

Application Number:	2024/0247	Application Type:	Householder
Proposal:	Creation of second floor bedroom & dormer	Location:	189 Bacup Road Rawtenstall Rossendale Lancashire BB4 7NW
Report of:	Head of Planning and Building Control	Status:	For publication
Report to:	Development Control Committee	Date:	03.09.2024
Applicant:	Mr Rias Khan	Determination Expiry Date:	02.08.2024 EoT agreed to 06.09.2024
Agent:	Mr D Hancock		

Contact Officer:	Claire Bradley	Telephone:	01706 238636
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	
Member Call-In Name of Member: Reason for Call-In:	
3 or more objections received	
Other (please state):	Yes – Agent is Councillor Hancock

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

Approval subject to conditions contained in this report.

2. APPLICATION SITE

The application site is a two storey stone-built terraced house with a natural slate roof located within a terraced row.

The neighbouring property (187), has a rear dormer along with others on the block.

The site is within the urban boundary.

3. RELEVANT PLANNING APPLICATION HISTORY

No previous applications

4. PROPOSAL

The application seeks permission for the provision of a rear dormer that would enable a further bedroom to be created at second floor level.

The proposed dormer is set back from the eaves by 0.3 metres, has a height of 1.39m, a depth of 2.5m and extends 3.8m across the roof.

The proposed materials are slate for the new dormer front and cheeks and the dormer roof being bitumen felt.

5. POLICY CONTEXT

National Planning Policy Framework

Section 2 Achieving Sustainable Development
Section 4 Decision Making
Section 5 Delivering a Sufficient Supply of Homes
Section 12 Achieving Well Designed Places

Development Plan

Local Plan Policies

Policy SS: Spatial Strategy
Policy SD1: Presumption in Favour of Sustainable Development
Policy SD2: Urban Boundary and Green Belt
Policy HS9: House Extensions
Policy ENV1: High Quality Development in the Borough
Policy TR4: Parking

Other material considerations

National Planning Practice Guidance
Alterations and Extensions to Residential Properties SPD

6. CONSULTATION RESPONSES

LCC Highways – No objection

7. REPRESENTATIONS

To accord with the General Development Procedure Order a site notice was posted on 23.07.2024 and properties were notified by letter sent out on 10.07.2024.

No responses have been received.

8. ASSESSMENT

Effect of the Proposal on the Character and Appearance of the Application Property and the Streetscene

The Framework states decisions should ensure developments:

- a) *“Will function well and add to the overall quality of the area...*
- b) *Are visually attractive a result of good architecture...*
- c) *Are sympathetic to local character and history, including the surrounding built environment...”*

Policy HS9 (House Extensions) of the adopted Rossendale Local Plan is more specific and states:

“Permission will be granted for the extension of dwellings provided that the following criteria are satisfied:

- a) *The extension respects the existing house and the surrounding buildings in terms of scale, size, design, fenestration (including dormer windows) and materials, without innovative and original design features being stifled;”*

Strategic Policy ENV1 of the Rossendale Local Plan also adds:

“All proposals for new development in the Borough will be expected to take account of the character and appearance of the local area, including the following criteria:

- a) *Siting, layout, massing, scale, design, materials, lighting, building to plot ratio and landscaping;*
- b) *Safeguarding and enhancing the built and historic environment”*

The proposed dormer is set back from the eaves by 0.3 metres, has a height of 1.39m, a depth of 2.5m and extends 3.8m across the roof.

The proposed materials are slate for the new dormer front and cheeks and the dormer roof being bitumen felt.

It is considered that the design, scale, and massing is acceptable and in keeping with the character of the original dwelling and would not unduly dominate the original dwelling.

In light of the above the proposed development is in accordance with the Council’s Alterations and Extensions to Residential Properties SPD and Policies HS9 and ENV1 of the Rossendale Local Plan and the NPPF.

Neighbour Amenity

Policy HS9 of the Rossendale Local Plan advises that permission will be granted for the extension of dwellings provided that the following criteria are satisfied including:

“b) There is no unacceptable adverse effect on the amenity of neighbouring properties through overlooking, loss of privacy or reduction of daylight;”

The Alterations and Extensions to Residential Properties SPD advises in Section 2 that:

“any application for a domestic extension will not normally be permitted unless the proposal:

- *Does not invade privacy through direct overlooking from windows or balconies;”*

There are no properties to the rear of the development, which could be affected by the proposal

Given the location, size and height of the dormer in relation to neighbouring properties, it is considered that daylight at neighbouring houses would not be unduly compromised to the detriment of residential amenity.

Based on the current policies in place, the development would be in accordance with the Council’s Alterations and Extensions to Residential Properties SPD and Policies HS9 and ENV1 of the Rossendale Local Plan and the NPPF.

Access, Parking and Highway Safety

The house currently benefits from no in-curtilage car parking spaces - a position that will not change.

The proposed development which is small in scale and proposes an additional bedroom but is unlikely to give rise to significant numbers of additional vehicular trips or to significantly increase demand for on street car parking.

It should also be noted that the site is located within a sustainable location and that on-street parking is available in the immediate locale.

LCC Highways have no objection to the proposal.

The proposal is acceptable with regard to parking and highway safety.

9. CONCLUSION

The proposed development is acceptable in terms of principle, visual amenity, neighbour amenity, flood risk and highway safety and therefore is acceptable and in accordance with the Rossendale Local Plan and the NPPF.

10 RECOMMENDATION

That planning permission is granted subject to the following conditions:

11. CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To accord with Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development shall be carried out in accordance with the following:

Application Form received 07.06.2024

Location Plan received 07.06.2024

Drawing No: 16017 1 - Existing Layouts received 07.06.2024

Drawing No: 16017 3 – Existing and Proposed Elevations received 07.06.2024

Drawing No: 16017.2 - Proposed Layouts received 07.06.2024

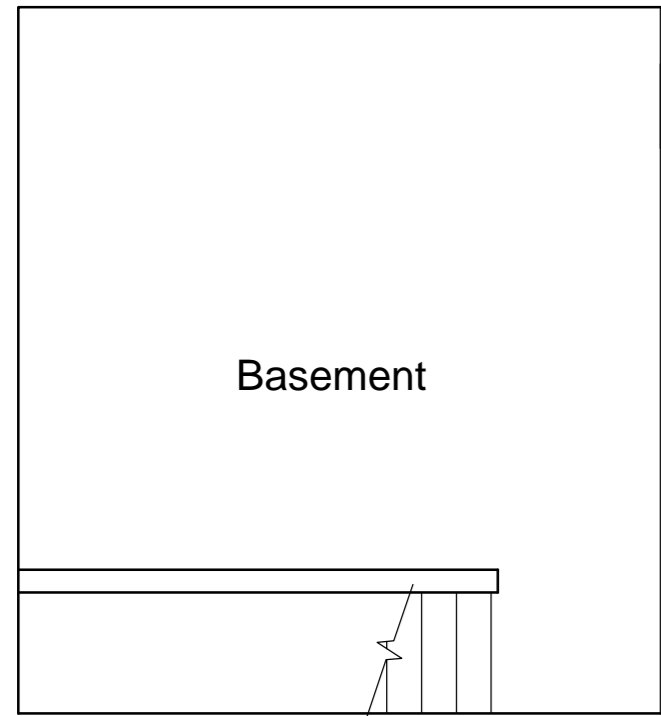
Reason: To define the permissions and in the interests of the proper development of the site.

3. No materials shall be used on the elevations of the proposed development other than those referred to on the application form and drawings.

Reason: In the interests of visual amenity of the area and ensuring that the appearance of the development is acceptable.

12. INFORMATIVES

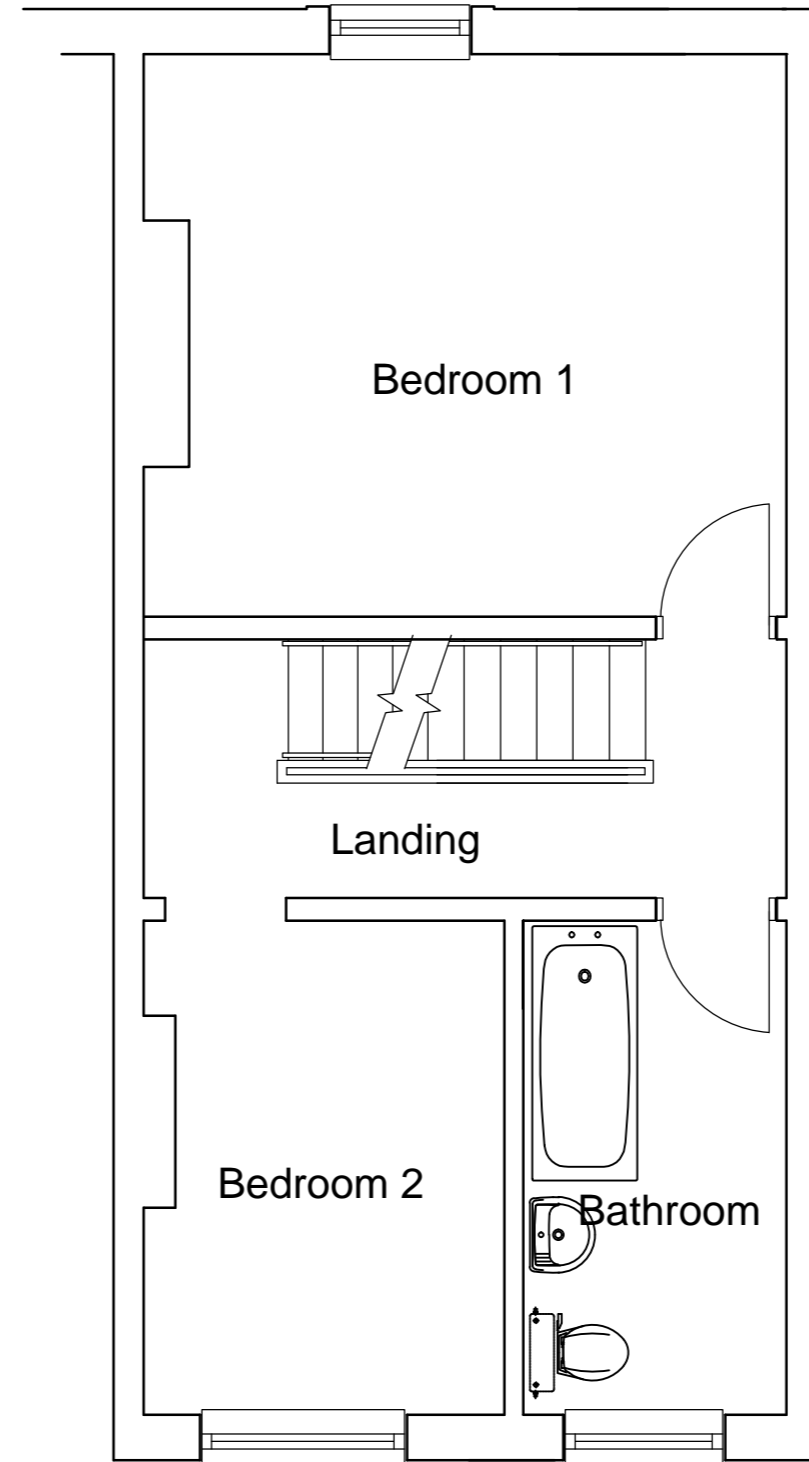
1. The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.



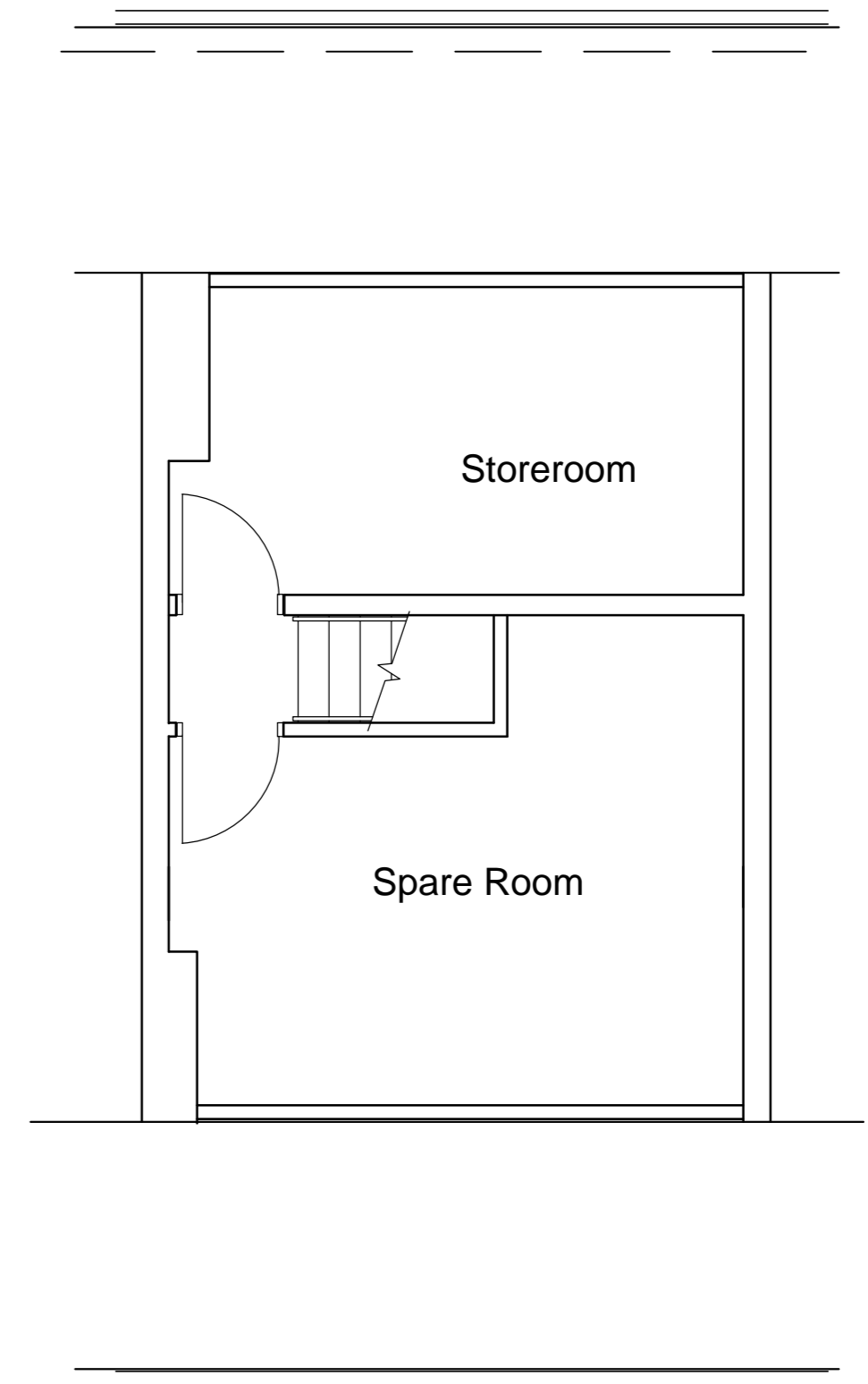
Existing Basement



Existing Ground Floor



Existing First Floor



Existing Second Floor

Drawing
Existing Layouts

Address
189 Bacup Road
Rawtenstall

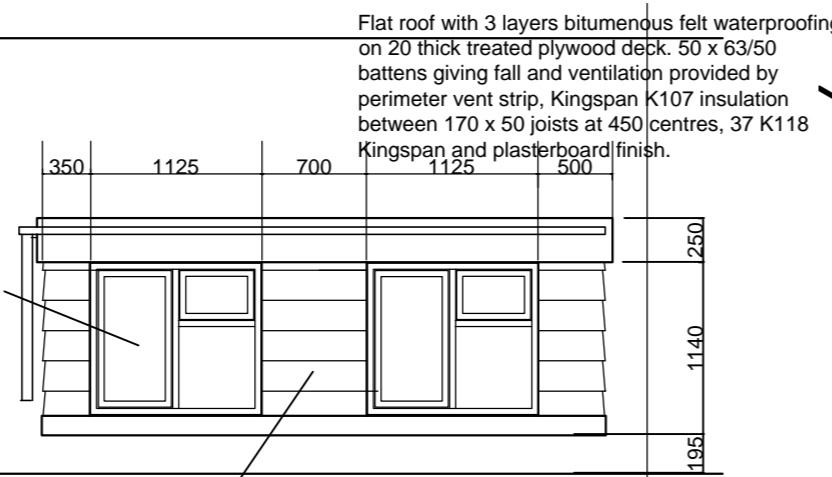
Client

Dwg No
16017.1

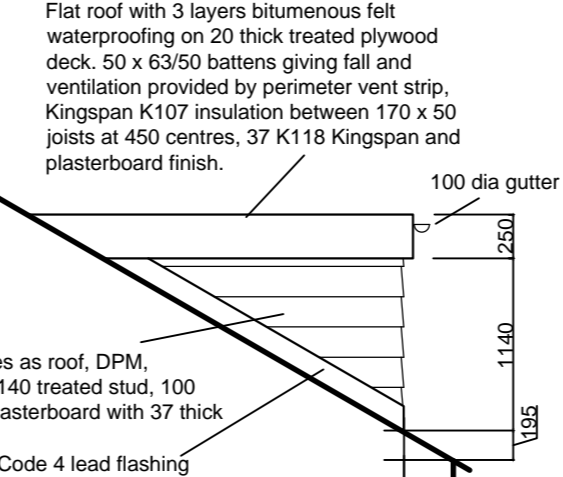
Scale
1:50

DJ Hancock Design
22 Coft Street
Bacup
Tel 01706 563502
Mob 07599 008 791

New windows to be double glazed. Glazing unit to have 'k' glass 16mm argon gas filled cavity to give min U value of 1.4W/m²/°C. Cavity closers to reveals and cill. Head to have 175 x 63 timber.



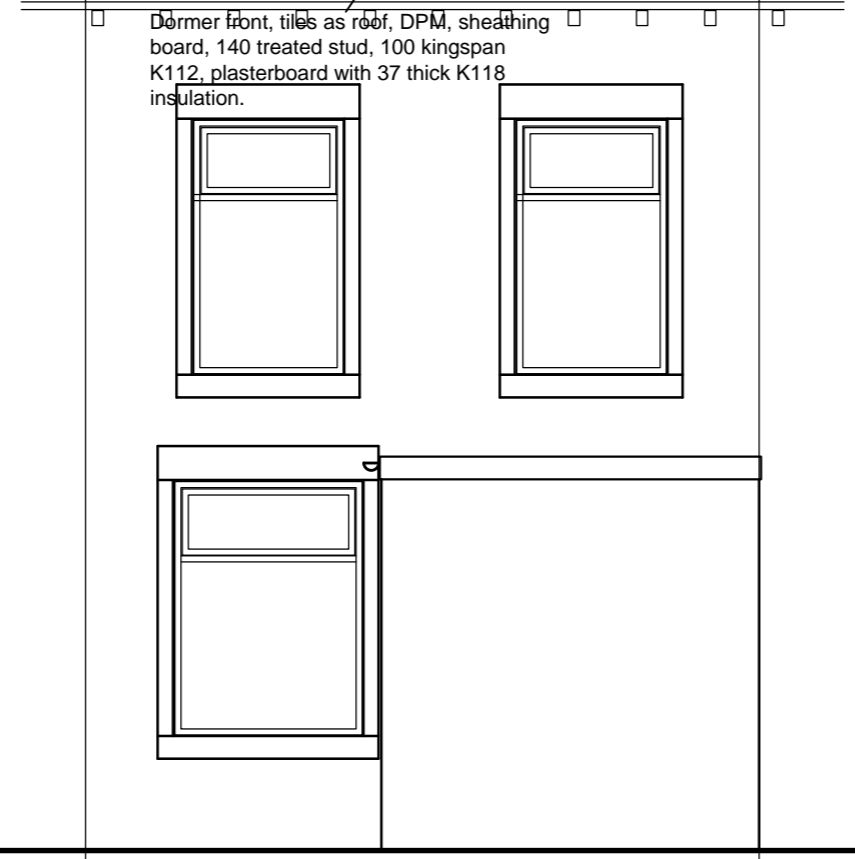
Dormer front, tiles as roof, DPM, sheathing board, 140 treated stud, 100 kingspan K112, plasterboard with 37 thick K118 insulation.



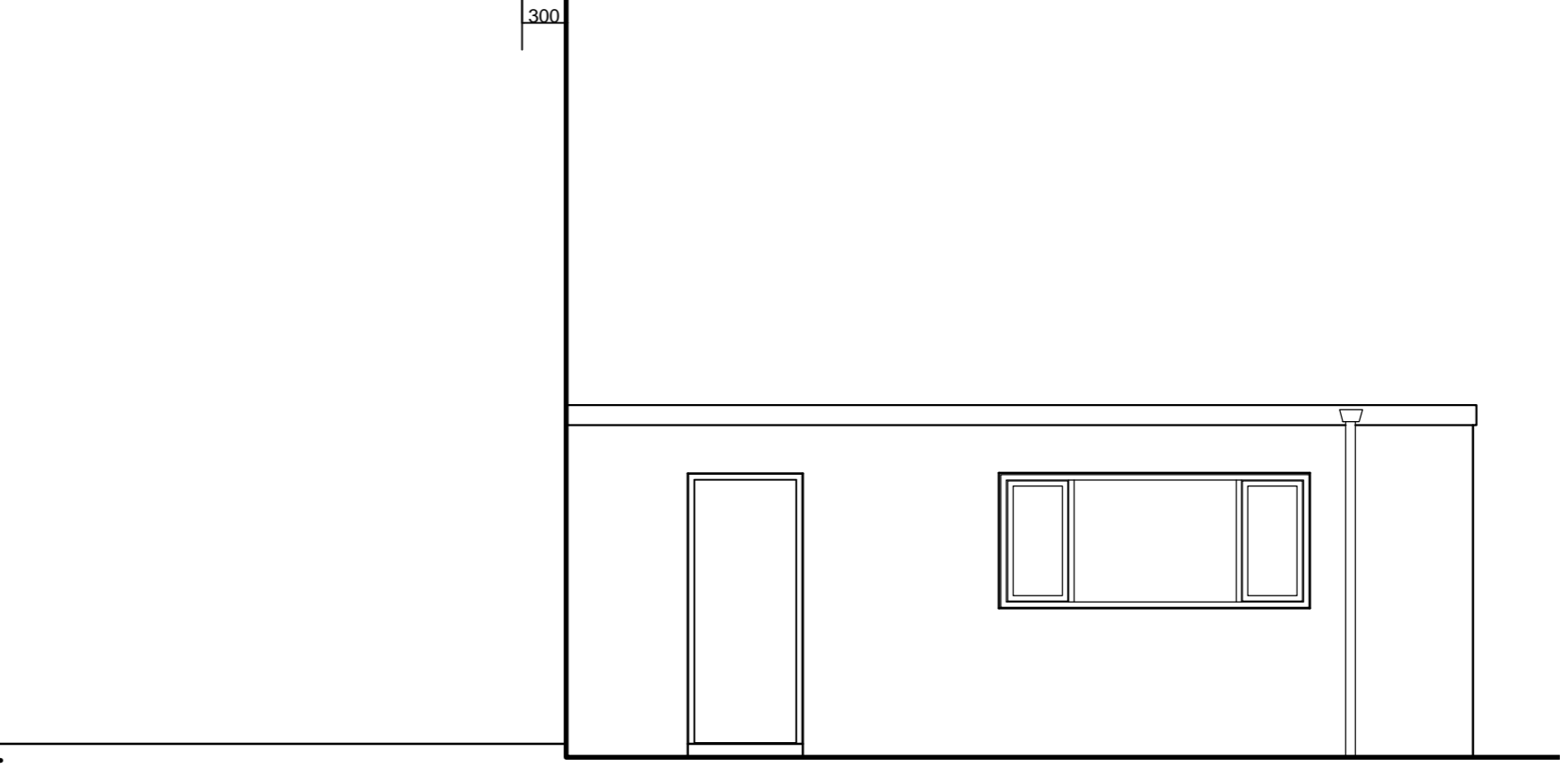
Dormer cheek, tiles as roof, DPM, sheathing board, 140 treated stud, 100 kingspan K112, plasterboard with 37 thick K118 insulation. Code 4 lead flashing.



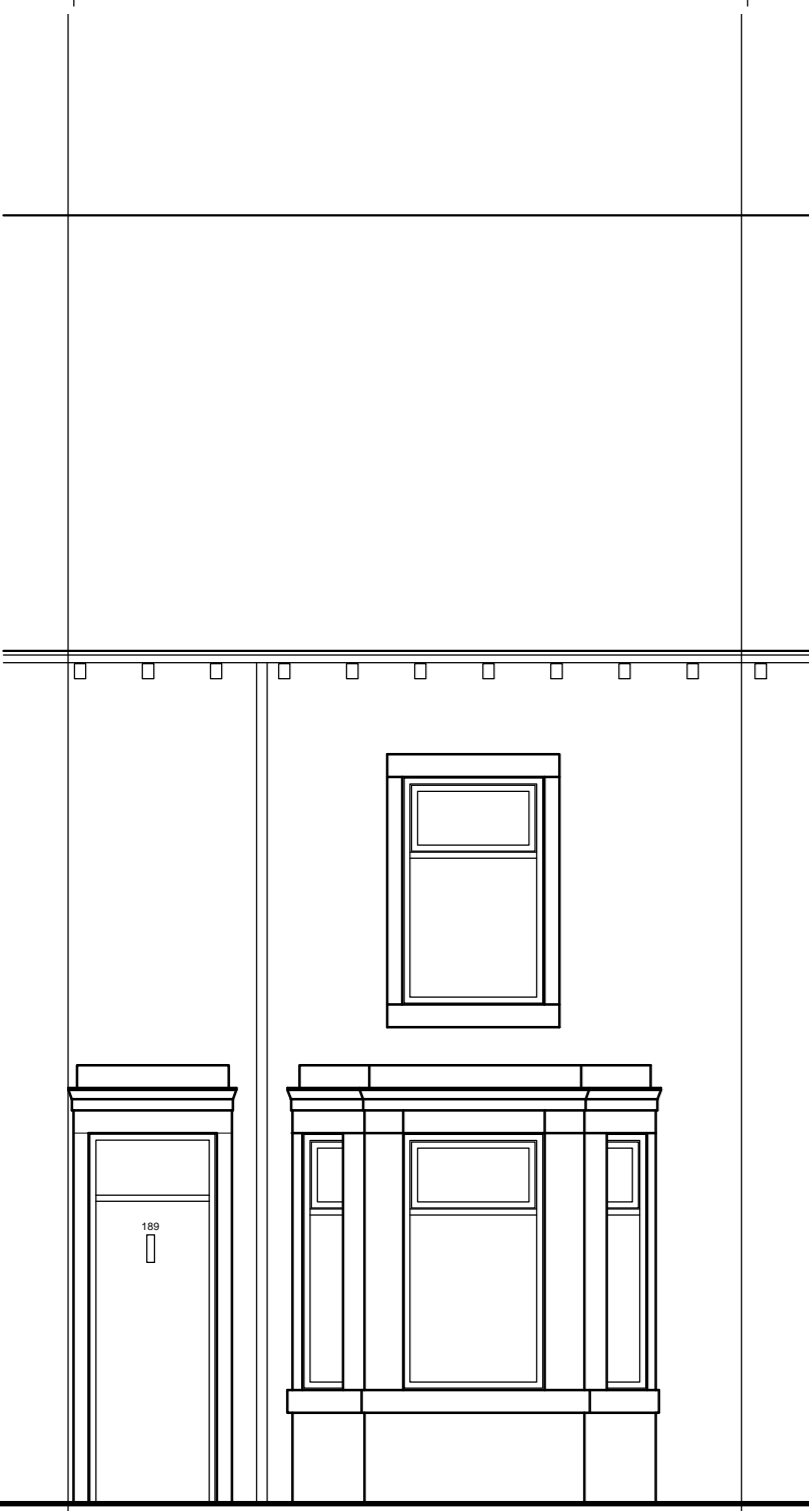
Proposed Front Elevation



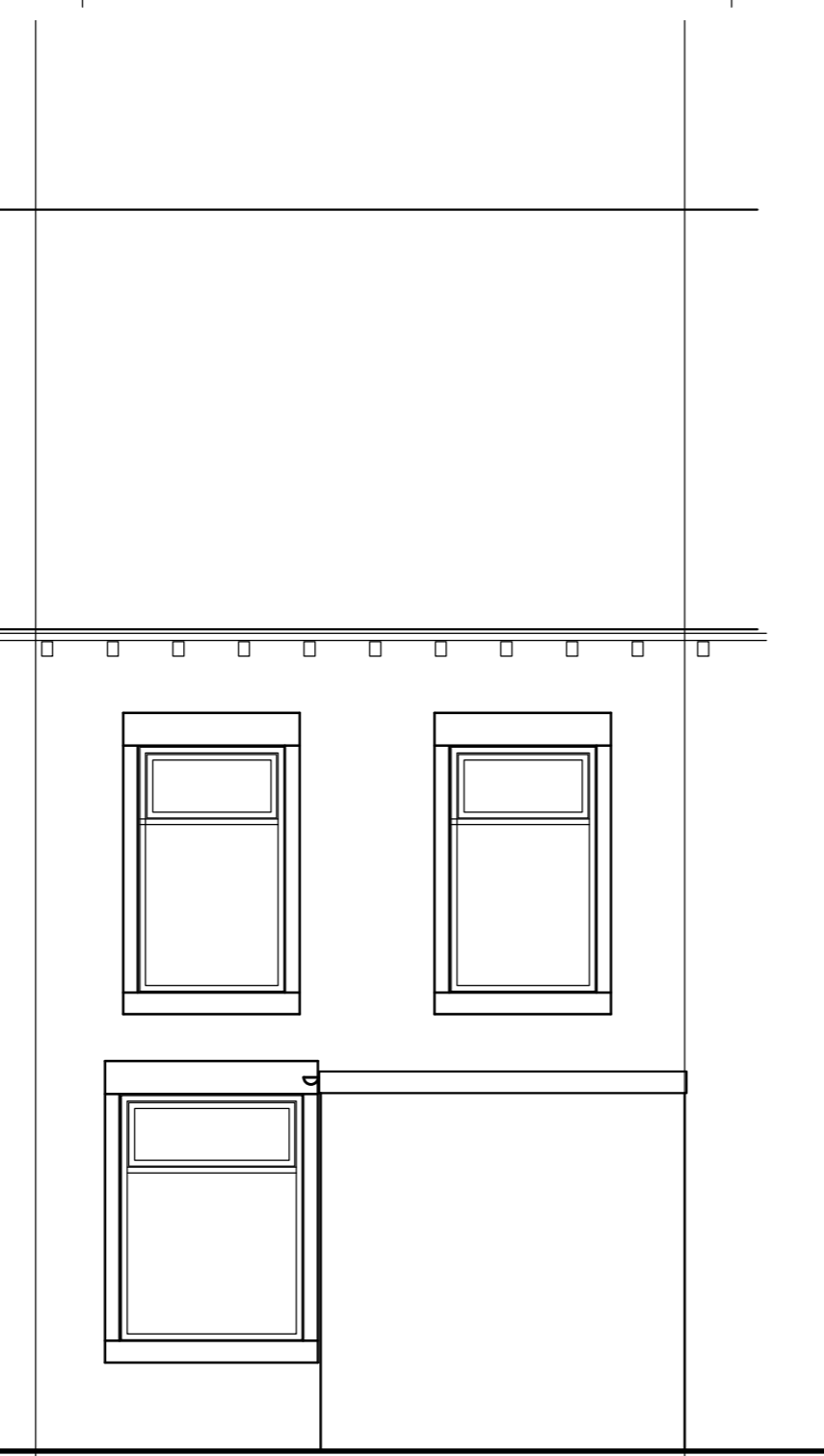
Proposed Rear Elevation



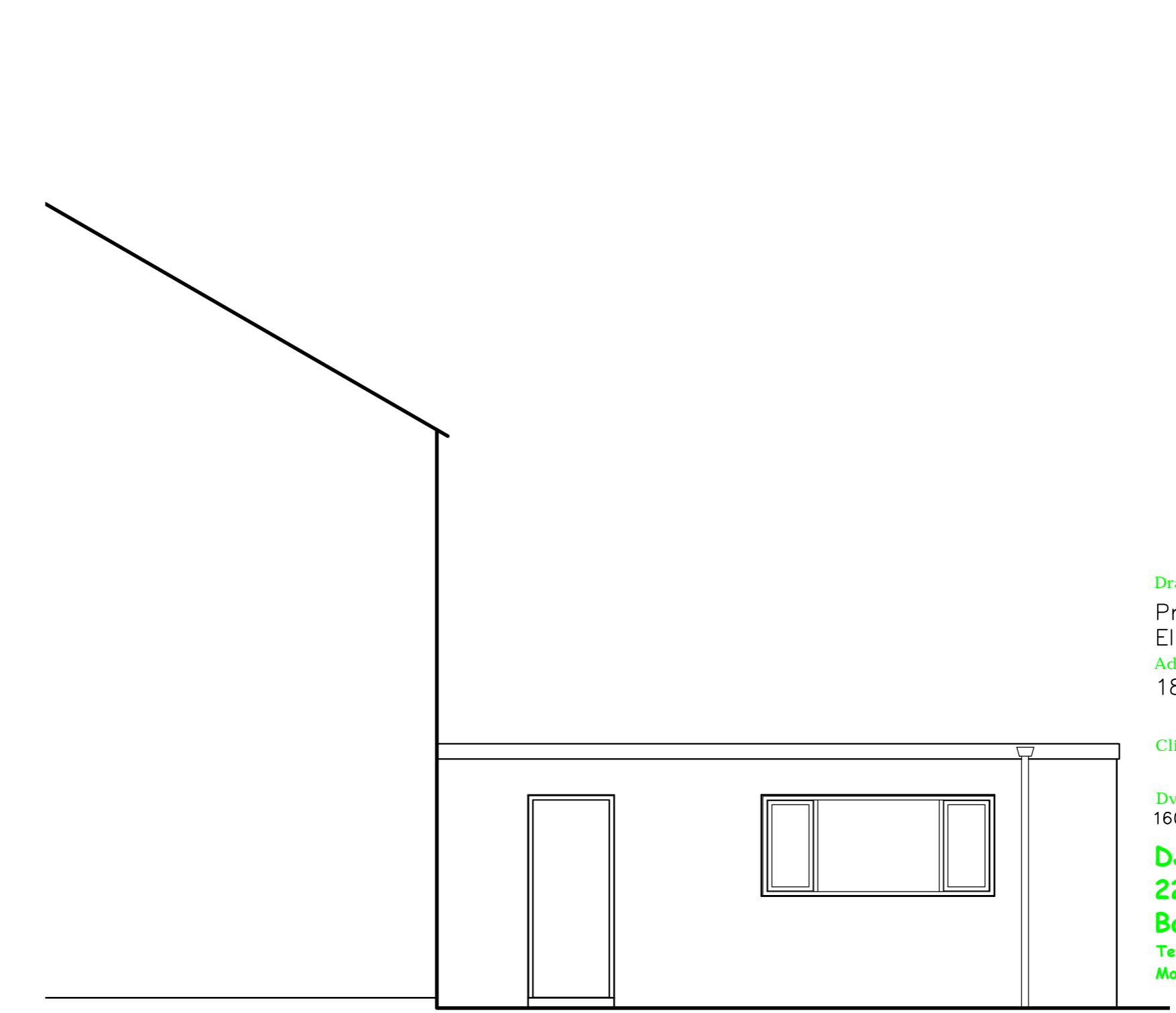
Proposed Side Elevation



Existing Front Elevation



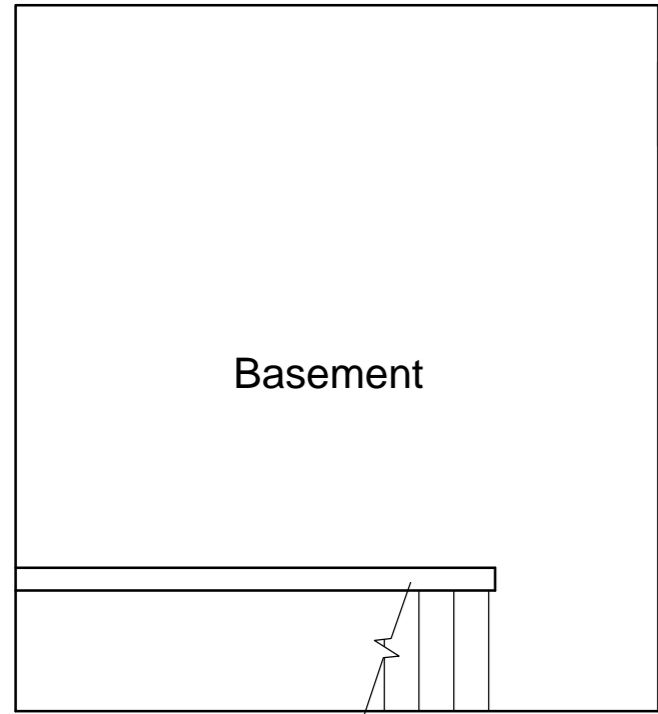
Existing Rear Elevation



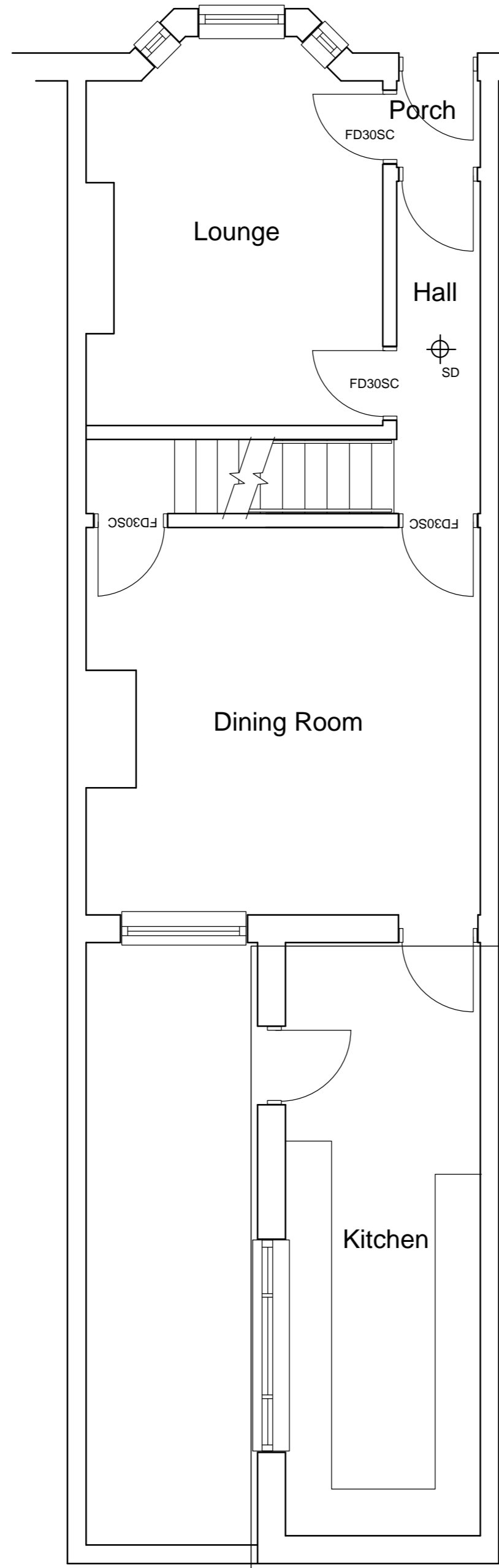
Existing Side Elevation

Drawing
Proposed and Existing Elevations
Address
189 Bacup Road, Rawtenstall

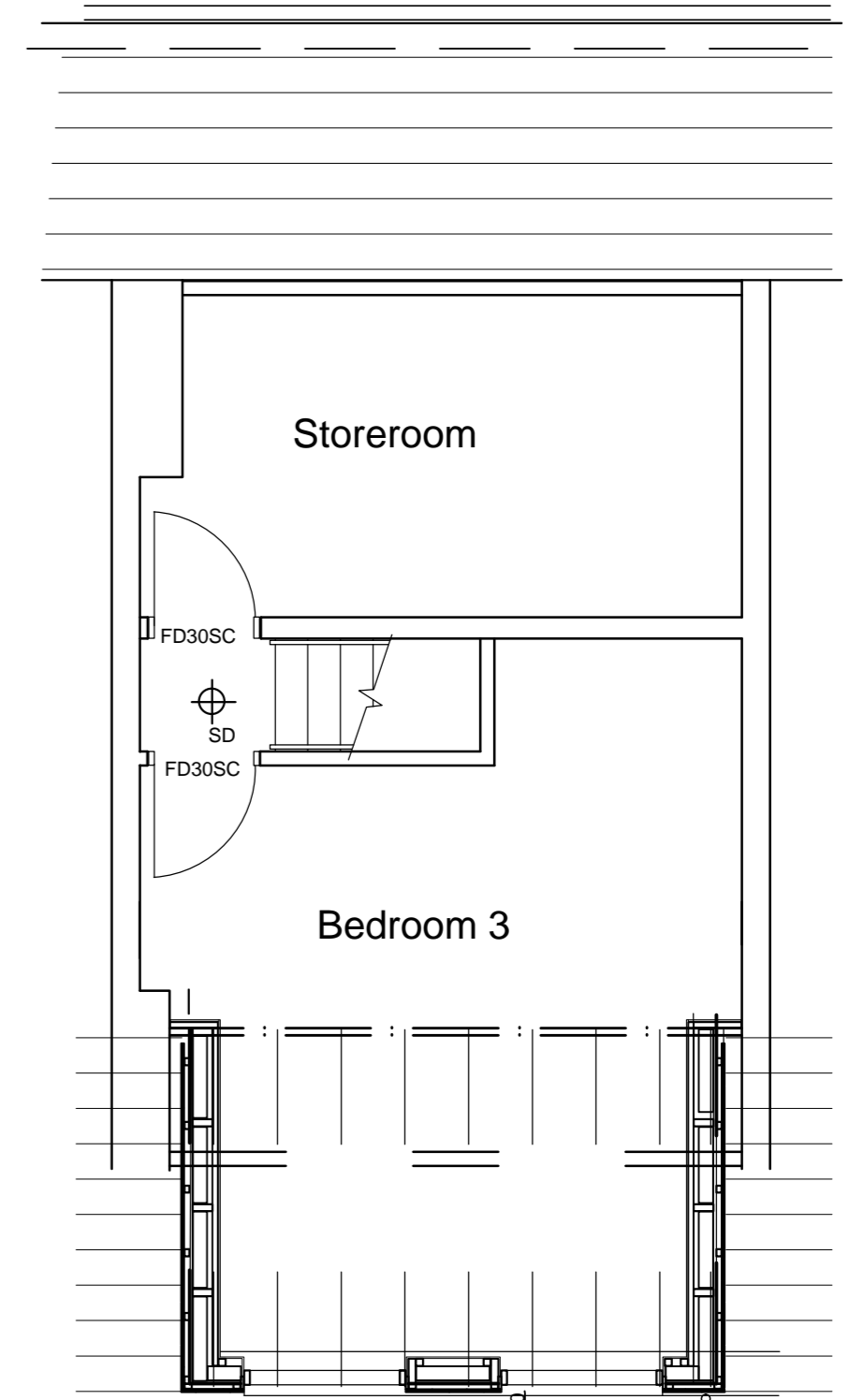
Client
Dwg No 16017.3 Scale 1:50
DJ Hancock Design
22 Croft Street
Bacup
Tel 01706 563502
Mob 07599 008 791



Basement (as existing)



Proposed First Floor



New windows to be double glazed, Glazing unit to have 'K' glass 16mm argon gas filled cavity to give min U value of 1.4W/m²/°C. Cavity closers to reveals and sill. Head to have 175 x 63 timber.

Dormer front and cheeks, tiles as roof, DPM, sheathing board, 140 treated stud, 100 kingspan K112, plasterboard with 37 thick K118 insulation.

Proposed Second Floor with Dormer

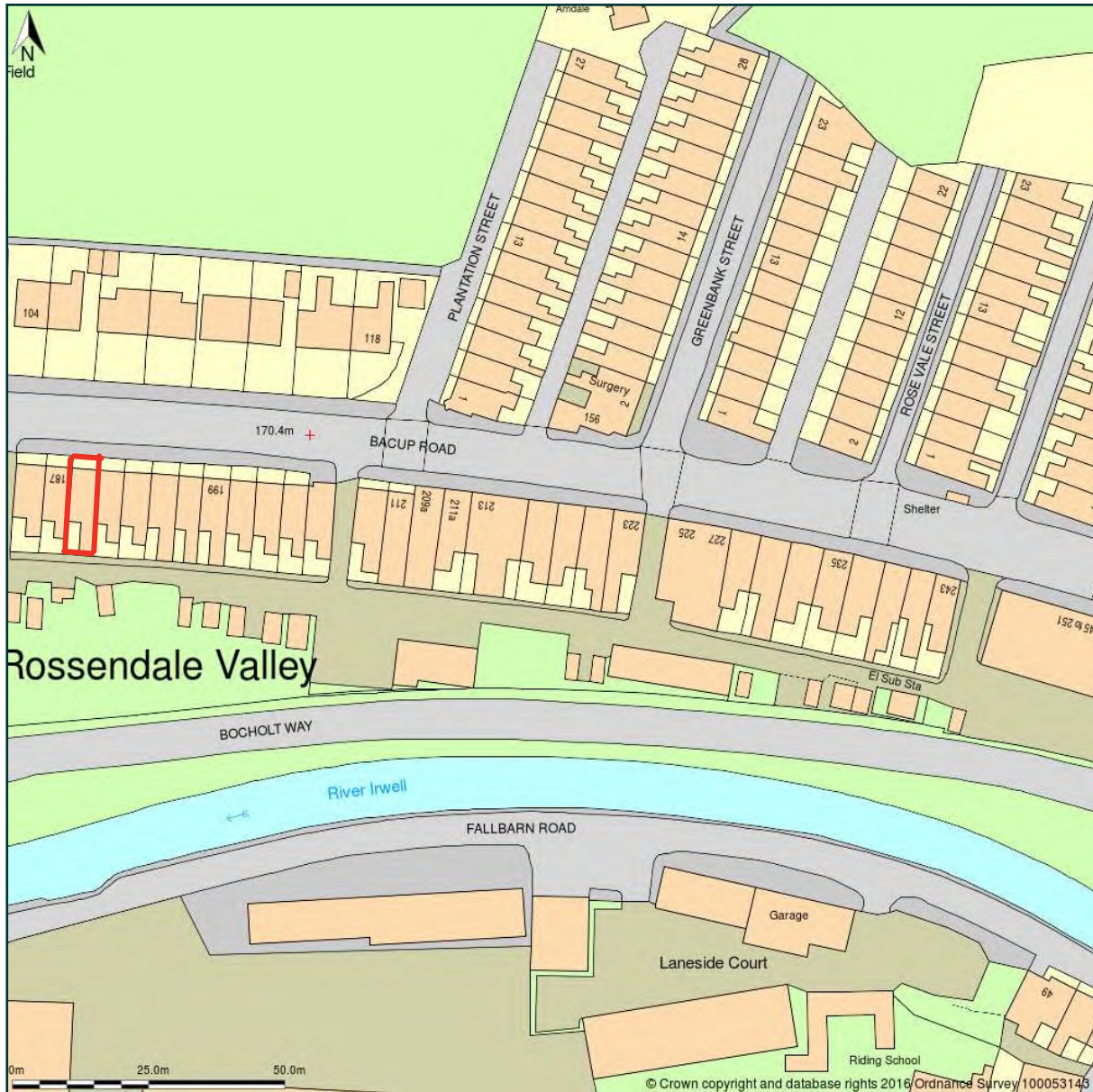
Drawing
Proposed Layouts

Address
189 Bacup Road Rawtenstall

Client

Dwg No 16017.2 Scale 1:50

DJ Hancock Design
22 Croft Street
Bacup
Tel 01706 5635021
Mob 07599 008 791



Site Plan shows area bounded by: 381670.31, 422635.06 381870.31, 422835.06 (at a scale of 1:1250) The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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