

Application Number:	2023/0543	Application Type:	Full
Proposal:	Creation of a dedicated events space to the north of Upper Deardengate with access allowed to the private parking adjacent to 5-7 Deardengate and the rear of The Linden Care home and Public Realm improvements to Deardengate.	Location:	Deardengate, Haslingden, Rossendale
Report of:	Head of Planning and Building Control	Status:	For publication
Report to:	Development Control Committee	Date:	25.06.2024
Applicant:	Rosendale Borough Council	Determination Expiry Date:	25.04.2024 EoT agreed to 28.06.2024

Contact Officer:	Claire Bradley	Telephone:	01706 238636
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	Yes
Member Call-In Name of Member: Reason for Call-In:	
3 or more objections received	
Other (please state):	Council application

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

Provided that comments have been received from LCC Highways, the recommendation is approval subject to conditions contained in this report.

If comments have not been received from LCC Highways, the recommendation is that authority to approve the application is delegated to the Chair and the Head of Planning and Building Control, subject to LCC Highways being satisfied with the development.

2. APPLICATION SITE

The proposal site is in central Haslingden, along Higher Deardengate, north of Manchester Road. The site is in the town's main retail area and is defined by commercial and civic development, including Haslingden Library and many of the town's key shops.

The proposed site is within the Haslingden Conservation Area. There is a Grade II listed building to the northeast of the proposal site, as well as several Non-Designated Heritage Assets bordering the proposal site.

3. RELEVANT PLANNING APPLICATION HISTORY

No previous relevant applications

4. PROPOSAL

The designs have been shaped by the results of the Haslingden 2040 public consultation. The proposed works include the following:

Creation of a dedicated events space to the north of Upper Deardengate with access allowed to the private parking adjacent to 5-7 Deardengate and the rear of The Linden Care home. This will be a multi-use events space for local events and activities throughout the day and into the evening.

The 'Big Lamp' is to be moved very slightly off its original alignment and elevated onto a new stone plinth. Introduction of a line of street trees and planting beds down the middle of the new events square. Introduction of a large mature feature tree right at the heart of the square. There are also numerous other smaller street trees and multi-stem trees in movable oversize tubs that hold the corners of the square and as an alternative to further bollards.

Parking and access to existing businesses is maintained. A loading bay is integrated as Deardengate turns onto Bank Street, allowing deliveries restricted times of the day agreed with local businesses. It is proposed that a traffic regulation order is put in place that does not allow stopping at any time unless in marked parking bays.

Widening footpaths along the length of Deardengate and adding pedestrian crossing points, street trees and ground level ornamental planting along the remainder of Upper Deardengate, including a green pocket adjacent to the library. Up-lighting of the library frontage will illuminate the building at night time.

Lighting columns will project light down the alleyways at night and a focus upon shade tolerant planting. Traffic movement is one-way up Deardengate from south to north. The new layout of the highway has been tracked to ensure important deliveries can still be

made to local businesses. A connection is proposed from the neighbouring CO-OP car park across Bell Street directly to Deardengate.

The works within the different areas are as follows:

Area 1: Haslingden Square

The proposed works to Haslingden Square seek to turn the area into the town's primary public space. The square aims to be a functional daytime space with flexibility to transition to a community events space.

Works will include:

- Improved Parking Provision: new accessible parking spaces to be provided in the forecourt of NisaLocal.
- Resurfacing: using a mixture of clay paving and asphalt, as well as the reuse of existing cobbled setts. New stone kerbs and metal edge restraints to soft landscaping.
- Planting, Street Furniture, Traffic Management: new timber feature benches, semi-mature trees, green planting areas, demountable bollards and new pedestrian crossing point.
- Lighting: feature strip lighting around Big Lamp plinth and in-ground up-lighting.
- Art Installation & The Big Lamp: 'The Big Lamp' will be positioned on top of a new natural stone plinth to make it more visible within the streetscape. 'The Flight of the Shuttle' will be a new art installation in the town, designed by artist Simon Watkinson. Constructed of wood and stainless steel with LED lighting, the piece has been designed to represent the industrial history of the town.

Area 2: Higher Deardengate

Works to Higher Deardengate will increase the pedestrian emphasis of the area through the widening of pavements and softer landscaping.

Work will include:

- Resurfacing: using a mixture of clay paving and asphalt, as well as the reuse of existing cobbled setts. New stone kerbs and metal edge restraints to soft landscaping.
- Planting, Street Furniture, Traffic Management: memorial benches to be retained outside the library, new shade tolerant planting, green planting areas. One-way traffic South to North and narrowing of the carriageway.
- Lighting: alleyway lighting and in-ground up-lighting.
- Parking: on-street parking bays and new cycle parking.
- Haslingden Library: Up-lighting, large ornamental planting beds, street trees and a small arrival space.

Each of these interventions seeks to create a public realm scheme that is transformational and breathes new life back into the town.

5. POLICY CONTEXT

National Planning Policy Framework

Section 2 Achieving Sustainable Development
Section 4 Decision Making

- Section 6 Building a Strong Competitive Economy
- Section 7 Ensuring the vitality of Town Centres
- Section 12 Achieving Well Designed Places
- Section 15 Conserving and Enhancing the Natural Environment
- Section 16 Conserving and Enhancing the Historic Environment

Development Plan

Local Plan Policies

- Policy SS: Spatial Strategy
- Policy SD1: Presumption in Favour of Sustainable Development
- Policy SD2: Urban Boundary and Green Belt
- Policy ENV1: High Quality Development in the Borough
- Policy ENV2: Historic Environment
- Policy R1: Retail and Other Town Centre Uses
- Policy R3: Development and Change of Use in Town, District and Local Centres and Neighbourhood Parades

Other material considerations

- National Planning Practice Guidance
- Haslingden Conservation Area Appraisal

6. CONSULTATION RESPONSES

Consultee	Summary of response
Growth Lancashire (Conservation)	See Heritage Section below
LCC Highways	No response at time of writing report

7. REPRESENTATIONS

To accord with the General Development Procedure Order site notices were posted on 31.01.2024 and properties were notified by letter sent out on 30.01.2024. The application was advertised on 02.02.2024

One response has been received relating to unauthorised parking on Bury Road and maintaining access to properties for deliveries.

8. ASSESSMENT

The main considerations in this case are as follows:

- 1) Principle;
- 2) Heritage/Visual Amenity;
- 3) Residential Amenity;
- 4) Access, Parking and Highway Safety

Principle

The site is in central Haslingden, along Higher Deardengate, north of Manchester Road. The site is the town’s main retail area and is defined by commercial and civic development, including Haslingden Library and many of the town’s key shops, and forms part of the primary public realm within the Haslingden Town Centre 2040 vision.

The proposed scheme is for improvements to the public realm to create a better environment for businesses and the public.

The site is within the Urban Boundary.

Policy R1 supports development proposals that maintain or strengthen the retail offer and vitality and viability of District Centre

Consequently it is considered that in principle the proposal meets the requirements of Sections 2, 7 and 16 of the NPPF and Policies SD1, SD2 and R1 of the Local Plan.

Heritage/Visual Amenity

The site is located within Haslingden Conservation Area

Section 12 of the Framework refers to the importance which Government attaches to the design of the built environment:

- *“The creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.” (Para 131)*
- *“Planning policies and decisions should ensure that developments...will function well and add to the overall quality of the area...are sympathetic to local character and history, including the surrounding built environment and landscape setting.” (Para 135).*

Section 16 of the Framework states local planning authorities should take account the desirability of new development making a positive contribution to local character and distinctiveness and the desirability of sustaining and enhancing the significance of heritage assets.

The National Planning Policy Framework requires that when *determining applications affecting heritage assets local planning authorities should take account of:-*

- a) the desirability of sustaining and enhancing the significance of those assets and putting them to viable uses consistent with their conservation;*
- b) the positive contribution that the conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- c) the desirability of new development making a positive contribution to local character and distinctiveness.*

Policies ENV1 and ENV2 of the Local Plan seek to ensure that the built and historic environment is safeguarded and enhanced and proposals take into account design, lighting and materials.

The proposal relates to public realm enhancement works in Deardengate that are brought forward as part of a wider National Lottery Heritage Fund masterplan project. The proposal site consists of the northern end of Deardengate, which is denoted as Area 1: Haslingden Square, and the area immediately to the south, which is denoted as Area 2: Higher Deardengate. Area 1 acts as a gateway to the street and has more open spaces than Area 2, while the latter is prominently commercial in character with a more enclosed feel.

The purpose of the public enhancement works is to turn the area into the town's primary public space with the square serving as a functional daytime space with the flexibility for it to be converted into a multi-use events space for local events and activities throughout the day and into the evening.

The proposed works include the introduction of new planting, surface finishes and street lighting, improved parking provision, and new crossing points and the removal of the cobbles at the top of Deardengate which are in a poor condition. The development will also include the introduction of a new art installation in Haslingden Square, as well as the relocation of The Big Lamp.

Haslingden is characterised by building types and townscape at the junction of Manchester Road and Deardengate. It has distinctive townscape views from the crossroads particularly north and south along Deardengate. The focus of the conservation area is around the historic core of Haslingden. Deardengate is the primary street containing a number of impressive civic and commercial frontages. Collectively the consistency of scale and materials create an attractive market town vista, although some poor shop front designs detract from the quality they are not fatal to the overall area.

Character Area 1: 'Commercial Centre' is a significant historic streetscape with many positive features, including a rich variety of building types and key views. The area defined by commercial and civic development, with a variety of two and three storey properties from different periods and in different styles.

Along Higher Deardengate are a large number of positive buildings and non-designated heritage assets that together, contribute to the special character and interest of the Conservation Area, and to the historic streetscape of Haslingden.

The style, age, and use of these buildings (largely retail buildings with ground floor shopfronts) derive a part of their significance from their strong building line, collective survival, and uniform appearance. This contributes significantly to the overall character along Higher Deardengate, and helps to define the historic interest of the area.

Growth Lancashire have been consulted on the application and have commented as follows:

Impact on the contribution made by the setting to the significance of The Lindens

On the whole I find the works proposed to be positive in nature and will help provide an 'uplift' to this part of Haslingden. In this regard I feel the scheme as a whole can be regarded as providing some wider public benefit.

The Lindens is a Grade II listed, two-storey 18th-century merchant's house constructed of watershot coursed sandstone with a slate roof, chimneys, and skylights. Set back from the road and fronted by a garden and a wide pavement, the building forms part of the northern gateway leading to Deardengate.

Part of the proposal concerns the top end of Deardengate, which is in close proximity to the listed building and forms part of its setting. The proposal in this part of Deardengate mainly comprises the resurfacing of the road, which will involve the replacement of the existing cobbled sets with clay paving, as well as the planting of semi-mature trees and

moving the 'Big Lamp' slightly off its original alignment and placing it onto a new stone plinth.

Whilst I have no objections to the proposal in principle regarding the setting of The Lindens, I feel that, from a setting perspective, I would have preferred to have seen the resurfacing of the existing cobbled sets rather than the more practical mixture of clay paving and asphalt.

Historic photographs of this part of Deardengate show that the street was cobbled until probably the 1950s, possibly even later. The subsequent tarmac was replaced with cobbled setts later. Haslingden Conservation Area Appraisal identifies cobbled setts as being "positive features" and refers to only a handful of examples being retained, including Market Place at the top of Deardengate (p.16).

Whilst the setting to the north of the listed building has changed considerably, in my view, the cobbled street reflects the character and appearance of Deardengate, thereby contributing to the setting of The Lindens. I do, however, accept that the cobbles are not original and are currently unsightly in their current state.

Section 6 of the Heritage Statement provides deals with the potential impacts of the works. In relation to The Lindens, whilst the loss of the cobbles is noted, the works are identified as having a slight beneficial impact due to the visual improvements.

My view is that any harm to the setting of the listed building caused by the works would be negligible, and I agree this would be greatly outweighed by the wider visual benefits of the project works.

Impact on the character and/or appearance of Haslingden Conservation Area

Haslingden Conservation Area is centred on its commercial core and historic streetscape along Deardengate and Manchester Road, which includes an extensive variety of buildings and key views. The principal building material in the conservation area is stone from local quarries, with many of the earlier vernacular buildings having watershot coursing. Some brick buildings can be found throughout, though these are few in comparison.

The proposal site is in Character Area 1: Commercial Centre, which is a significant historic streetscape with a rich variety of building types and key views. Deardengate is a prominent street with a number of noteworthy two-three storey civic and commercial buildings from various periods that front the street.

The proposal involves extensive public realm enhancement works along Deardengate. I feel that the majority of the works would be highly beneficial for the overall enhancement of the area and would have a cumulative positive effect on the conservation area as a whole.

On this basis, I have no objection to the majority of the proposal. The outstanding issue concerns the replacement of the cobbled setts.

One of the most visible changes that the proposal seeks is to replace the existing cobbled setts in the top end of Deardengate with a mixture of clay paving and asphalt. As I noted above, whilst the cobbled setts are not original, historic photographs attest to the fact that Deardengate was originally a cobbled street. Identified in the Haslingden

CAA as a positive feature, the proposal to replace them, with another material, regardless of their present condition, would cause some loss of character.

The justification for replacing the cobbled setts is given as reducing the noise generated by vehicles running over them, making the site more accessible to all users and removing the unsightly asphalt joints and repairs in the existing surface. These benefits are undeniable, albeit in respect to the unsightly nature of the surface this could be rectified by facilitating a suitable repair.

Whilst some of the removed cobbles will be reused further south along Deardengate, in key spaces, such as the front of Haslingden Library, I consider that the loss of the traditional surface is regrettable and will cause some (low level) harm to the character of the conservation area. As noted above the harm could be mitigated by retaining the existing cobbled sets and repairing them in situ where necessary.

However, notwithstanding the issue re the cobbled surface I do accept that overall, the scheme presents an improvement to the appearance of the conservation area. I agree with section 6.3 in the Heritage Statement that the new landscaping, street furniture, lighting, art works and improvements to the library entrance will represent an enhancement to the conservation area.

Impact on NDHAs

The proposal site is home to a number of NDHAs, which are mainly used for retail and collectively contribute to the significance of the conservation area. Historic England Advice Note 7 defines NDHAs as locally identified 'buildings, monuments, sites, places, areas or landscapes identified by plan-making bodies as having a degree of heritage significance meriting consideration in planning decisions, but which do not meet the criteria for designated heritage assets' [(Historic England 2021 Local Heritage Listing: Identifying and Conserving Local Heritage. Historic England Advice Note 7 (2nd ed)].

P.209 states that LPAs need to consider the effect of an application on the significance of an NDHA when determining an application. In carrying out its planning balance, they should have regard to the scale of any harm or loss and the significance of the heritage asset.

In terms of NDHAs, LPAs are only required to carry out a simple weighing exercise of those material matters. Any impact (which carries no statutory duty on behalf of the LPA) should be considered against the merits of the whole application including the new development. It is for the LPA to apply what weight it considers appropriate to those material matters in its decision, as long as it is reasonable in doing so.

Section 6.4 in the Heritage Statement deals with this matter. I agree that the intended outcome of the works will be the improvement of the streetscape, and this will be of benefit to the wider setting to those NDHA's noted in the CAA. As such the works will not harm the significance of those NDHAs and accords with the guidance contained in the planning framework.

The improvement works to Haslingden Square into the town's primary public space will echo the history of that area of the town, previously home to 'Market Square' (now Bury Road) at the top of Deardengate. This area was traditionally used to host markets and public gatherings, and the reintroduction of this use will help to reinstate the historic sense of place in the Square.

The lifting and relocation of the existing cobble setts will result in some loss of historic fabric within the conservation area, however this will be necessary to meet the requirements of a modern town centre and people who use it.

The current setts are not original and have been repaired a number of times over the years resulting in an unsightly and uneven surface, that is difficult to negotiate for pushchairs and wheel chairs. The setts will be realigned, repaired and relocated to the library area.

The introduction of planting to both Haslingden Square and Higher Deardengate will enhance the appearance of the conservation area and increase the potential for public enjoyment and well-being.

The improvements to the public realm will significantly enhance the character and appearance of the town centre, while responding appropriately to its historic character and sense of place.

It is considered that the proposal would meet the statutory test 'to preserve' the character and appearance of Haslingden Conservation Area. As such, the scheme would meet with the objectives of Chapter 16 of the NPPF and accord with policy ENV 2 of the Local Plan.

Residential Amenity

The NPPF advises that Planning policies and decisions should ensure that developments:

“Create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience”

Policy ENV1 of the Local Plan states that all proposals should take account of the following:

- “c) Being sympathetic to surrounding land uses and occupiers and avoiding demonstrable harm to the amenities of the area*
- “d) The scheme will not have an unacceptable adverse impact on neighbouring development by virtue of it being overbearing or oppressive, overlooking or resulting in an unacceptable loss of light:- nor should it be adversely affected by neighbouring uses and vice versa.”*

The proposed development will not significantly impact on the residential amenity of nearby occupiers.

The proposed development will be in accordance with Policy ENV1 and the NPPF.

Access, Parking and Highway Safety

Several amendments to the plans were submitted on 06.06.2024. LCC Highways have been re-consulted.

At the time of writing this report, final comments on the scheme have not been received from LCC Highways, and are still awaited.

9. CONCLUSION

The proposal will result in the positive re-use of the retail centre within the town, enhancing the area and the built environment, and resulting in the regeneration of the town centre.

The proposals have also been assessed as having no unacceptable adverse impacts on visual amenity, character of the conservation area, setting of Listed Buildings, residential amenity, or highway safety. The scheme is acceptable on balance in relation to heritage impact.

On this basis it is considered that the proposal is in accordance with the Rossendale Local Plan and the NPPF.

10 RECOMMENDATION

Provided that comments have been received from LCC Highways, the recommendation is approval subject to conditions contained in this report and any recommended by LCC Highways.

If comments have not been received from LCC Highways, the recommendation is that authority is delegated to the Chair and the Head of Planning and Building Control to approve planning permission subject to LCC Highways being satisfied with the development.

11. CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To accord with Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development shall be carried out in accordance with the following:

Application Form received 04/01/2024

Drawing No: 1263-01-CIV-XX-XX-S-S-51001 REV T01 - Artwork Footing received 29.11.2023

Drawing No: Q53914-Bespoke_Shuttle_Feature Rev 02 - Bespoke Shuttle Feature received 29.11.2023

Location Plan received 04.04.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40007 REV P01 - Information Plan received 25.01.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-41010 REV T02 - Drainage Details Sheet 1 received 25.01.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-41011 REV T01 - Drainage Details Sheet 2 received 25.01.2024

Drawing No: B2237501/SD/001 - Bus Stop Layout and Details Rev 1. received 25.01.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40001 REV T03 - Proposed Section 278 Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40002 REV T03 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40003 REV T03 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40004 REV T02 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40005 REV T03 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40006 REV T03 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40010 REV T02 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40011 REV T03 - Proposed Section 278
Application received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-40012 REV T03 - Off Site TRO Works
received 06.06.2024

Drawing No: 1263-01-CIV-XX-XX-D-H-41002 REV T06 - Pavement Details received
06.06.2024

Drawing No: 1263-01- CE-XX-XX-DR-C-TR-0003-P05 - Vehicle Tracking Sheet
1 received 06.06.2024

Drawing No: 1263-01- CE-XX-XX-DR-C-TR-0004-P04 - Vehicle Tracking Sheet
2 received 06.06.2024

Drawing No: 1263-01- CE-XX-XX-DR-C-TR-0005-P04 - Vehicle Tracking Sheet
3 received 06.06.2024

Drawing No: 1263-01- CE-XX-XX-DR-C-TR-0006-P02 - Vehicle Tracking Sheet
4 received 06.06.2024

Drawing No: 214-LVR-XX-ZZ-DR-L-1101 REV T05 - Landscape General
Arrangement received 06.06.2024

Drawing No: 214-LVR-XX-ZZ-DR-L-2101 REV T05 - Hardworks received 06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-2102 REV T06 - Edging received 06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-3101 REV T05 - Softworks received 06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6101 REV T05 - Landscape Detail 01 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6102 REV T05 - Landscape Detail 02 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6103 REV T05 - Landscape Detail 03 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6104 REV T05 - Landscape Detail 04 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6105 REV T05 - Landscape Detail 05 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6106 REV T05 - Landscape Detail 06 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-6107 REV T05 - Landscape Detail 07 received
06.06.2024

Drawing No: 214-LYR-XX-ZZ-DR-L-7101 REV T04 - External Furniture & Lighting
received 06.06.2024

Heritage Statement received 25.01.2024

Reason: To define the permissions and in the interests of the proper development of the site.

3. No materials shall be used on site until samples have been submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in full.

Reason: In the interests of visual amenity of the area and ensuring that the appearance of the development is acceptable in the context of the Conservation Area.

12. INFORMATIVES

1. The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

5.0 Summary of Proposed Works

5.1 Area 1: Haslingden Square

The proposed works to Haslingden Square seek to turn the area into the town's primary public space. The square aims to be a functional daytime space with flexibility to transition to a community events space.

Works will include:

- **Improved Parking Provision:** new accessible parking spaces to be provided in the forecourt of NisaLocal.
- **Resurfacing:** using a mixture of clay paving and asphalt, as well as the reuse of exiting cobbled setts. New stone kerbs and metal edge restraints to soft landscaping.
- **Planting, Street Furniture, Traffic Management:** new timber feature benches, semi-mature trees, green planting areas, demountable bollards and new pedestrian crossing point.
- **Lighting:** feature strip lighting around Big Lamp plinth and in-ground up-lighting.
- **Art Installation & The Big Lamp:** 'The Big Lamp' will be positioned on top of a new natural stone plinth to make is more visible within the streetscape.

'The Flight of the Shuttle' will be a new art installation in the town, designed by artist Simon Watkinson. Constructed of wood and stainless steel with LED lighting, the piece has been designed to represent the industrial history of the town.



Figure 12 Haslingden Square Masterplan Proposals (Layer Studio)

Illustration Only NTS



Shade Tolerant Planting

Species that thrive in shade will help transform the negative perception of the alleyways

Celebrating Haslingden Library

Up-lighting, large ornamental planting beds, street trees and a small arrival space

Existing Cobbles Relocated

Cobbles lifted, cleaned and relaid in alleyways and outside library

Retain Benches

Benches outside the library are maintained as part of the new space

Alleyway Lighting

GOBO Projects are proposed that project graphics into the alleyways

On-Street Parking Bays

Existing parking is maintained in as high a number as possible

One-Way Traffic South to North

Narrowing of the carriageway for one-way traffic enables a footpath build-out to slow cars + provide a shorter crossing for pedestrians

5.2 Area 2: Higher Deardengate

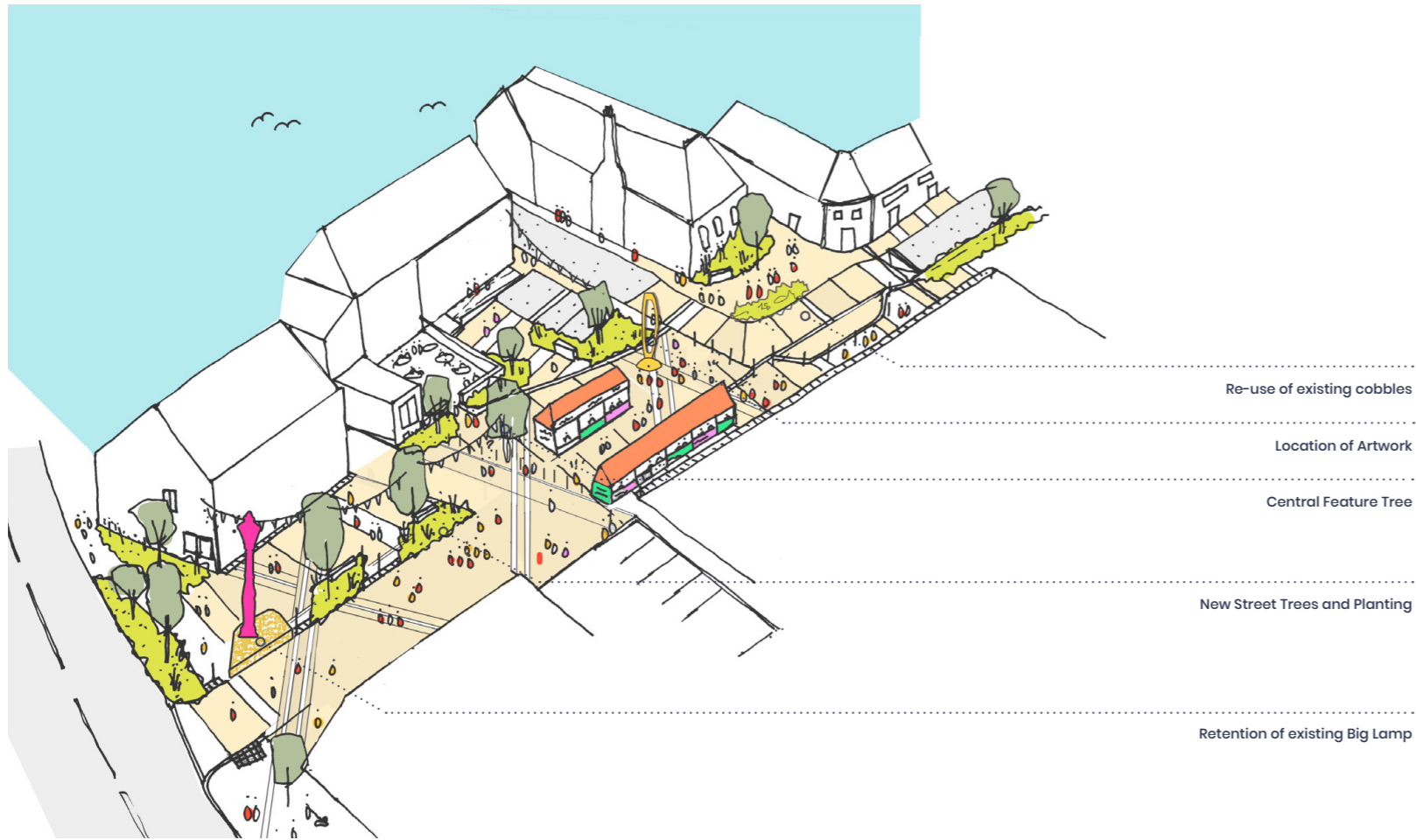
Works to Higher Deardengate will increase the pedestrian emphasis of the area through the widening of pavements and softer landscaping.

Work will include:

- **Resurfacing:** using a mixture of clay paving and asphalt, as well as the reuse of exiting cobbled setts. New stone kerbs and metal edge restraints to soft landscaping.
- **Planting, Street Furniture, Traffic Management:** memorial benches to be retained outside the library, new shade tolerant planting, green planting areas.

One-way traffic South to North and narrowing of the carriageway.
- **Lighting:** alleyway lighting and in-ground up-lighting.
- **Parking:** on-street parking bays and new cycle parking.
- **Haslingden Library:** Up-lighting, large ornamental planting beds, street trees and a small arrival space.

Figure 13 Higher Deardengate Masterplan Proposals (Layer Studio)



Re-use of existing cobbles

Location of Artwork

Central Feature Tree

New Street Trees and Planting

Retention of existing Big Lamp

Figure 14 Haslingden Square
Artist Impression
(Layer Studio)



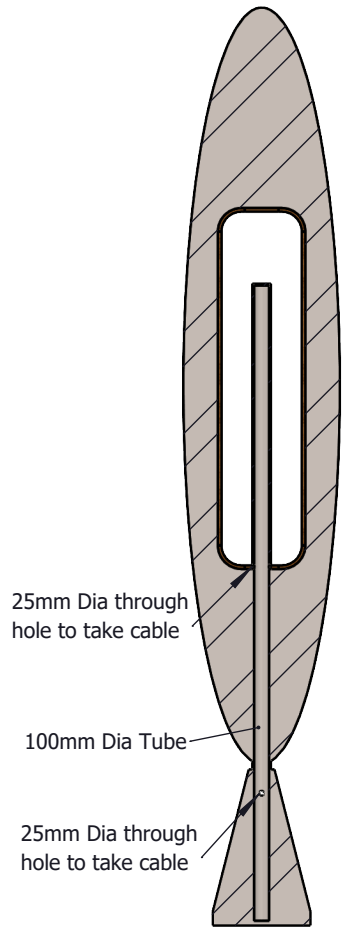
Artwork Installation

Re-use of existing cobbles

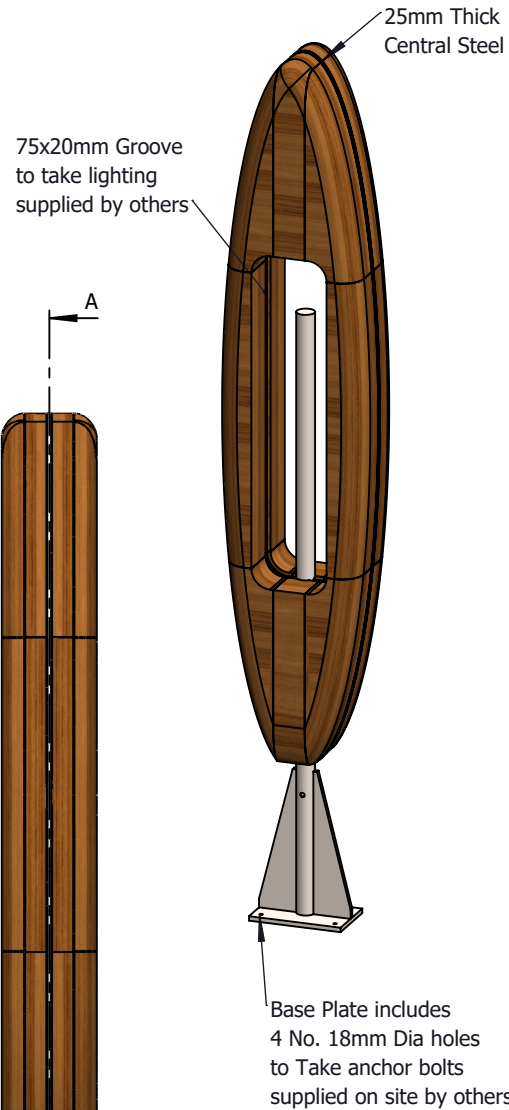
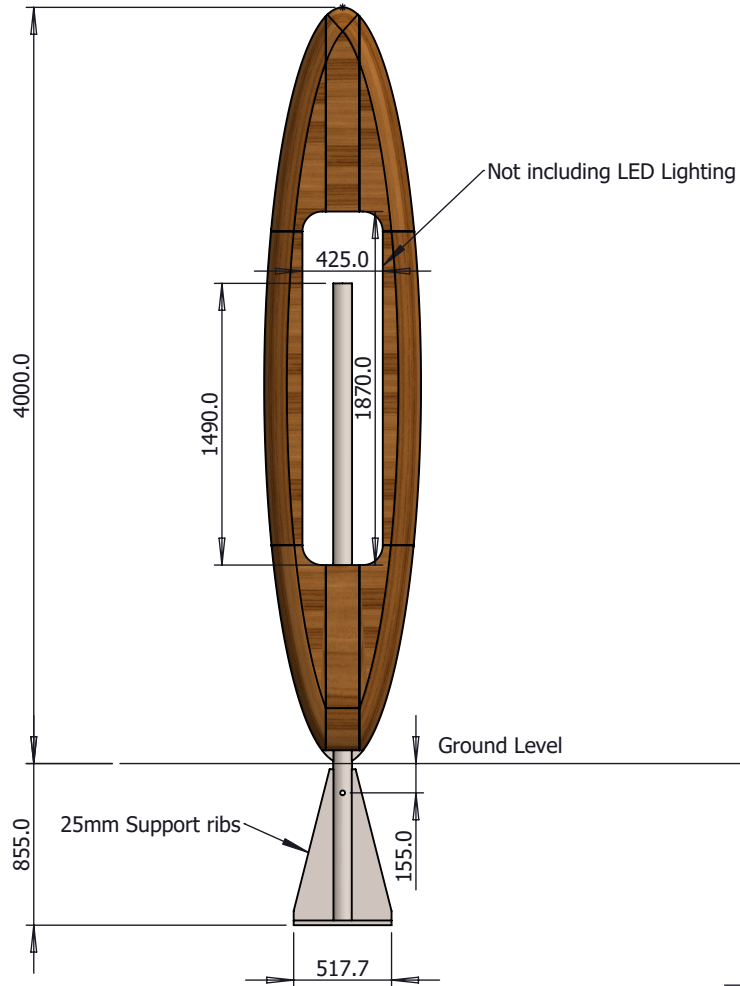
New frontage to the library

New Street Trees and Planting
with integrated SUDs

Figure 15 Higher Deardengate
Artist Impression
(Layer Studio)

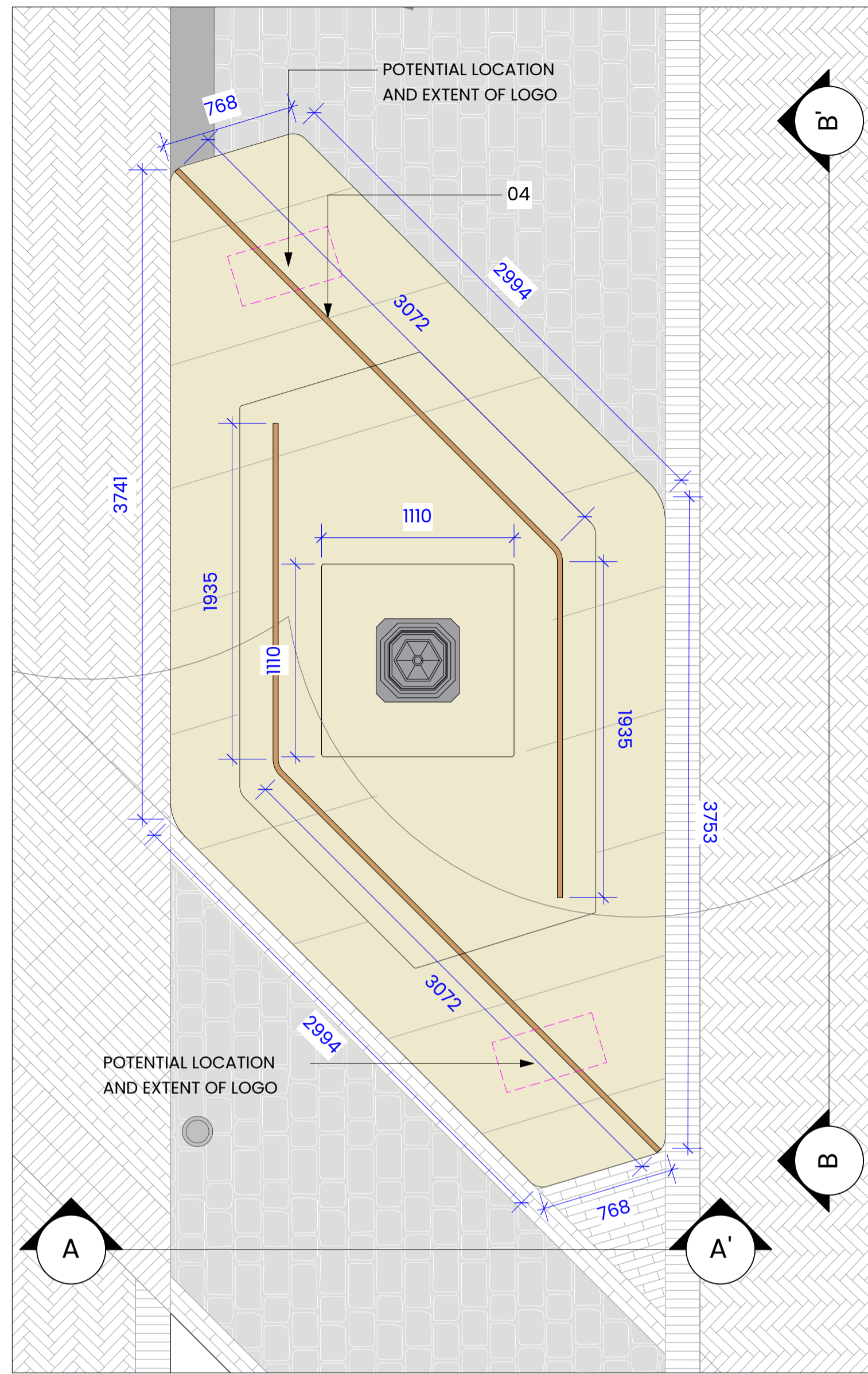


SECTION A-A

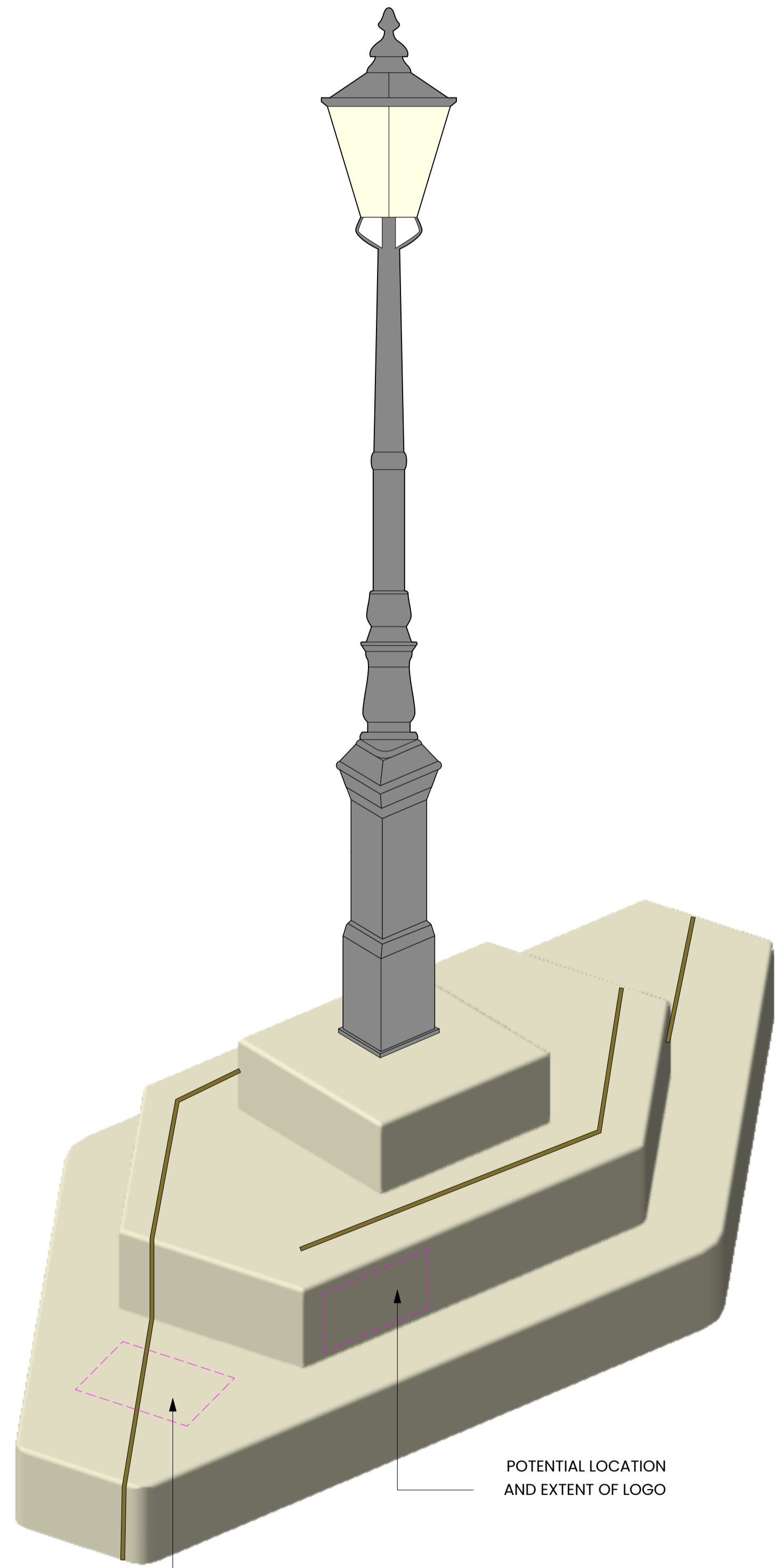


Mass of concrete subject to ground conditions and loadings. To be determined on site by others

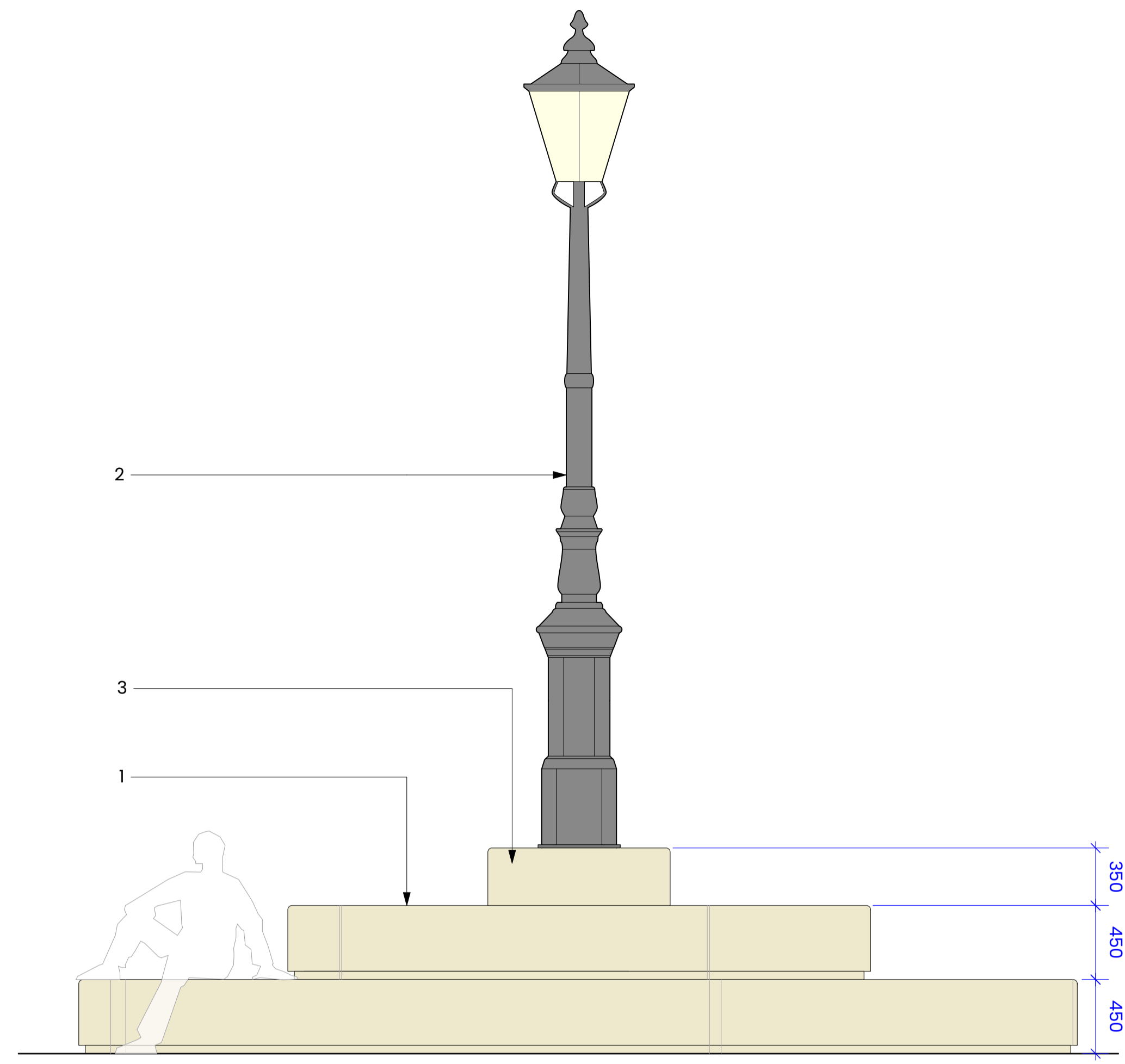
Order Ref Q53914				
Quantity:				
Rev.	Date	Details	Dr	Ch
Weight	1343.0 kg		Workshop Hours	
Branding	None		Spec & Require Radii Chamfer	
Timber Species & Spec	FSC NVDH		Stain Teak Oil	
Metal / Fixing Spec	25mm Thick Steel			
Drawing Notes	-			
 Woodscape. WOODSCAPE LIMITED 1 Sett End Road West Shadsworth Business Park Blackburn Lancashire, BB1 2QJ Tel: 01254 685185 Fax: 01254 671237 Email: sales@woodscape.co.uk www.woodscape.co.uk				
Project HASLINGDEN PUBLIC REALM - SIMON WATKINSON				
Drawing Title Q53914_Bespoke_Shuttle_Feature				
Drawn By	DR	Date	30/11/2022	
Checked By	GP	Checked Date	30/11/2022	
Scale 1:40				
Dwg No.	Q53914_Bespoke_Shuttle_Feature			Rev.
				02
DO NOT SCALE: IF IN DOUBT ASK				
<small>© This drawing is the copyright of Woodscape Limited and may not be reproduced or amended except by written permission. No Liability will be accepted for amendments made by other persons.</small>				
Sheet 1 Of 1				



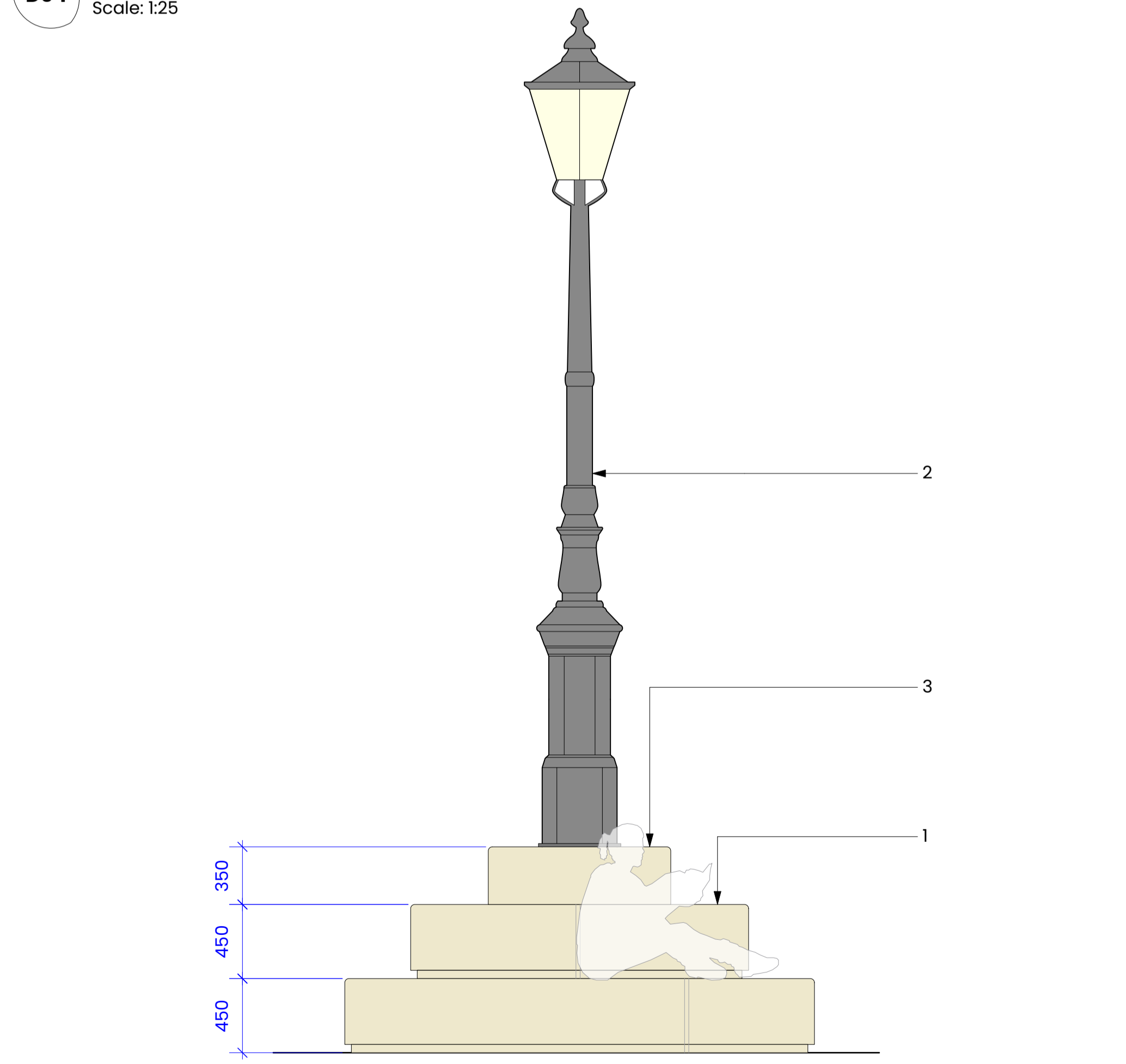
D01 Plan View
Scale: 1:25



D03 3D View
Scale: 1:25



D04 Elevation B-B'
Scale: 1:25



D05 Elevation A-A'
Scale: 1:25



THIS LOGO IS TO BE INCORPORATED INTO PLINTH - FINAL ARTWORK / PATTERN TO BE CONFIRMED. 2NO LOGOS ARE REQUIRED TO BIG LAMP PLINTH
LOGO TO BE CREATED USING SAND BLASTING/WATER JET /ENGRAVING TECHNIQUES OR SIMILAR.

D02 NLHF Logo
Scale: NTS

NOTES:

- DO NOT SCALE FROM THIS DRAWING. ALWAYS WORK TO NOTED DIMENSIONS.
- ALL SETTING OUT, LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE INSTALLATION OF MATERIALS AND ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONTRACT ADMINISTRATOR IMMEDIATELY.
- THIS DRAWING MUST BE READ WITH THE RELEVANT SPECIFICATION DOCUMENTS AND DETAIL DRAWINGS. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE CONTRACT ADMINISTRATOR IMMEDIATELY.
- THIS DRAWING IS COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN AUTHORITY.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.

THIS DRAWING WAS PLOTTED ON:
10/04/2024

REVISION HISTORY				
DATE	REV	ZONE	DESCRIPTION	CHK
06/03/2024	T03		Updated tender submission	OK
28/03/2024	T04		S278 UPDATE	OK
10/04/2024	T05		Kerb update	OK

- KEY**
- NATURAL STONE PLINTH WITH BULL-NOSED EDGES, LED SHADOW GAP LIGHTING, ANTI-SKATE REBATES AND FEATURE NLHF LETTERING TO SPEC CLAUSE Q25/320A
 - EXISTING BIG LAMP RE-SITED ON NEW STONE PLINTH
 - TOP TIER TO BE EXISTING STONE PLINTH RE-USED FROM SITE. CIRCULAR STONE TO BE CUT DOWN TO SUIT PROPOSED DIMENSIONS.
 - BRASS METAL INLAY TO CASCADE ON BOTH TREAD AND RISE OF PLINTH. METAL INLAY TO SIT FLUSH WITH SURFACE OF STONE. BRASS INLAY TO BE APPROX 50mm WIDE.

- NOTES:**
- TO BE READ IN CONJUNCTION WITH DRAWING 214-LYR-XX-ZZ-DR-L-6102 LANDSCAPE DETAILS 02
 - REFER TO CIVIC ENGINEER'S DRAWINGS FOR FOUNDATION DETAILS.

DESIGN INTENT
SUBJECT TO CONTRACTOR'S PROPOSALS

ORIGINATOR		MANCHESTER NEWCASTLE	
W layer.studio	T 01625 923 157	The Barn	The Studio
E manchester or newcastle@layer.studio		One Hollin Lane	Low Shifford House
		Styal	Stocksfield
		Cheshire	Northumberland
		SK9 4JH	NE43 7HW
CLIENT			
Rossendale BC			
PROJECT			
Haslingden Town Centre Regeneration			
DRAWING TITLE			
Landscape Details 01			
DRAWING NUMBER	REV	TO	STATUS
214-LYR-XX-ZZ-DR-L-6101	5	5	STAGE 4
SCALE	CREATED BY	CHECKED BY	
As shown @ A1	HF	MW	

NOTE
Final materials
pallette in
abayence, subject
to approval and
future detail

TREES RELOCATED FOLLOWING S278
COMMENTS

Lindens
Rest Home

SOME FEATURE BANDING AS NATURAL
STONE AS AN UPLET TO THE CONCRETE
MATERIALS SPECIFICATION IS SUBJECT
TO FUTURE DETAIL AND APPROVAL

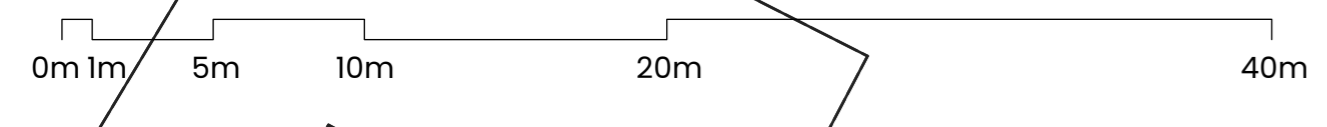
PAVING TO BE LAID IN STACK BOND TO
CHANNEL WATER TO INTERMITTENT
GULLIES - REFER TO CIVIC ENGINEER'S
DRAINAGE DRAWING

ALLOWANCE FOR 2M2 FEATURE
LETTERING/ENGRAVING WITHIN
NATURAL STONE PAVING - TO BE
CONFIRMED WITH ARTWORK

The Big
Lamp
Chippy

NISA

Haslingden
Library



- NOTES:**
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THIS DRAWING WAS PLOTTED ON:

DATE	REV	ZONE	DESCRIPTION	CHK
06/03/2024	T03		Updated tender submission	OK
28/03/2024	T04		S278 UPDATE	OK
10/04/2024	T05		Kerb update	OK

HARDWORKS

- H1.1 Surface Type 1.1 | INISH PAVING: PEDESTRIAN LOADING**
Unit Size: L200 x W50 x D65mm
To spec clause Q24/I20
Refer to Civic Engineer's drawings for build-up details.
Note: To include natural stone feature banding- TBC
- H1.2 Surface Type 1.2 | INISH PAVING: VEHICULAR LOADING**
Unit Size: L200 x W50 x D85mm
To spec clause Q24/I20A
Refer to Civic Engineer's drawings for build-up details.
Note: To include natural stone feature banding- TBC
- H2.1 Surface Type 2 | ASPHALT: VEHICULAR LOADING**
Location: To carriageway
To spec clause Q22/I15
Refer to Civic Engineer's details.
- H3.1 Surface Type 3 | ASPHALT: PEDESTRIAN LOADING**
Location: To footways
To spec clause Q22/I15A
Refer to Civic Engineer's details.
- H4.1 Surface Type 4 | Tactile Paving Units**
Location: To all pedestrian crossing points
Material: Granite
To spec clause Q25/320
Refer to Civic Engineer's drawings for build-up details.
- H4.2 Surface Type 4.2 | Tactile Paving Units**
Location: To all pedestrian crossing points
Material: Granite
To spec clause Q25/320A
Refer to Civic Engineer's drawings for build-up details.
- H5.1 Surface Type 5.1 | Natural Stone Plinth**
Location: Big Lamp Stone
Refer to Landscape Details 01 drawing
214-LYR-XX-ZZ-DR-L-6101
- H6.1 Re-used Cobbles (from Site)**
Existing cobbles to be lifted, cleaned and re-laid.
To spec clause Q25/340
- H6.2 Re-used Sawm Cobbles (from Site)**
Existing cobbles to be lifted, cleaned, sawn and re-laid.
To spec clause Q25/340A
Refer to Civic Engineer's drawings for build-up details.
- H7.1 Library Entrance Slab**
Retained in existing location

PAVING ACCESSORIES

- IC1.1 Inspection Cover Type 1.1: Recessed Cover**
To spec clause Q10/306
All covers to be orientated to align with paving bond.
- IC1.2 Inspection Cover Type 1.2: Standard Cover**
To spec clause Q10/306A
All covers to be orientated to align with paving bond.
- IC1.3 Inspection Cover Type 1.3: Standard Cover**
To spec clause Q10/306B
In soft landscape.
- DC Drainage Channel Type 01: Slot Drain**
To spec clause Q10/170
To be read in conjunction with Civic Engineer's details.

REFER TO CIVIC ENGINEER'S DRAWINGS FOR
INSPECTION CHAMBER LOCATIONS

ALLOWANCE FOR NLHF LOGO TO BE
INCORPORATED INTO NATURAL STONE
WITHIN PROXIMITY OF LIBRARY (EXAMPLE
IMAGE BELOW)



ORIGINATOR

W layer studio T 01625 923 157 E manchester or newcastle@layerstudio	MANCHESTER The Barn One Hollin Lane Styal Cheshire SK9 4JH	NEWCASTLE Flinnlands 1 Salters Road Gosforth Newcastle upon Tyne NE3 1QR
---	---	---

CLIENT
Rossendale BC

PROJECT
Haslingden Town Centre Regeneration

DRAWING TITLE
Hardworks

DRAWING NUMBER
214-LYR-XX-ZZ-DR-L-2101

SCALE
1:250 @ A1

REV TO
5

STATUS
STAGE 4

CREATED BY
HF

CHECKED BY
MW



- NOTES:**
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REVISION HISTORY				
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06/03/2024	T03		Updated tender submission	OK
28/03/2024	T04		S278 UPDATE	OK
10/04/2024	T05		Kerb update	OK

- SOFTWORKS**
- Clear-Stem Tree Planting**
Refer to planting schedule
 - Multi-Stem Tree Planting**
Refer to planting schedule
 - Ornamental Shrubs & Grasses**
Refer to planting schedule
 - Rain Gardens**
Refer to planting schedule and Civic Engineer's Drainage Strategy
 - Shade Tolerant Planting**
Refer to planting schedule
 - Existing Tree to be Retained**
 - Rootball Extent**
Approximate diameter
 - Impermeable Membrane**
Refer to Civic Details 1263-01-CIV-XX-XX-D-H-41010

ORIGINATOR

	W layer studio T 01625 523 157 E manchester or newcastle@layerstudio	MANCHESTER Filtrate The Barn One Hollin Lane Styal Cheshire SK9 4JH	NEWCASTLE Filtrate 1 Salters Road Gosforth Newcastle upon Tyne NE3 1QW
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CLIENT
Rossendale BC

PROJECT
Haslingden Town Centre Regeneration

DRAWING TITLE
Softworks

DRAWING NUMBER
214-LYR-XX-ZZ-DR-L-3101

SCALE 1:250 @ A1	CREATED BY HF	REV TO 5	STATUS STAGE 4
	CHECKED BY MW		