
- Student Travel Information Pack
- 26834-HYD-XX-XX-RP-TP-1001-P01 - Considerate Drivers Code of Conduct (3 May 2023)

Reason: For the avoidance of doubt and to ensure a satisfactory standard of development.

3. No above-ground construction works to the new school buildings shall take place until physical samples (accompanied by trade literature) of the proposed facing and roofing materials have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be implemented in accordance with the approved details.

Reason: To ensure a high quality appearance to the development.

4. Notwithstanding what is shown on the approved plans, the photovoltaic (PV) canopy shall not be installed until full details of its final design, size and appearance have been submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be implemented in accordance with the approved details.

Reason: In the interests of visual amenity.

5. Notwithstanding any information submitted with the application, no development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority:

- A revised Preliminary Risk Assessment report (phase 1), including a conceptual model and a site walk over survey.

- A detailed schedule of site investigation works, including full details of the proposed site investigation to be undertaken on site and a phasing plan / timetable setting out when it is to take place during the construction and demolition works associated with the approved development.

Where potential risks are identified by the Preliminary Risk Assessment, a full Phase 2 Site Investigation report and a contaminated land remediation strategy (including verification plan) covering any given phase of development shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of any works on that phase of the development.

The Phase 2 investigation shall address the nature, degree and distribution of land contamination on site and shall include an identification and assessment of the risk to receptors focusing primarily on risks to human health, groundwater and the wider environment.

Each phase of the development shall thereafter be carried out in full accordance with the duly approved remediation strategy for that part of the development.

Reason: In the interests of mitigating hazards associated with land contamination, and to prevent pollution.

6. Pursuant to condition 5 and prior to first use or occupation of any given phase of the development, a verification report which validates that all remedial works undertaken on that phase of the development were completed in accordance with those agreed with the Local Planning Authority shall be submitted to and approved in writing by the Local Planning Authority. No phase of the development shall be used / occupied without the relevant verification report for that phase of the development having first been submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of mitigating hazards associated with land contamination, and to prevent pollution.

7. During the period of construction, should contamination be found on site that has not been previously identified, no further works shall be undertaken in the affected area.

Prior to further works being carried out in the affected area, the contamination shall be reported to the Local Planning Authority within a maximum of 5 days from the discovery, a further contaminated land assessment shall be carried out, and appropriate mitigation shall

be identified and agreed in writing by the Local Planning Authority. The development shall thereafter be undertaken in accordance with the agreed mitigation scheme.

Reason: In the interests of mitigating hazards associated with land contamination, and to prevent pollution.

8. No development shall take place, including any works of demolition or site clearance, until a Construction Management Plan (CMP) or Construction Method Statement (CMS) has been submitted to, and approved in writing by the local planning authority. The approved plan / statement shall provide:

- 24 Hour emergency contact number.
- Details of the parking of vehicles of site operatives, school staff and visitors for the full construction/demolition period.
- Details of loading and unloading of plant and materials.
- Arrangements for turning of vehicles within the site.
- Swept path analysis showing access for the largest vehicles regularly accessing the site and measures to ensure adequate space is available and maintained, including any necessary temporary traffic management measures.
- Measures to protect vulnerable road users (pedestrians and cyclists).
- The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate.
- Wheel washing facilities.
- Measures to deal with dirt, debris, mud or loose material deposited on the highway as a result of construction.
- Measures to control the emission of dust and dirt during construction.
- Details of a scheme for recycling/disposing of waste resulting from demolition and construction works.
- Construction vehicle routing.
- Hours of vehicle deliveries and movements to and from the site.

The approved Construction Management Plan or Construction Method Statement shall be adhered to throughout the construction period for the development.

Reason: In the interests of the safe operation of the adopted highway during the demolition and construction phases.

9. For the full period of construction facilities shall be available on site for the cleaning of the wheels of vehicles leaving the site and such equipment shall be used as necessary to prevent mud, stones and debris being carried onto the highway. Provision to sweep the surrounding highway network by mechanical means will be available and the roads adjacent to the site shall be mechanically swept as required during the full construction period.

Reason: To prevent stones, mud and debris being carried onto the public highway to the detriment of road safety.

10. The approved Travel Plan (26834-HYD-XX-XX-RP-TP-6001-P04 - 10 May 2023) shall be implemented in full and operated in accordance with the timetable contained therein for the lifetime of the development.

Reason: To ensure that the development provides sustainable transport options.

11. The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Foul & Surface Water Drainage Design Drawing 222-089/1000, Rev: P05, Dated 20/04/2023 which was prepared by AJP. For the avoidance of doubt no surface water will be permitted to drain directly or indirectly into the public sewer. Prior to first use / occupation of the proposed development, the drainage schemes shall be completed in accordance with the approved details and shall be retained thereafter for the lifetime of the development.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

12. No development shall commence in any phase until a detailed, final surface water sustainable drainage strategy for the site has been submitted to, and approved in writing by, the Local Planning Authority.

The detailed surface water sustainable drainage strategy shall be based upon the site-specific flood risk assessment and outline surface water sustainable drainage strategy submitted (SRP1051-AJP-ZZ-XX-T-C-3000, 222-089, Rev P03, 20/04/23, AJP) and sustainable drainage principles and requirements set out in the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems.

No surface water shall be allowed to discharge to the public foul sewer(s), directly or indirectly.

The details of the drainage strategy to be submitted for approval shall include, as a minimum:

a) Sustainable drainage calculations for peak flow control and volume control for the:

- i. 100% (1 in 1-year) annual exceedance probability event;
- ii. 3.3% (1 in 30-year) annual exceedance probability event + 40% climate change allowance, with an allowance for urban creep;
- iii. 1% (1 in 100-year) annual exceedance probability event + 45% climate change allowance, with an allowance for urban creep. Calculations must be provided for the whole site, including all existing and proposed surface water drainage systems.

b) Final sustainable drainage plans appropriately labelled to include, as a minimum:

- i. Site plan showing all permeable and impermeable areas that contribute to the drainage network either directly or indirectly, including surface water flows from outside the curtilage as necessary;
- ii. Sustainable drainage system layout showing all pipe and structure references, dimensions and design levels to include all existing and proposed surface water drainage systems up to and including the final outfall;

- iii. Details of all sustainable drainage components, including landscape drawings showing topography and slope gradient as appropriate;
- iv. Drainage plan showing flood water exceedance routes in accordance with Defra Technical Standards for Sustainable Drainage Systems;
- v. Finished Floor Levels (FFL) in AOD with adjacent ground levels for all sides of each building and connecting cover levels to confirm minimum 150 mm+ difference for FFL;
- vi. Details of proposals to collect and mitigate surface water runoff from the development boundary;
- vii. Measures taken to manage the quality of the surface water runoff to prevent pollution, protect groundwater and surface waters, and delivers suitably clean water to sustainable drainage components;

c) Evidence of an assessment of the existing on-site surface water drainage systems to be used, to confirm that these systems are in sufficient condition and have sufficient capacity to accept surface water runoff generated from the development.

d) Evidence that a free-flowing outfall can be achieved. If this is not possible, evidence of a surcharged outfall applied to the sustainable drainage calculations will be required.

The sustainable drainage strategy shall be implemented in accordance with the approved details.

Reason: To ensure satisfactory sustainable drainage facilities are provided to serve the site in accordance with the Paragraphs 167 and 169 of the National Planning Policy Framework, Planning Practice Guidance and Defra Technical Standards for Sustainable Drainage Systems.

13. No development shall commence until a Construction Surface Water Management Plan, detailing how surface water and storm water will be managed on the site during construction, including demolition and site clearance operations, has been submitted to and approved in writing by the Local Planning Authority.

The details of the plan to be submitted for approval shall include method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include for each phase, as a minimum:

a) Measures taken to ensure surface water flows are retained on-site during the construction phase(s), including temporary drainage systems, and, if surface water flows are to be discharged, they are done so at a restricted rate that must not exceed the equivalent runoff rate from the site prior to redevelopment.

b) Measures taken to prevent siltation and pollutants from the site entering any receiving groundwater and/or surface waters, including watercourses, with reference to published guidance.

The plan shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction.

Reason: To ensure the development is served by satisfactory arrangements for the disposal of surface water during each construction phase(s) so it does not pose an undue

surface water flood risk on-site or elsewhere during any construction phase in accordance with Paragraph 167 of the National Planning Policy Framework.

14. The occupation of the development shall not be permitted until a site-specific Operation and Maintenance Manual for the lifetime of the development, pertaining to the surface water drainage system and prepared by a suitably competent person, has been submitted to and approved in writing by the Local Planning Authority.

The details of the manual to be submitted for approval shall include, as a minimum:

- a) A timetable for its implementation;
- b) Details of the maintenance, operational and access requirement for all SuDS components and connecting drainage structures, including all watercourses and their ownership;
- c) Pro-forma to allow the recording of each inspection and maintenance activity, as well as allowing any faults to be recorded and actions taken to rectify issues;
- d) The arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage scheme in perpetuity;
- e) Details of financial management including arrangements for the replacement of major components at the end of the manufacturer's recommended design life;
- f) Details of whom to contact if pollution is seen in the system or if it is not working correctly; and
- g) Means of access for maintenance and easements.

Thereafter the drainage system shall be retained, managed, and maintained in accordance with the approved details.

Reason: To ensure that surface water flood risks from development to the future users of the land and neighbouring land are minimised, together with those risks to controlled waters, property, and ecological systems, and to ensure that the sustainable drainage system is subsequently maintained pursuant to the requirements of Paragraph 169 of the National Planning Policy Framework.

15. Occupation / use of the new school buildings shall not take place until a site-specific verification report, pertaining to the surface water sustainable drainage system, and prepared by a suitably competent person, has been submitted to and approved in writing by the Local Planning Authority.

The verification report must, as a minimum, demonstrate that the surface water sustainable drainage system has been constructed in accordance with the approved drawing(s) (or detail any minor variations) and is fit for purpose. The report shall contain information and evidence, including photographs, of details and locations (including national grid references) of critical drainage infrastructure (including inlets, outlets, and control structures) and full as-built drawings.

The scheme shall thereafter be maintained in perpetuity.

Reason: To ensure that surface water flood risks from development to the future users of the land and neighbouring land are minimised, together with those risks to controlled waters, property, and ecological systems, and to ensure that the development as

constructed is compliant with the requirements of Paragraphs 167 and 169 of the National Planning Policy Framework.

16. The general reasonable avoidance measures set out in section 7.2 of the GCN/Amphibian Appraisal & Habitat Enhancement Measures Strategy document (December 2022) by Amenity Tree Care Limited shall be carried out in full as part of the development.

Reason: In the interests of avoiding any potential harm to newts and amphibians.

17. Prior to commencement of any clearance works or earthworks on site, a reasonable avoidance measures method statement for badger and hedgehog (including an updated badger survey) shall be submitted to and approved in writing by the Local Planning Authority.

The development shall thereafter be implemented in accordance with the approved statement / details.

Reason: In the interests of avoiding any potential harm to badgers and hedgehogs.

18. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has first been carried out immediately prior to clearance and written confirmation provided that no active bird nests are present - which has been agreed in writing by the Local Planning Authority.

Reason: In the interests of avoiding any potential harm to nesting birds.

19. The development shall be implemented in accordance with the details and recommendations contained within the submitted Precautionary Method of Works for Invasive Species document (09.01.2022).

Reason: In the interests of controlling the spread of invasive species.

20. The biodiversity enhancement measures set out in the submitted Biodiversity Enhancement Measures document (Version 2 - 12.02.2023) and the submitted Biodiversity Net Gain Assessment document (Version 2- 21.02.2023) shall be implemented in full within six months of substantial completion of the development, and shall be retained and maintained for the lifetime of the development.

Reason: To secure a net gain in biodiversity on the site as part of the development.

21. No development shall take place until an updated Arboricultural Impact Assessment report (including accurate information regarding trees G2) and an updated Arboricultural Method Statement (including an updated Tree Protection Plan) have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

No development shall be carried out until all the retained trees within the site as shown on the Tree Protection Plan, have been protected in accordance with the approved details. Such protection shall remain until all development is completed and no work, including any form of drainage or storage of materials, earth or topsoil shall take place within the perimeter of such fencing.

Reason: To protect trees being retained on site.

22. All planting forming part of the approved development shall be carried out within the planting season following substantial completion of the development. Any trees or plants which become damaged / diseased, are removed, or die within ten years of being planted shall be replaced in the next available planting season by suitable replacement specimens of the same species.

Reason: To ensure that the proposed planting on site is established successfully following substantial completion of the development.

23. Development works shall only take place between the hours of 7.00 am and 7:00 pm Monday to Friday and 8:00 am and 1:00 pm on Saturdays. No construction shall take place on Sundays, or Bank / Public Holidays.

Reason: In the interests of neighbour amenity.

24. No development shall commence on the new multi use games area until details of the design and layout and specification of the new multi use games area which accord with Sport England design guidance have been submitted to and approved in writing by the Local Planning Authority, after consultation with Sport England. The new multi use games area shall be constructed in accordance with the approved details before the development is brought into use.

Reason: To ensure the development is fit for purpose and sustainable.

25. No development shall commence on the replacement long jump pit until details of the design and layout of the replacement long jump pit which accord with England Athletics design guidance have been submitted to and approved in writing by the Local Planning Authority, after consultation with Sport England. The replacement long jump pit shall be constructed in accordance with the approved details before the development is brought into use.

Reason: To ensure the development is fit for purpose and sustainable.

26. Prior to the development being brought into use, a Community Use Scheme shall be submitted to and approved in writing by the Local Planning Authority, after consultation with Sport England. The Scheme shall include details of pricing policy, hours of use, access by non-school users/non-members, management responsibilities and include a mechanism for review and shall include the school's sport facilities and changing rooms. The approved Scheme shall be implemented upon commencement of use of the development.

Reason: To secure well managed safe community access to the sports facility, to ensure sufficient benefit to the development of sport.

## 11. INFORMATIVES

1. Cadent Gas Ltd own and operate the gas infrastructure within the area of your development. There may be a legal interest (easements and other rights) in the land that restrict activity in proximity to Cadent assets in private land. The applicant must ensure that the proposed works do not infringe on legal rights of access and or restrictive covenants that exist.

If buildings or structures are proposed directly above the apparatus the development may only take place following diversion of the apparatus. The applicant should apply online to have apparatus diverted in advance of any works, by visiting [cadentgas.com/diversions](http://cadentgas.com/diversions)



Prior to carrying out works, including the construction of access points, please register on [www.linesearchbeforeudig.co.uk](http://www.linesearchbeforeudig.co.uk) to submit details of the planned works for review, ensuring requirements are adhered to.

2. The applicant is advised that they have a duty to adhere to the regulations of Part 2A of the Environmental Protection Act 1990, the National Planning Policy Framework and the current Building Control Regulations with regards to contaminated land. The responsibility to ensure the safe development of land affected by contamination rests primarily with the developer.

3. Note: Construction Management Plan.

- There must be no reversing into or from the live highway at any time – all vehicles entering the site must do so in a forward gear and turn around in the site before exiting in a forward gear onto the operational public highway.
- There must be no storage of materials in the public highway at any time.
- There must be no standing or waiting of machinery or vehicles in the public highway at any time.
- Vehicles must only access the site using a designated vehicular access point.
- There must be no machinery operating over the highway at any time, this includes reference to loading/unloading operations – all of which must be managed within the confines of the site.
- A licence to erect hoardings adjacent to the highway (should they be proposed) may be required. If necessary this can be obtained via the County Council (as the Highway Authority) by contacting the Council by telephoning 01772 533433 or e-mailing [lhsstreetworks@lancashire.gov.uk](mailto:lhsstreetworks@lancashire.gov.uk).

All references to public highway include footway, carriageway and verge.

4. Under the Land Drainage Act 1991 (as amended by the Flood & Water Management Act 2010), you need consent from the Lead Local Flood Authority if you want to carry out works within the banks of any ordinary watercourse which may alter or impede the flow of water, regardless of whether the watercourse is culverted or not.

- Consent must be obtained before starting any works on site. It cannot be issued retrospectively.
- Sites may be inspected prior to the issuing of consent.
- Unconsented works within the Highway or Sustainable Drainage System may prevent adoption.
- Applications to culvert an existing open ordinary watercourse will generally be refused.
- Enforcement action may be taken against unconsented work.

For the avoidance of doubt, once planning permission has been obtained it does not mean that Ordinary Watercourse Consent will be given. It is strongly advised that you obtain any required consent before or concurrently as you apply for planning permission to avoid delays.

You should contact the Lead Local Flood Authority to obtain Ordinary Watercourse Consent. Information on the application process and relevant forms can be found here:

<https://www.lancashire.gov.uk/flooding/drains-and-sewers/alterations-to-a-watercourse/>

5. Whilst the building to be demolished has been assessed as very low risk for bats, the applicant is reminded that under the 2019 Regulations it is an offence to disturb, harm or kill bats. If a bat is found during demolition all work should cease immediately and a suitably licensed bat worker employed to assess how best to safeguard the bat(s). Natural England should also be informed.

6. The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:

[www.gov.uk/government/organisations/the-coal-authority](http://www.gov.uk/government/organisations/the-coal-authority)

7. Sport England Design Guidance on multi use games areas is available on the Sport England website [www.sportengland.org](http://www.sportengland.org)

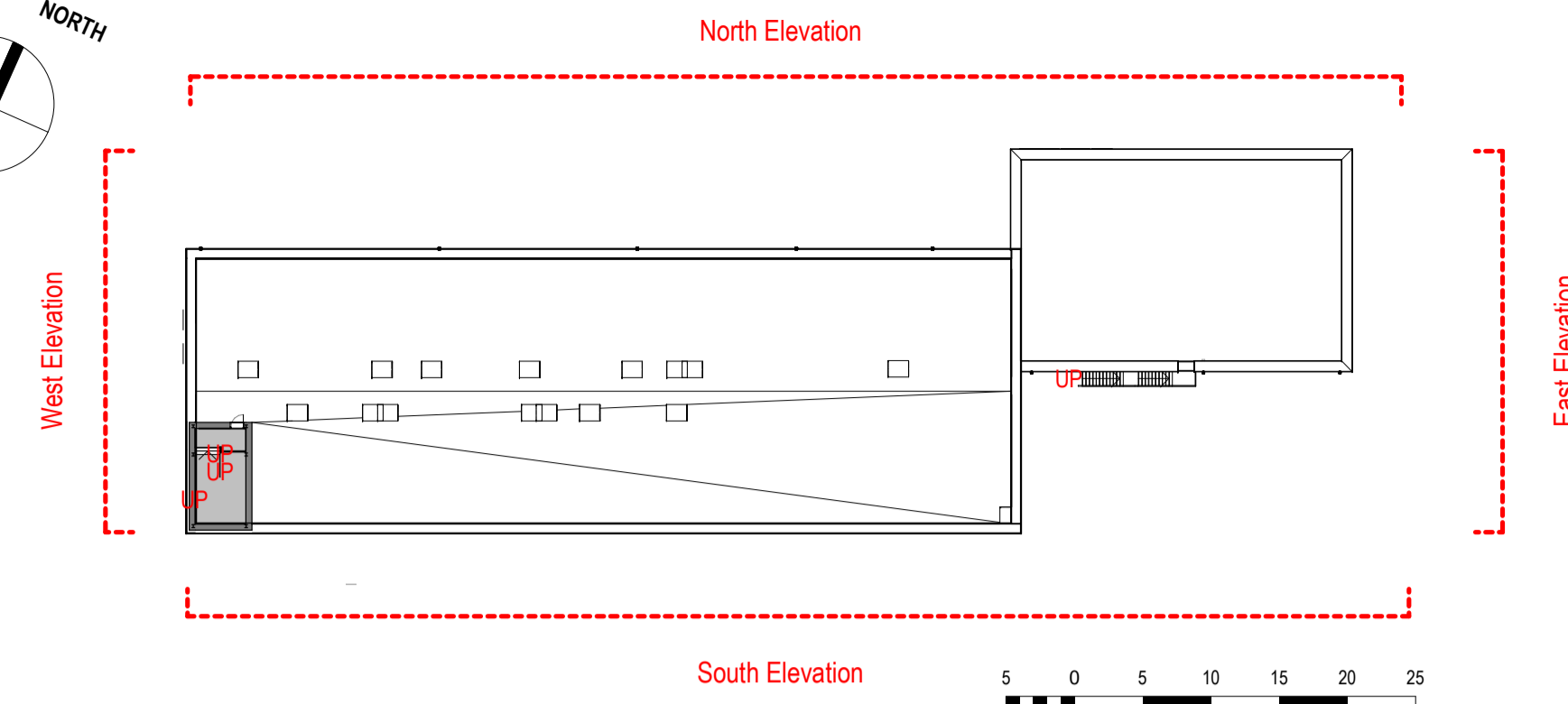
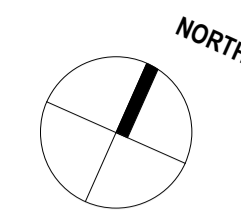
8. Sport England Design Guidance on multi use games areas is available on the Sport England website [www.sportengland.org](http://www.sportengland.org). The applicant is encouraged to seek design advice from England Athletics and the contact is: [ehunt@englandathletics.org](mailto:ehunt@englandathletics.org)

9. A model Community Use Scheme is available on the Sport England website

[www.sportengland.org](http://www.sportengland.org)

Element	DfE Targets	Proposed Targets
Walls	0.15 W/m2K	0.11 W/m2K
Ground Floor Slab	0.12 W/m2K	0.10 W/m2K
Roof	0.12 W/m2K	0.10 W/m2K
Windows	0.1 W/m2K	0.1 W/m2K
Curtain Wall	0.1 W/m2K	0.1 W/m2K
Doors	0.1 W/m2K	0.1 W/m2K
Rooflights	0.1 W/m2K	0.1 W/m2K
Glass G-Value	N/E: 0.40 S/W: 0.35	N/E: 0.40 S/W: 0.35
Air Permeability	3 m³/hr/m²	3 m³/hr/m²

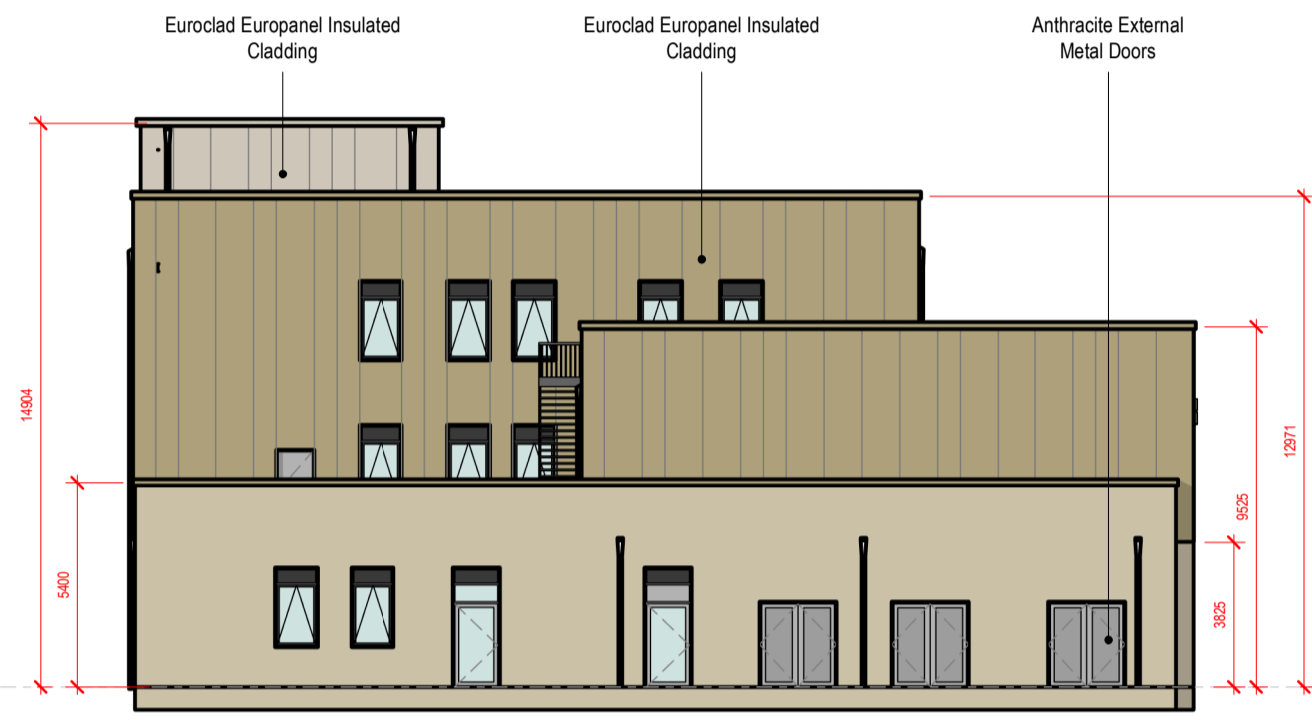
**Thermal Performance Criteria**



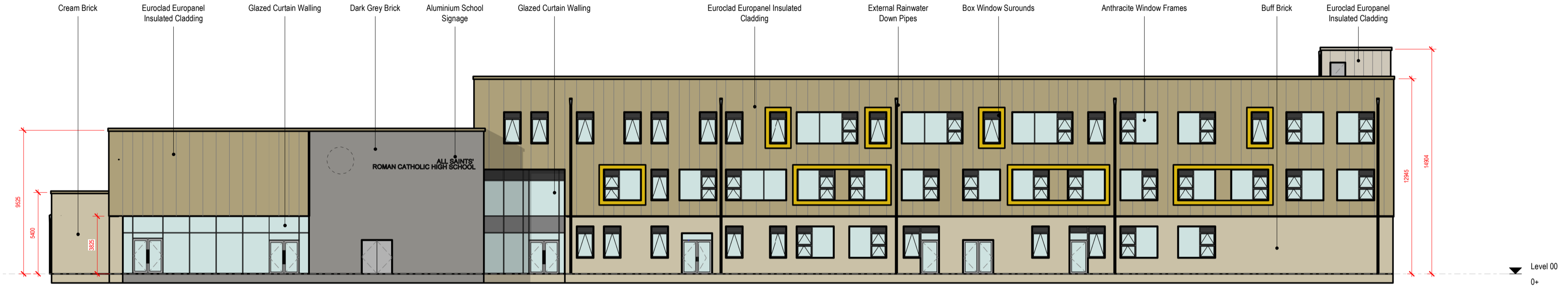
**5 Elevations Location Plan**

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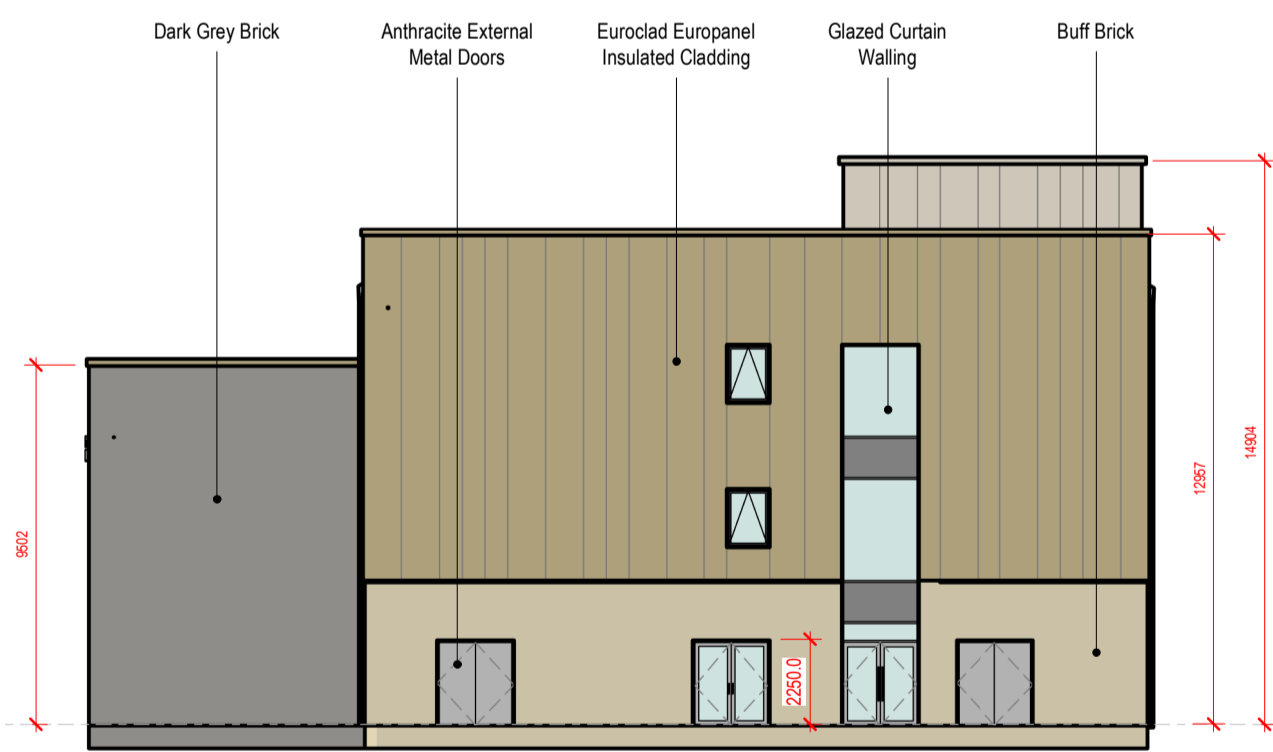
Rev	Date	Notes	By	Che
P3	24.02.23	Planning Issue	AS	JH
P2	16.12.22	Stage 3 Issue	AS	JH
P1	02.12.22	Stage 2 Issue	JH	AS



**1 Elevation - East**



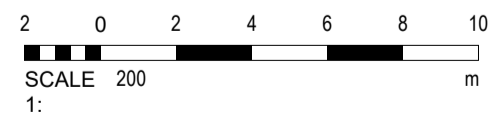
**3 Elevation - North**



**2 Elevation - West**



**4 Elevation - South**



**elliswilliams**

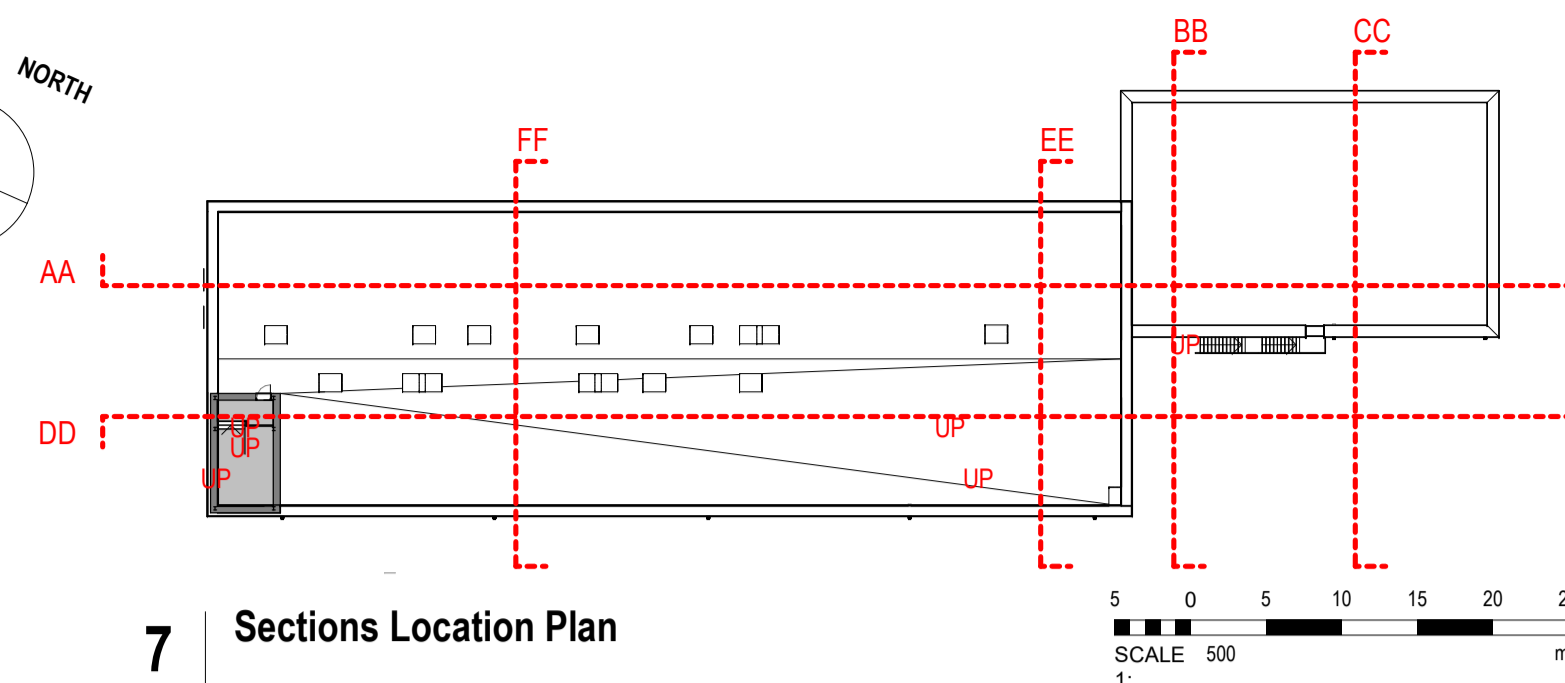
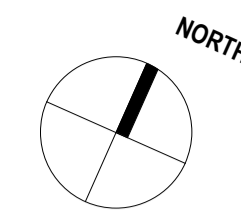
Project Number: 2872  
 Project Name: All Saints HS

Drawing Status: Stage 4  
 Drawing Number: **SRP1051- EWA- ZZ- ZZ- D- A- 0501**  
 Drawing Name: Proposed Elevations  
 Date: 09.08.22 Rev: P3  
 Drawn By: JH Scale: As indicated

Wellfield Chester Road Preston Brook WA7 3BA  
 T: 01928 752200 E: info@ewa.co.uk W: ewa.co.uk

Element	DfE Targets	Proposed Targets
Walls	0.15 W/m2K	0.11 W/m2K
Ground Floor Slab	0.12 W/m2K	0.10 W/m2K
Roof	0.12 W/m2K	0.10 W/m2K
Windows	0.1 W/m2K	0.1 W/m2K
Curtain Wall	0.1 W/m2K	0.1 W/m2K
Doors	0.1 W/m2K	0.1 W/m2K
Rooflights	0.1 W/m2K	0.1 W/m2K
Glass G-Value	N/E: 0.40 S/W: 0.35	N/E: 0.40 S/W: 0.35
Air Permeability	3 m³/hr/m²	3 m³/hr/m²

**Thermal Performance Criteria**



**7 Sections Location Plan**

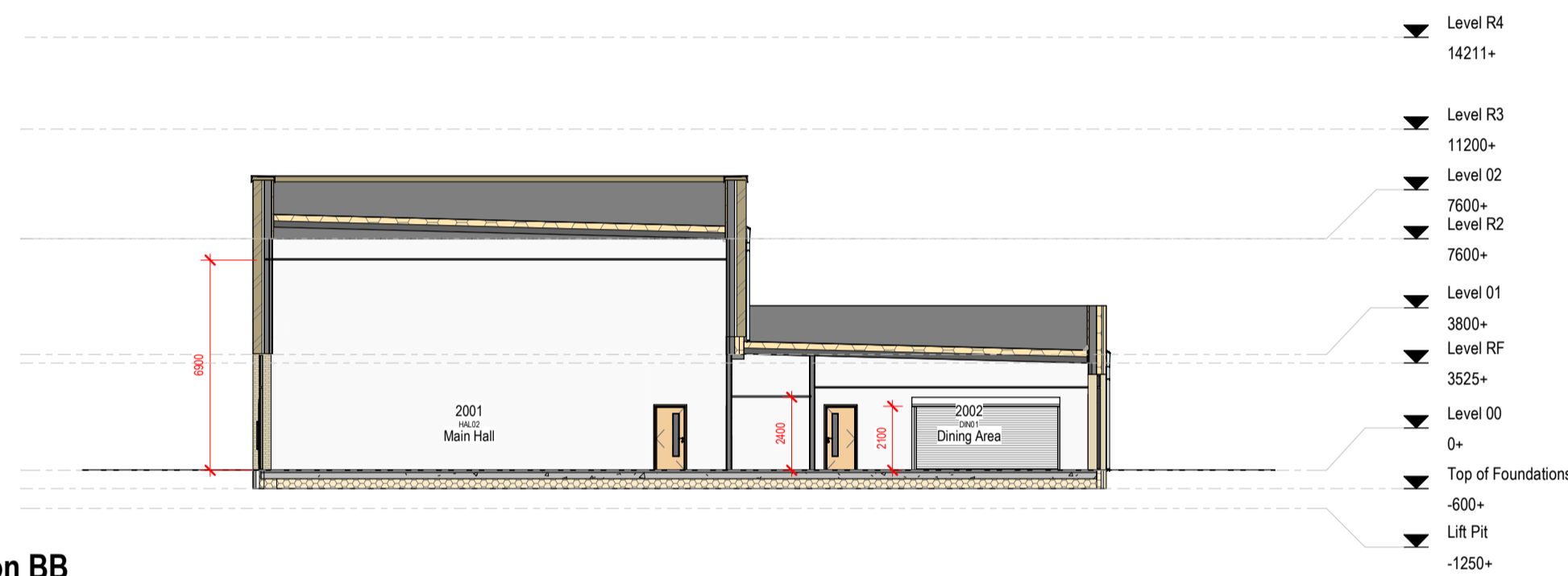
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Rev | Date | Notes | By | Che

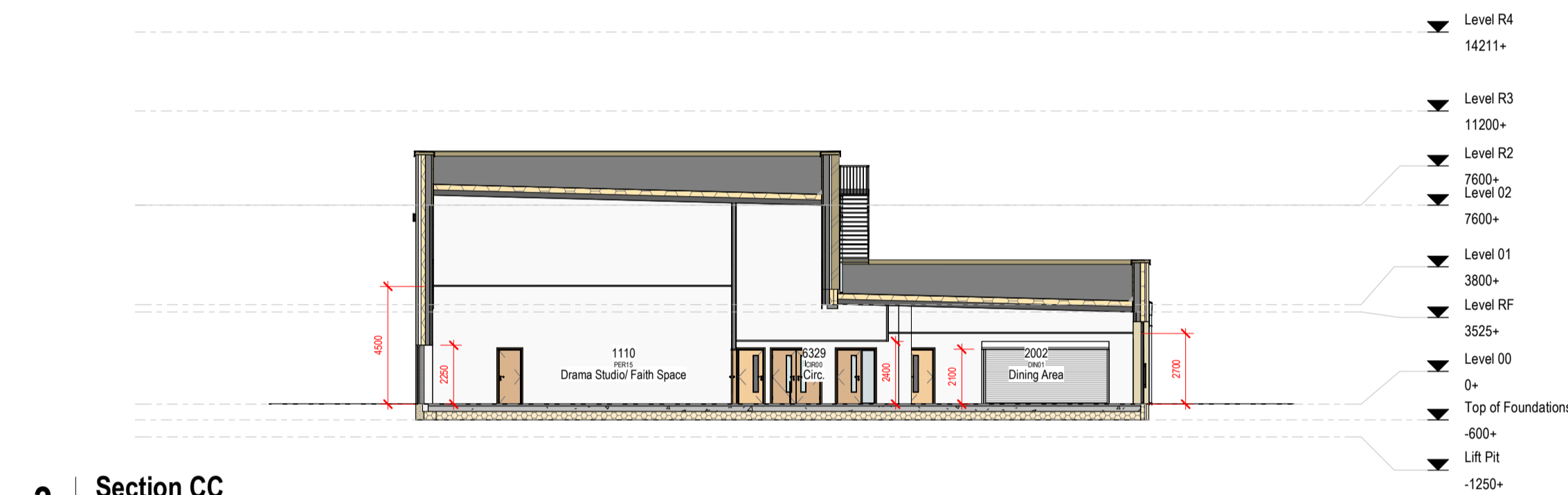
P3 24.02.23 Planning Issue AS JH  
 P2 16.12.22 Stage 3 Issue AS JH  
 P1 02.12.22 Stage 2 Issue JH AS



**1 Section AA**



**2 Section BB**



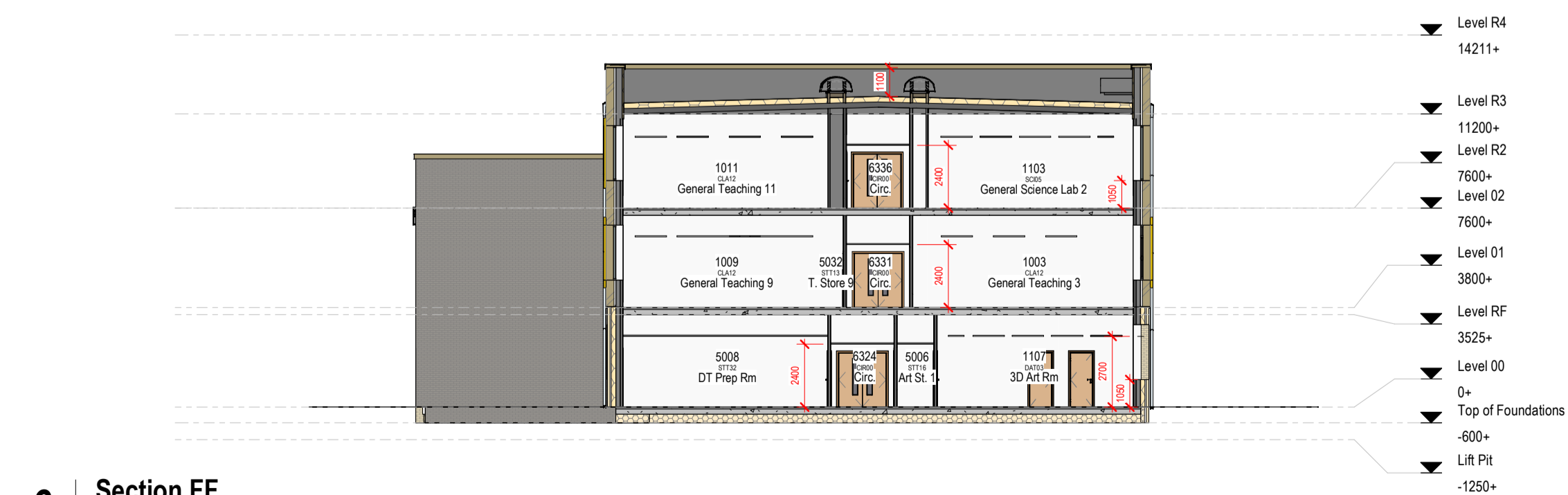
**3 Section CC**



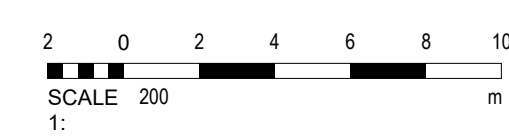
**4 Section DD**



**5 Section EE**



**6 Section FF**



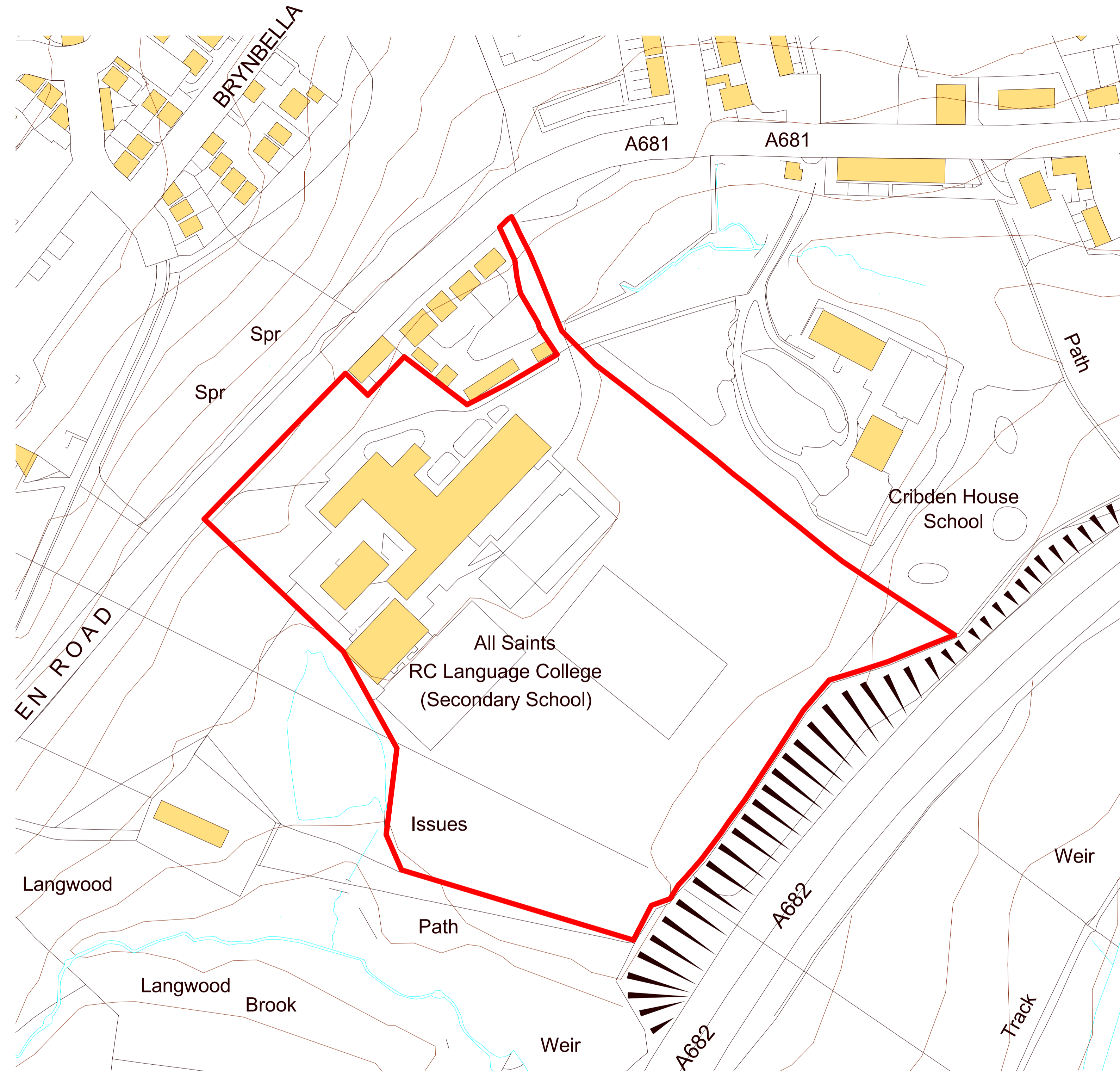
**elliswilliams**

Project Number: 2872  
 Project Name: All Saints HS

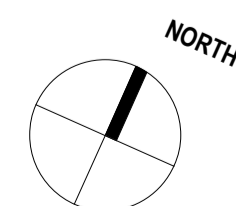
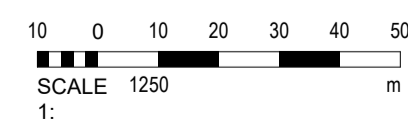
Drawing Status: Stage 4  
 Drawing Number: SRP1051-EWA-ZZ-ZZ-D-A-0601  
 Drawing Name: Proposed Sections

Date: 00.00.18 Rev: P3  
 Drawn By: JH Scale: As indicated

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1 | X(9-)\_Site-Location



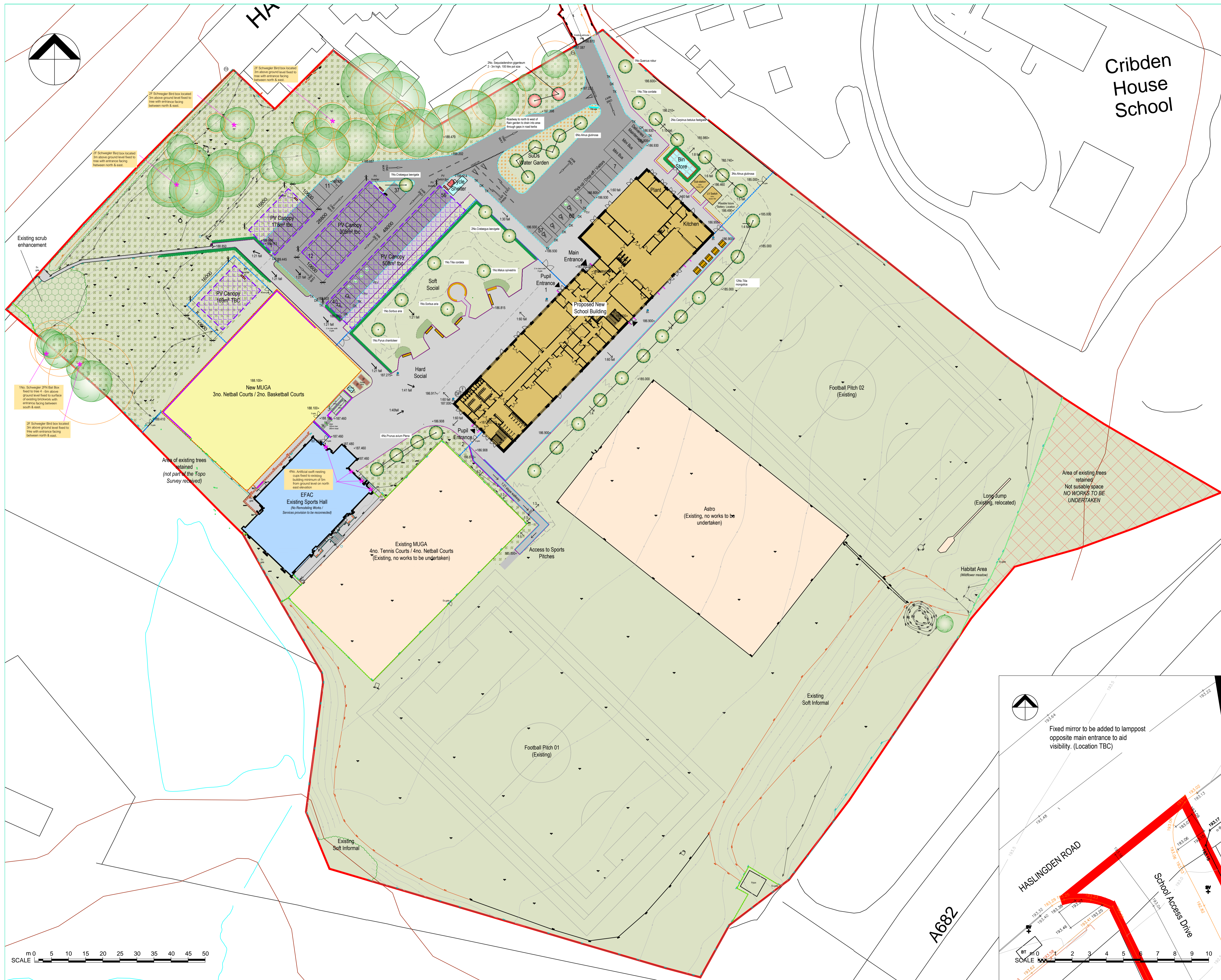
**elliswilliams**

Project Number: 2872  
 Project Name: All Saints HS

Drawing Status: Stage 4  
 Drawing Number: **SRP1051- EWA- ZZ- ZZ- D- A- 9001**  
 Drawing Name: Site Location Plan

Date: 16.12.22  
 Drawn By: JH  
 Rev: P3  
 Scale: 1 : 1250

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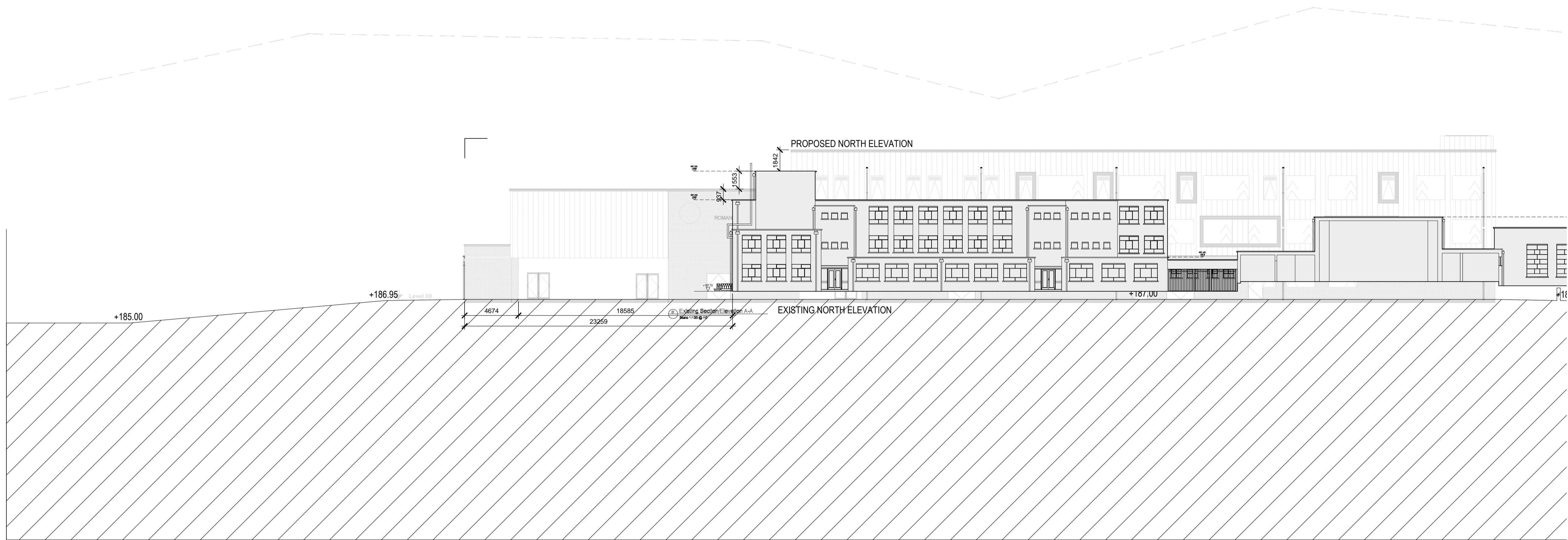
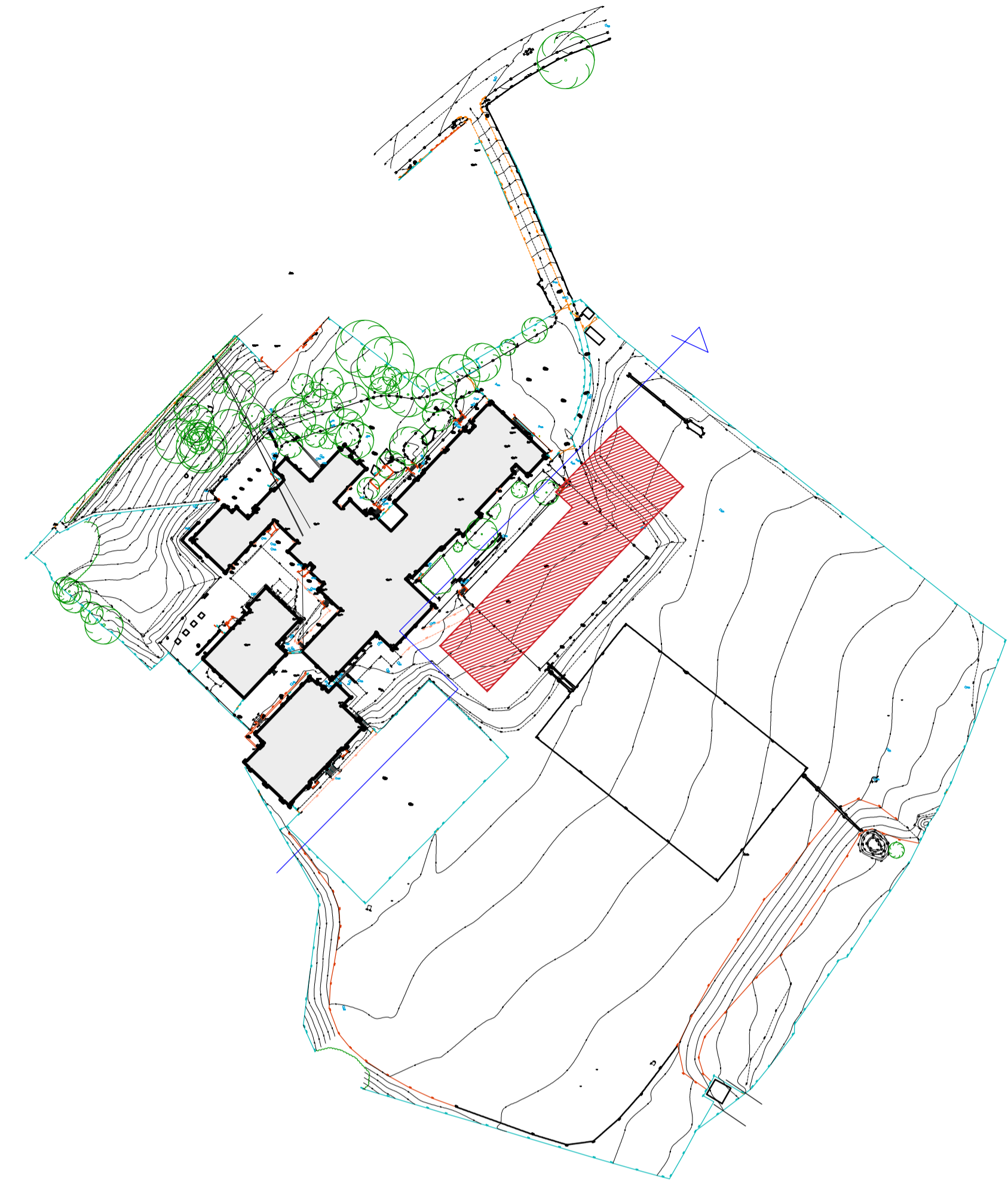
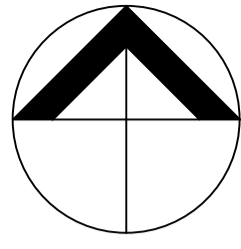


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Rev	Date	Notes	By	Chk
PR	09.03.2023	Kerb information added	AS	JH
PV	13.03.2023	Latest GA issue	JH	AS
PR	27.03.2023	Final CP issue	JH	AS
PR	03.04.2023	Final CP issue	JH	AS
P10	18.05.2023	Updated PV Canopy Area	JH	AS
P11	22.05.2023	Trees & hedges relocated & PV inverters added	NH	AS
P12	07.06.2023	Levels adjusted to equal 50 and 70	AS	NH
P13	06.07.2023	Trees moved away from underground LU pipe	JH	NH

- Vehicular grade Permeable Asphalt Concrete to Engineers spec with 125mm HB2 road kerbs
- Pedestrian grade macadam to Engineers spec with 50mm flush pcc kerbs
- Multi Use Games Area macadam / Tennis Courts to Engineers spec with 50mm flush pcc edgegr
- Existing trees to be removed, felled trunks and branches to be stacked on site in existing woodland areas to create wildlife refugia (12no. trees to be removed)
- Existing trees with root protection area shown in orange. Retained and protected during construction in accordance with Tree Protection Plan
- New tree planting, 14 - 16cm girth (36no. new trees to replace 12no. trees to be removed)
- New tree planting, 2-3m high, 100 litre pot size
- Maintain / re-establish amenity grass areas. New grass areas to be seeded over 150mm depth of topsoil
- Wildflower meadow Emorsgate Seeds EM3 Special General Purpose Meadow Mixture 4g/m<sup>2</sup>, plus Emorsgate Seeds E1F Wildflowers for hedgerows - to shaded areas 5g/m<sup>2</sup>
- Rain Gardens. Species to include: Viburnum opulus, Cornus sanguinea, Helianthus tomentosus, Asya reptans, Vinca minor, Berberis spp, Iris pseudacorus, Iris sibirica, Junco effusus, Carex pendula, Osmunda regalis, Dryopteris filix mas, Dryopteris distata, Eupatorium cannabinum, Campanula glomerata.
- Ornamental shrub planting into 400mm depth topsoil & compost. Also shrubs per m<sup>2</sup> in 3 litre pots. 75mm depth bark mulch spread on completion of planting
- Hedge shrub planting into 400mm depth topsoil & compost. Also shrubs per m<sup>2</sup> in 3 litre pots. 75mm depth bark mulch spread on completion of planting. Hawthorn, field maple, holly, crab apple, field rose, wild cherry & guelder rose. Planted in a double staggered row.
- 157.957 + Levels, see Engineers drawing for detailed levels
- EV EV charging (1no. unit for 2no. cars)
- Door Hoop - 8no. Langley Design, Swindon. Malford Door Barrier MB203
- Cycle Shelter - Newcastle Senior Cycle Shelter. BXMW/NEW-CS 300x4000mm Black with 2no. 4 hoop racks. Binoxap - BXMW/GS (gav) Sheffield racks
- Allocation Store (not included in contract)
- Picnic Bench 5no. TDP Limited - Brossington Picnic Table Black 760 H x 1370 D x 1500 L mm (not included in contract)
- Seating Furnitures Railroad Edge Straight benches with backrests 2200mm & 2600mm lengths (not included in contract)
- Seating Furnitures Railroad Circular seat 2.5m diameter (not included in contract)
- Bin 5no. Furnitures - Zenith Litter bin RAL 7016 (not included in contract)
- Timber Planter 3no. Langley Design - Shelton Planter (not included in contract)
- Barrier fencing to sloped walkway and top of bank. Recycled plastic post and 2 rail fence. 1100mm high. Supplier: British Recycled Plastic.
- Timber knee rail 900mm post height
- Stair / Ramp to MUGA guarding and handrail system Delta Balustrades. Oris Ultra 50mm stainless steel handrail / guarding system with vertical bar infill panels.
- Signage. Informing visitors on how to access / enter the Site during operational hours
- 50mm pcc pin kerb laid flush
- 125mm pcc pin kerb, allow for radius, transition, drop and flush channel kerbs as required
- dk Dropped kerb
- tk Transition kerb
- FH Fire Hydrant
- T External Tap
- DF External Drinking Fountain
- Existing Legal Site Boundary Line (Fencing to remain as existing)
- Existing internal fencing to remain
- New 1.8m high weld mesh fence
- New 2.4m high weld mesh fence
- New 3m high MUGA / Tennis Court Sports fence
- Existing brick retaining wall (retain)
- Proposed retaining structure (type TBC)
- New 1.8m high timber hit and miss fencing
- No works to be undertaken within this area
- PV canopy location size required TBA by Engineer
- PV Inverters' Switch Box

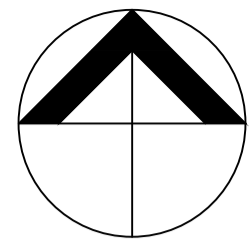
**elliswilliams**  
 Project Number: 2672  
 Project Name: All Saints' RC Secondary School  
 Drawing Number: SRP1051-EWA-ZZ-ZZ-D-A-9002  
 Drawing Name: Site Plan  
 Scale: 1:500 @ A1  
 Rev: P13



SITE BOUNDARY

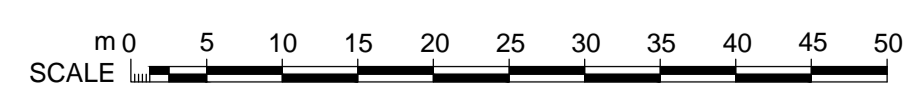
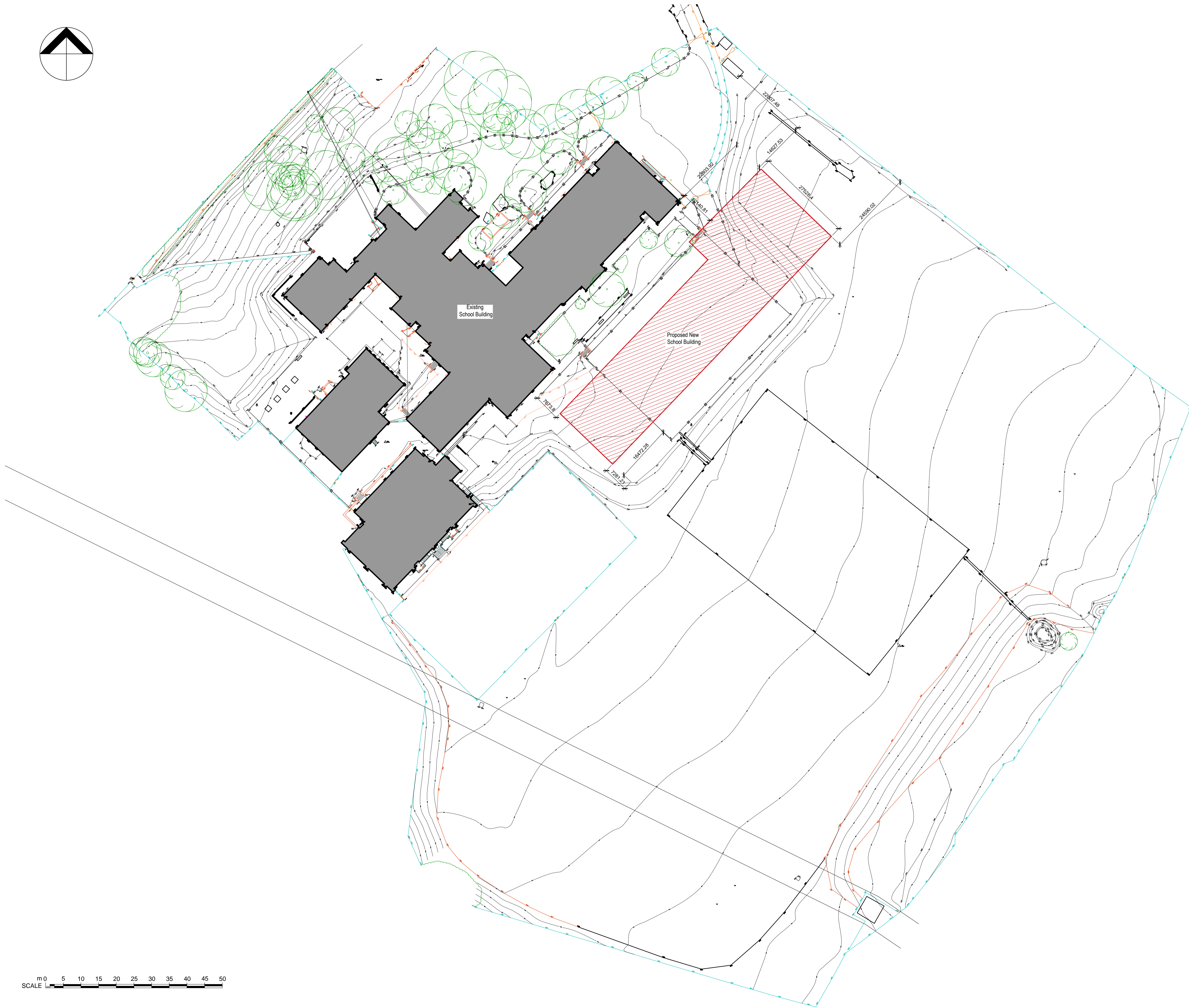


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Rev	Date	Notes	By	Chk
P0	24.02.2023	Planning Issue	AS	SA



**elliswilliams**

Project Number: 2872  
 Project Name: All Saints' RC Secondary School

Drawing Status: Planning  
 Drawing Number: SRP1051-EWA-ZZ-D-A-9007  
 Drawing Name: Existing Site Plan (with proposed school)  
 Date: 24.02.2023  
 Drawn By: AS

Rev: P0  
 Scale: 1:500 @ A1





