

Application Number:	2024/0223	Application Type:	S73 Variation of Condition
Proposal:	Section 73 planning application to amend condition 7 materials of planning application reference 2020/0363	Location:	Former Forest Mill Site Henrietta Street Bacup Lancashire
Report of:	Head of Planning	Status:	For publication
Report to:	Development Control Committee	Date:	03/09/2024
Applicant:	Aldi Stores Limited	Determination Expiry Date:	23/08/2024 EOT 10/9/2024
Agent:	Avison Young – Daniel Brown		

Contact Officer:	Chris Beebe	Telephone:	01706-238637
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	
Member Call-In Name of Member: Reason for Call-In:	
3 or more objections received	
Other (please state):	Major Application

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:-

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. **RECOMMENDATION**

Approve with conditions

2. **SITE**

The site comprises the former Forest Mill and its area which extends to 0.82ha. It is situated on Henrietta Street in Bacup. The site was cleared of all industrial buildings and is now a relatively flat parcel of land. The site is 'previously developed' or 'brownfield' in planning terms.

Adjoining the site to the east is the River Irwell. Whilst at the south-eastern corner of the site the River takes the form of an open channel, on much of the eastern boundary it is culverted, and a single storey warehouse / depot stands on top of it, which is occupied by the Council's Operations department. Immediately north of this depot and northeast of the site is the Bacup Royal Court Theatre, a three-storey structure which fronts Rochdale Road to the east but is also accessible at a lower level from Henrietta Street. Further east of the site (beyond the depot) is a stepped pedestrian link from Henrietta Street up a relatively steep embankment to Rochdale Road.

To the south of the site is Commerce Street and, beyond that, a number of industrial properties. Market Street is located directly west of the site, which connects the site to Bacup Town Centre (in the north). The wider context is mixed, including industrial, commercial, leisure and residential land uses.

The site is allocated for Employment Purposes by the Local Plan although permission for the Bacup Aldi food Store has been granted subsequently (2020/0363). This permission has been partly implemented with much of the Aldi store having been built.

The site is not within a Conservation Area but lies immediately to the south of Bacup Town Centre Conservation Area.

The site contains no listed buildings or Tree Preservation Orders.

The majority of the site lies within Flood Zone 2 and partly within Zone 1.

3. **PLANNING HISTORY**

2020/0363 Full: Erection of a food store with new vehicular access/egress to Henrietta Street, new internal vehicular access road, car parking, servicing area, and hard and soft landscaping; alongside road widening works to Henrietta Street

Granted Sept 2021

Applications have also been granted for signage and to discharge planning conditions.

4. PROPOSAL

Permission is sought to vary condition 7 of Planning Permission 2020/0363. Members will recall that permission was granted for a new Aldi food store in Sept 2021. The permission granted permission for the following.

- A single storey food store of 1,856 square metres (gross external area) with a sales area of 1,315 square metres.
- 110 dedicated spaces
- The car park will include 7no. accessible spaces, 7no. parent and child spaces, 7no. staff spaces, 12no. cycle spaces, and electric vehicle charging spaces.
- Pedestrian access routes and servicing.
- Shared pedestrian and cycle route to the south side of Henrietta Street.
- Structured low maintenance landscaping.

The condition the applicant wishes to amend is condition 7 which relates to materials and reads as follows:

7. No above ground construction shall take place until full details, including physical samples displayed on the site, of the following have been submitted to and approved in writing by the Local Planning Authority:

- Natural pitched dark stone (1m x 1m panel)
- Natural pitched light stone (1m x 1m panel)
- Powder coated aluminium sheeting in RAL 7016
- Kingspan cladding in RAL 7012
- Composite cladding laid vertically in RAL 7012
- Service doors and fire escapes and shelter in RAL 7016
- Ribbon glazing and aluminium frame in RAL 7016

The development shall thereafter be implemented in strict accordance with the approved details.

Reason: In the interests of securing a high quality finish to the development

The application proposes to change the condition to read as follows:

No above ground construction shall take place until full details, including physical samples displayed on the site, of the following have been submitted to and approved in writing by the Local Planning Authority:

- Reconstituted pitched dark stone (1m x 1m panel)
- Reconstituted pitched light stone (1m x 1m panel)
- Powder coated aluminium sheeting in RAL 7016
- Kingspan cladding in RAL 7012
- Composite cladding laid vertically in RAL 7012
- Service doors and fire escapes and shelter in RAL 7016
- Ribbon glazing and aluminium frame in RAL 7016

The development shall thereafter be implemented in strict accordance with the approved details.

Reason: In the interests of securing a high quality finish to the development

If the variation is allowed the applicant will need to provide samples to be inspected on site to ensure suitable materials are proposed.

The proposed Reconstituted Stone will be as used on the nearby Morrisons Store. The applicant states:

“The Morrisons supermarket has set precedent for the use of reconstituted stone in Bacup and has demonstrated that the specified stone is appropriate and will complement the local context.”

5. POLICY CONTEXT

National

National Planning Policy Framework

- Section 2 Achieving sustainable development
- Section 4 Decision-making
- Section 6 Building a strong, competitive economy
- Section 7 Ensuring the vitality of town centres
- Section 8 Promoting healthy and safe communities
- Section 9 Promoting sustainable transport
- Section 11 Making effective use of land
- Section 12 Achieving well-designed places
- Section 14 Meeting the Challenges of Climate Change, Flooding, etc
- Section 15 Conserving and Enhancing the Natural Environment
- Section 16 Conserving and Enhancing the Historic Environment

Development Plan Policies

Rossendale Local Plan 2019-2036

- ENV1 High Quality Development in the Borough
- ENV2 Historic Environment
- ENV9 Surface Water Run Off, Flood Risk, Sustainable Drainage and Water Quality
- SS Spatial Strategy
- SD1 Presumption in Favour of Sustainable Development
- EMP2 Employment / mixed use allocations and existing employment sites
- EMP3 Employment Site and Premises
- R1 Retail and other Town Centre uses
- R6 Shopfronts
- TR4 Parking

Other material considerations

- Bacup Town Centre Conservation Area Character Appraisal
- Planning Practice Guidance
- Rossendale Town Centre, Retail, Leisure and Tourism Study (2017)
- SPD RBC Shop Front Design Guide

6. CONSULTATION RESPONSES

Consultee	Summary of Comments received
Growth Lancashire (Heritage Advisor)	No objection – detail below

7. NOTIFICATION RESPONSES

The application was publicised by means of neighbour letters, a site notice and a press advertisement. The overall date of expiry was 04/07/2024.

No representations have been received.

8. ASSESSMENT

The main considerations of the application are:

Principle

In terms of procedural matters a S73 application such as this effectively grants a new planning permission so it is necessary for all undischarged conditions from the root permission to be carried over (amended as necessary to reflect the current state of discharge / compliance).

The key consideration is the acceptability or otherwise of Reconstituted Stone as opposed to Natural Stone given the store has an extent permission.

The signed S106 agreement will remain in place if this application is approved.

Visual and heritage impacts

The design of any new building on this site, which occupies an important gateway location into Bacup Town Centre, adjacent to the conservation area, needs to be sensitive to and in keeping with the character of Bacup. It must be of the highest standard of design. Although outside of the Bacup Conservation Area the impacts of the proposed changes upon the nearby Conservation Area must also be considered.

Growth Lancashire have been consulted and comment as follows

“In undertaking its role as a planning authority the Council should in respect to any buildings or land in conservation areas, pay special attention to the desirability of preserving or enhancing the character or appearance of that area. In relation to conservation areas decision makers should consider the impacts on the character and appearance of a conservation area separately, and development proposals need to satisfy both aspects (to preserve or enhance) to be acceptable.”

“Whilst there is no statutory duty to pay special attention to preserving or enhancing the setting of conservation areas, the NPPF requires local planning authorities (under P.201, P.206 and P.212) to consider the impact of development on the setting of heritage assets in the development management process.”

“I note the comments made in the submission letter from Avison Young (13 May 2024) re the terminology used in relation to the proposed materials referenced on the elevation drawings. I note that I raised no concerns over the development of the food store under the original application (2020/0363) and concluded in our original assessment (dated 21 September 2020) that the proposal will not cause any harm to the contribution made by setting to the character and appearance of the Bacup CA. “

“I am not convinced that a change in material to a re-constituted stone affects that view. The architecture of the store’s design remains the same and is contemporary in appearance and visually when viewed on approach along Market Street whilst the wider context is undoubtedly natural sandstone, I do not feel the change in the material will be viewed as being a significant one.”

“On this basis I raise no objection from a heritage viewpoint to the use of a reconstituted stone.”

“Overall, I find the change in materials to be of no consequence in how the site contributes to the adjacent conservation area. On this basis I feel the proposed change would from a heritage perspective meet with the requirements of Chapter 16 of the NPPF and Local Plan Policy ENV2.”

The Reconstituted Stone proposed will be the same / very similar to that used at the Morrisons store which is located within the Bacup Conservations Area - with the Aldi store being located outside the Conservation Area.

On balance it is considered that the use of Reconstituted Stone (provided it is of a high quality) is suitable in this location. Reconstituted Stone will not cause discernible harm to visual amenity. The surrounding buildings are constructed from a variety of materials including brick / cladding along with Reconstituted and Natural Stone. Reconstituted Stone is most notably used at the nearby Morrisons Store.

Given the surrounding locale has no dominant building material, high quality Reconstituted Stone is considered acceptable.

It is not considered that the proposed Reconstituted Stone will cause harm to the nearby Bacup Conservation Area; with Growth Lancashire stating *“Overall, I find the change in materials to be of no consequence in how the site contributes to the adjacent conservation area”*.

It is acknowledged that the Mill which previously occupied the site was of Natural Stone construction however the site has an extant permission for an Aldi Store and the relevant test is the comparison between Reconstituted and Natural Stone at the Aldi store rather than comparisons with the now demolished Mill.

On balance it is not considered that reasonable planning grounds exist to deny permission to use Reconstituted Stone.

Conditions will ensure high quality Reconstituted Stone is used by requiring the applicant to provide samples on site for approval before the stone is used.

9. RECOMMENDATION

Approve subject to conditions below.

10. SUMMARY REASON FOR APPROVAL

The proposed development will bring back into use a large, vacant and previously developed site which occupies a prominent position on the approach into Bacup, within the Urban Boundary. The site is 'edge of centre' however, the applicant has demonstrated through a Retail Impact Assessment and sequential assessment that the proposed development does not conflict with the National Planning Policy Framework or Core Strategy in this regard. Subject to the use of planning conditions, and a Section 106 Agreement, the proposal is acceptable with regards to design, residential amenity, highway safety, landscaping and flood risk. The development is in accordance with the Rossendale Local Plan and the National Planning Policy Framework.

11. CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Title	Drawing Reference	Received date
Proposed Site Plan	102 Rev H	11/02/2021
Proposed Roof Plan	105 Rev A	07/08/2020
Proposed GA Plan	103 Rev C	29/01/2021
Proposed Elevations	104 Rev B	29/01/2021
Proposed Roller Shutter Details	107 Rev C	29/01/2021
Tree Pit Detail	D01	29/01/2021
Tree Pit Detail Hard	D02	29/01/2021
Landscape Plan	L01 Rev E	11/02/2021
Site Location Plan	100 Rev A	07/08/2020
Design and Access Statement	Issue 2 - January 2021	29/01/2021
Flood Risk Assessment		07/08/2020
Ecological Walkover Survey		07/08/2020
Noise Impact Assessment		07/08/2020
Transport Assessment and Travel Plan		7/08/2020
Planning and Retail Statement		27/08/2020

Reason: To define the permission and in the interests of the proper development of the site.

2. The sales area as shown on the approved Proposed GA Plan as listed at Condition 2 shall not exceed 1,315 square metres. The sales area shall be used primarily for the sale of convenience goods, with a maximum of 300 square metres used for the sale of comparison goods.

Reason: A greater area used for the sale of comparison goods has not been assessed. There is the potential for a retail use of the development with a different character to that assessed to harm investment in Bacup Town Centre and/or to harm the vitality and viability of the Town Centre.

3. The development shall be progressed in accordance with the remediation strategy approved under 2023/0443

Reason: In the interests of mitigating any hazards posed by contaminated land, and in the interests of reducing pollution.

4. Pursuant to condition 3 and prior to first use or occupation a verification report, which validates that all remedial works undertaken on site were completed in accordance with those agreed with the Local Planning Authority, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of mitigating any hazards posed by contaminated land, and in the interests of reducing pollution

5. During the period of construction, should contamination be found on site that has not been previously identified, no further works shall be undertaken in the affected area. Prior to further works being carried out in the affected area, the contamination shall be reported to the Local Planning Authority within a maximum of 5 days from the discovery, a further contaminated land assessment shall be carried out, appropriate mitigation identified and agreed in writing by the Local Planning Authority who shall respond within 21 days from receipt. The development shall be undertaken in accordance with the agreed mitigation scheme.

Reason: In the interests of mitigating any hazards posed by contaminated land, and in the interests of reducing pollution.

6. No further above ground construction shall take place until full details, including physical samples displayed on the site, of the following have been submitted to and approved in writing by the Local Planning Authority:

- Reconstituted pitched dark stone (1m x 1m panel)
- Reconstituted pitched light stone (1m x 1m panel)
- Powder coated aluminium sheeting in RAL 7016
- Kingspan cladding in RAL 7012
- Composite cladding laid vertically in RAL 7012
- Service doors and fire escapes and shelter in RAL 7016
- Ribbon glazing and aluminium frame in RAL 7016

The development shall thereafter be implemented in strict accordance with the approved details.

Reason: In the interests of securing a high quality finish to the development

7. All boundary treatment, plant enclosures, and railings, shall accord with the details approved under 2024/0075. All railings, cycle loops and trolley bay rails shall have a black finish. The development shall be constructed in accordance with approved details and they shall be retained or replaced with the same materials thereafter.

Reason: In the interests of securing a high quality finish to the development

8. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance and written confirmation provided that no active bird nests

are present, which has been submitted to and agreed in writing by the Local Planning Authority.

Reason: In the interests of protecting nesting birds

9. Invasive Plant species shall be dealt with in accordance with the details approved under 2023/0443.

Reason: Derelict sites adjacent to watercourses are high risk for such species. No mention is made of the presence of either species in the ecological report, but photographs in the ecological report, appear to show that Himalayan balsam at least is present.

10. All development, site clearance or earth moving that shall take place (or material or machinery brought on site) in accordance with the details approved under 2023/0492 to protect the River Irwell from accidental spillages, dust and debris. All approved measures shall be implemented and maintained for the duration of the construction period in accordance with the approved details.

Reason: In the interests of protecting the nearby watercourse from pollution.

11. All development shall take place in accordance with the details approved under 2023/0492 to ensure there will be no negative impacts on the ecological status / potential of the River Irwell resulting from the disposal of foul water and surface water post-development.

Reason: In the interests of protecting the ecological potential of the nearby watercourse

12. During the first planting season following the commencement of development, the approved Landscaping Plan and Tree Pit Plans, shall be carried out in full, in so far as they relate to the soft landscaping / planting and ecological features (bird nesting boxes).

Any trees, plants or shrubs so planted which die or are felled, uprooted, wilfully damaged or destroyed within ten years of the date of planting shall be replaced by the applicants or their successors in title.

Reason: The soft landscaping / planting details are approved, however the hard landscaping details e.g. paving materials, are not. To ensure a satisfactory form of development and to enhance the visual amenities of the locality.

13. Notwithstanding the submitted details, full details of all materials for external hard-surfaces related to the development, including the proposed shared pedestrian / cycle route on Henrietta Street, shall be submitted to (including physical samples displayed on the site) and approved in writing by the Local Planning Authority. The details shall include the delineation of the shared pedestrian / cycle route.

The works shall then be constructed in accordance with approved details, which shall be completed prior to opening, and shall be retained or replaced with the same materials thereafter.

Reason: Insufficient details have been submitted, and to ensure a satisfactory form of development and to enhance the visual amenities of the locality, and in the interests of improving accessibility to the site for pedestrians and cyclists.

14. Prior to first opening, confirmation that the 'Measures for Sustainability' identified within the Design and Access Statement paragraph 7.7 have been incorporated into the development, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of minimising energy consumption and achieving sustainable development.

15. No construction works shall take place outside of the hours of Monday to Friday 08:00 to 18:00 and Saturday 08:00 to 13:00. There shall be no working on Sundays or Bank or Public Holidays.

Construction deliveries shall not take place outside of the hours of 09:30 to 16:00 Monday to Friday.

Reason: To protect neighbouring residents from loss of amenity and to avoid peak traffic on the surrounding highway network in the interests of highway safety

16. The food store hereby permitted shall only open for use by customers between 07:00 and 23:00 hours Monday to Saturday and 09:00 and 17:00 hours on Sunday.

Reason: To protect the residential amenity of neighbouring

19. Once operational, no deliveries (including waste collections) shall be taken at or despatched from the site outside the hours of Monday to Saturday 06.30 to 23.00 hours and Sundays 08.00 to 17.00 hours.

Reason: To protect the residential amenity of neighbouring properties.

20. The arrangements for any external lighting on the rear of the building shall be carried out in accordance with the details approved under 2023/0492. Thereafter the lighting shall be installed and retained in accordance with the approved details.

Reason: To protect the residential amenity of neighbouring properties and in the interests of the visual amenities of the area.

21. The proposed development shall comply with the details submitted under 2023/0523 (relating to the survey of the highway).

Any damage to the adopted highway shall be made good to the satisfaction of the Highway Authority prior to first opening of the food store.

Reason: To ensure that any damage to the adopted highway sustained throughout the development process can be identified and subsequently remedied at the expense of the developer.

22. The development shall accord with the details of the Construction Management Plan (CMP) / Construction Method Statement approved under 2024/0492 (CMS).

The approved Construction Management Plan / Construction Method Statement shall be adhered to throughout the construction period for the development.

Reason: In the interests of the safe operation of the adopted highway during the demolition and construction phases, and residential amenity

23. For the full period of construction, facilities shall be available on site for the cleaning of the wheels of vehicles leaving the site and such equipment shall be used as necessary to prevent mud, stones and debris being carried onto the highway. Provision to sweep the surrounding highway network by mechanical means shall be available as required, and the roads adjacent to the site shall be mechanically swept as required during the full construction period.

Reason: To prevent stones, mud and debris being carried onto the public highway to the detriment of road safety

24. Prior to first use of the food store, the footway (and/or verge) shall be reinstated to full kerb height, where any vehicle crossover(s) are redundant, in accordance with the approved plans and the Lancashire County Council Specification for Construction of Estate Roads, to be retained in that form thereafter for the lifetime of the development.

Reason: To maintain the proper construction of the highway and in the interest of pedestrian safety.

25. Prior to first use / opening, the following shall be submitted to and approved in writing by the Local Planning Authority:

- i) a scheme for the construction of the site access; and
- ii) full details of the off-site highway works, subject to detailed design.

Such details shall demonstrate no encroachment or narrowing of the footway on the east side of Market Street, to the north of Henrietta Street.

The development shall not be open for trade until the works have been completed in accordance with the approved details.

Reason: For reasons of highway safety in relation to construction traffic and customer traffic.

26. Prior to first occupation of the food store, the cycle parking (which shall be finished in black) shall be installed as detailed on the approved Site Layout Plan. The area shall thereafter be kept free of obstruction and available for the parking of cycles only at all times.

Reason: To ensure the provision and availability of adequate cycle parking and the promotion of sustainable forms of transport.

27. Prior to first trading, the car park shall be surfaced / paved and marked out, and the cycling, motorbike facilities and EV charging points shall be provided in accordance with approved plans listed in Condition 2.

Reason: To allow for the effective use of the parking areas.

28. Prior to first trading, and pursuant to Condition 14, the proposed pedestrian / cycle link as shown on the approved plans, shall be implemented and thereafter retained as such.

Reason: In the interests of improving accessibility to the site for pedestrians and cyclists.

29. The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Flood Risk and Surface Water Drainage Assessment, Ref: No.: 3148-FRA, Rev: A, Dated: July 2020, By: Integra Consulting.

No surface water will be permitted to drain directly or indirectly into the public sewer. Any variation to the discharge of foul shall be agreed in writing by the Local Planning Authority prior to the commencement of the development.

The measures shall be fully implemented prior to first occupation and evidence of which submitted to the Local Planning Authority (in consultation with the Lead Local Flood Authority) prior to first occupation.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

30. The drainage strategy shall be implemented in accordance with the details approved under 2023/0523 and adhered to at all times.

The sustainable drainage strategy shall be implemented in accordance with the approved details prior to first occupation.

Reason: To ensure satisfactory sustainable drainage facilities are provided to serve the site

31. The flood action plan approved under 2023/0523 shall be implemented in accordance with the approved details and adhered to at all times.

Reason: To provide details of access/egress and how users of the development would remain safe during a flood.

32. Foul and surface water shall be drained on separate systems.

Reason: To secure proper drainage and to manage the risk of flooding and pollution.

33. Prior to first use, a sustainable drainage management and maintenance plan for the lifetime of the development shall be submitted to the local planning authority and agreed in writing. The sustainable drainage management and maintenance plan shall include as a minimum:

- a. Arrangements for adoption by an appropriate public body or statutory undertaker, or, management and maintenance by a resident's management company; and
- b. Arrangements for inspection and ongoing maintenance of all elements of the sustainable drainage system to secure the operation of the surface water drainage scheme throughout its lifetime.

The development shall subsequently be completed, maintained and managed in accordance with the approved plan.

Reason: To ensure that management arrangements are in place for the sustainable drainage system in order to manage the risk of flooding and pollution during the lifetime of the development.

34. Surface water and pollution prevention shall be managed in accordance with the details submitted under 2023/0492 and will be managed during each construction phase.

Those details shall include for each phase, as a minimum:

- a) Measures taken to ensure surface water flows are retained on-site during construction phase(s) and, if surface water flows are to be discharged they are done so at a restricted rate to be agreed with the Lancashire County Council LLFA.
- b) Measures taken to prevent siltation and pollutants from the site into any receiving groundwater and/or surface waters, including watercourses, with reference to published guidance.

The development shall be constructed in accordance with the approved details.

35. Prior to the first opening, a regime to include, but not limited to, the management of litter picking, provision of waste bins in suitable locations close to pedestrian / cyclist access and egress points, and arrangements for emptying the bins on a regular basis, for that unit shall be submitted to and approved in writing by the Local Planning Authority. The approved regime shall be adhered to at all times whilst the unit is in operation.

Reason: In the interests of the character and appearance of the area.

11. **INFORMATIVES**

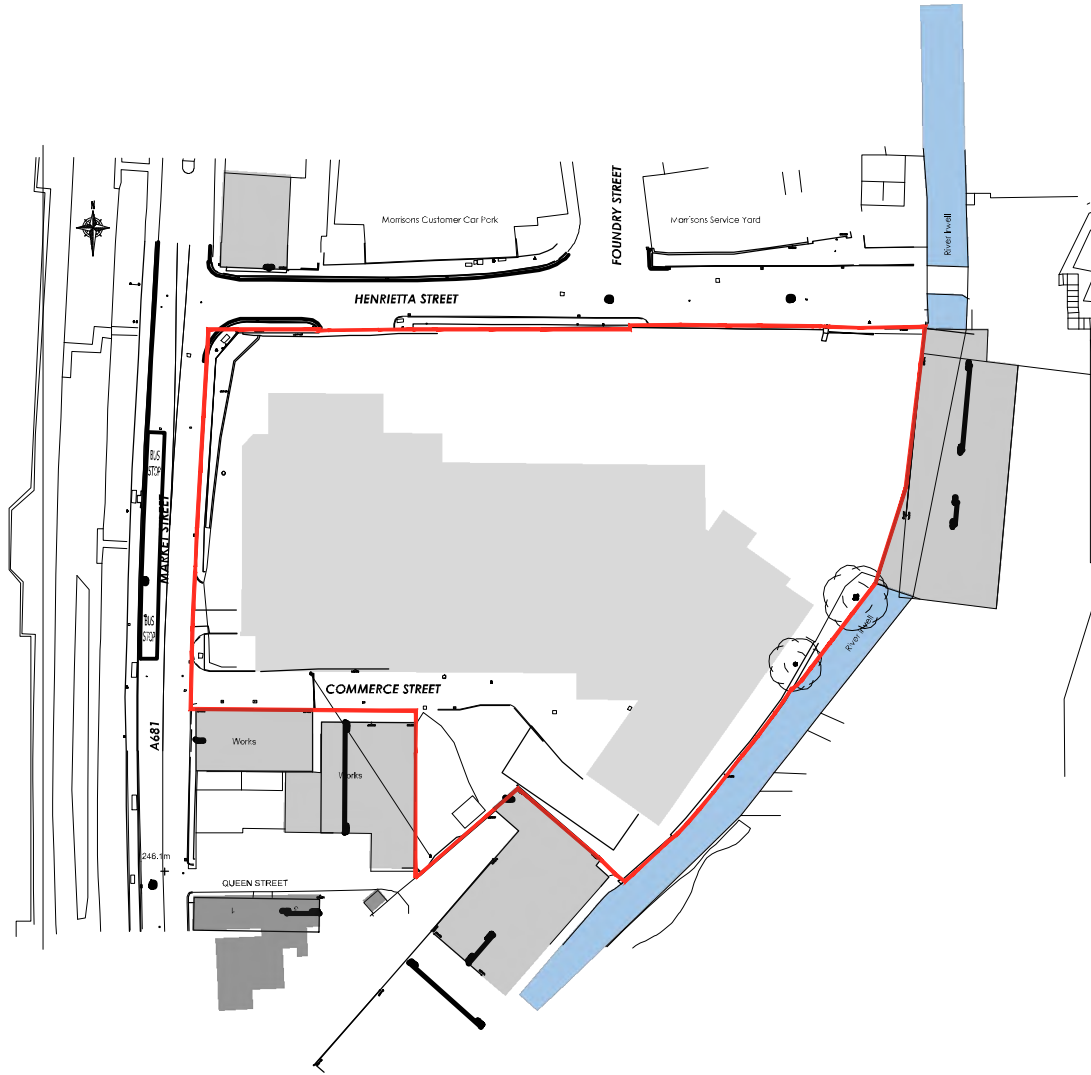
1. Lancashire Constabulary recommends that the proposed security measures identified in the Design and Access Statement (section 7.11 page 25) accord with the requirements of Secured By Design and should be implemented.
2. If, during any works on site, contamination is suspected or found, or contamination is caused, the LPA shall be notified immediately. Where required, a suitable risk assessment shall be carried out and/or any remedial action shall be carried out in accordance to an agreed process and within agreed timescales in agreement with the LPA. Please refer to the Contaminated Land Officer's letter dated 31 May 2016.
3. The applicant is advised that they have a duty to adhere to the regulations of Part 2A of the Environmental Protection Act 1990, the National Planning Policy Framework 2018 and the current Building Control Regulations with regards to contaminated land. The responsibility to ensure the safe development of land affected by contamination rests primarily with the developer.
4. The alterations to the existing highway as part of the new works may require changes to the existing street lighting at the developer's expense.
5. The grant of planning permission will require the applicant to enter into an appropriate legal agreement (Section 278), with Lancashire County Council as Highway Authority prior to the start of any development. The applicant should be advised to contact the county council for further information by telephoning the Development Support Section

on 0300 123 6780 or email developer@lancashire.gov.uk, in the first instance to ascertain the details of such an agreement and the information to be provided, quoting the location, district and relevant planning application reference number. For the avoidance of doubt the agreement shall provide for the following a) Ghost island and pedestrian refuge on Market Street b) Localised carriageway widening on Market Street c) Junction realignment Henrietta Street junction Market Street d) Formation of site access off Henrietta Street e) Reinstatement of redundant access points (Condition 6 above).

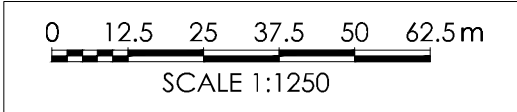
6. This consent does not give approval to a connection being made to Lancashire County Council's highway drainage system.

7. Elements of the land required as referred to in Condition 7 above, to be identified by the highway authority in the s278 agreement, shall be the subject of a dedication agreement with the Highway Authority under the provision of Section 38 of the Highways Act or other appropriate agreement.

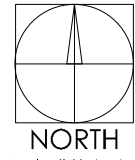
8. Construction Management Plan:
 - There must be no reversing into or from the live highway at any time – all vehicles entering the site must do so in a forward gear, and turn around in the site before exiting in a forward gear onto the operational public highway.
 - There must be no storage of materials in the public highway at any time.
 - There must be no standing or waiting of machinery or vehicles in the public highway at any time.
 - Vehicles must only access the site using a designated vehicular access point.
 - There must be no machinery operating over the highway at any time, this includes reference to loading/unloading operations – all of which must be managed within the confines of the site.
 - A licence to erect hoardings adjacent to the highway (should they be proposed) may be required. If necessary this can be obtained via the County Council (as the Highway Authority) by contacting the Council by telephoning 01772 533433 or e-mailing lhsstreetworks@lancashire.gov.uk
 - All references to public highway include footway, carriageway and verge.



Location Plan
Scale 1:1250 @ A4



Total Application Boundary
8,206m² (2.02 Acres)



Rev	Date	Description	Rev By	Chk'd By
A	29.07.20	Redline updated	RG	LEEB
Project Title		PROPOSED ALDI FOODSTORE HENRIETTA STREET MARKET STREET BACUP		
Client		ALDI STORES LTD		
Status		PLANNING		
Scale		1:1250	Drawing Size	A4
Date	DEC 19	Drawn By	KJ	Chkd by
				LB
Drawing Title		LOCATION PLAN		
Job-Dwg No	2768BOL - 100			Rev
				A



- 2 St Johns North, Wakefield, WF1 3QA t. 01924 291800
- Carvers Warehouse, 77 Dale Street, Manchester, M1 2HG t. 0161 2388555
- The Old Rectory, 79 High Street, Newport Pagnell, MK16 8AB t. 01908 211577
- 101 London Road, Reading, RG1 5BY t. 0118 9507700
- 10 Gees Court, St Christophers Place, London, W1U 1JJ t. 0207 4091215





DESIGN DOCUMENT

Proposed External Material Design
ALDI Henrietta Street,
Bacup

Planning application: 2020/0363

Erection of a foodstore with new vehicular access/egress to Henrietta Street, new internal vehicular access road, car parking, servicing area, and hard and soft landscaping; alongside road widening works to Henrietta Street.

2768-DD02 - EXTERNAL MATERIAL DESIGN DOCUMENT - REV A
APRIL 2024


1.0 INTRODUCTION

The proposed Aldi foodstore, located on Henrietta Street in Bacup, gained planning approval in September 2021 under application 2020/0363.

This document has been prepared by The Harris Partnership Ltd, on behalf of Aldi Stores, to accompany the Section 73 application to amend the wording of condition 7 and permit the use of reconstituted stonework on the building façade. The document will justify the material choice – being identical to the adjacent Morrisons foodstore – and demonstrate that the reconstituted stonework is in keeping with the immediate local context.



KEY

-  Site boundary
-  Morrisons foodstore
-  Adopted Bacup Town Centre Conservation Area

2.0 THE PLANNING PROCESS

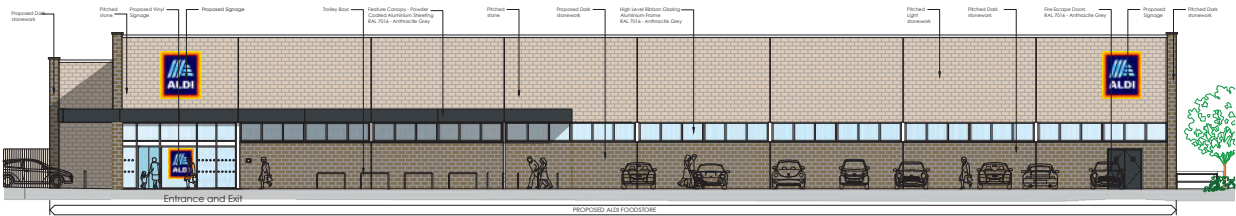
The material choice has been discussed with the LPA from the outset. In 2020, a mono-pitch proposal was presented at pre-app discussions and, whilst the roof shape and elevation details were not considered appropriate, the choice of materials was received positively:

"Whilst it is positive to see that the building incorporates natural stone and timber cladding, the latter taking cues from the nearby Morrison's store (thereby having some regard to its context), overall the design of the building as shown on the CGI and Proposed Elevation drawings does not yet achieve what is required by Policy 23."

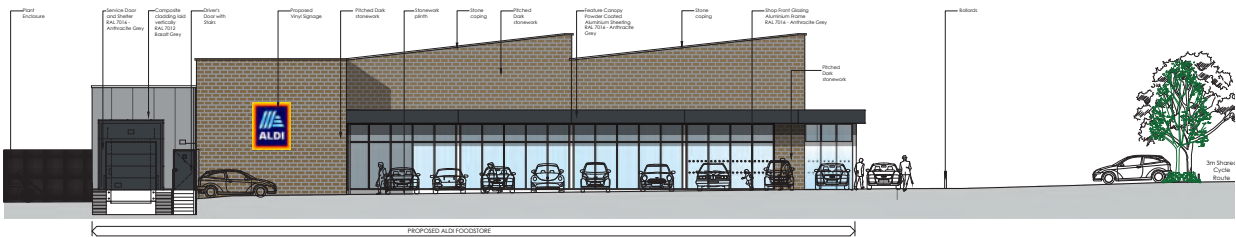
The design evolved to incorporate the external material palette of reconstituted stonework to match the adjacent Morrisons supermarket and this material inclusion has been fixed from this point onwards. The design and access statement approved under planning application ref 2020/0363 states that:

"The new ALDI store proposal utilises a combination of pitched faced stonework in two colours, one traditional and one to match the neighbouring Morrisons Foodstore."

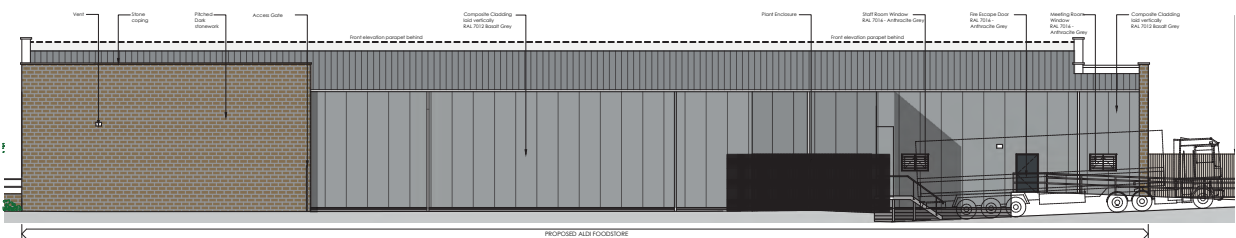
The use of the same stone as the adjacent supermarket ensures that the building will complement the local context.



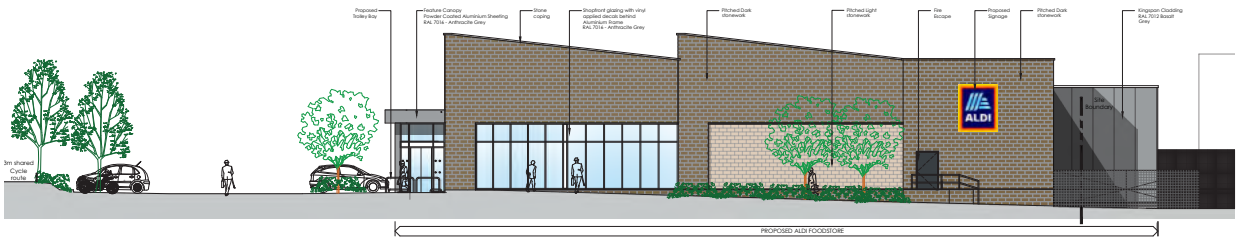
PLANNING APPROVED ELEVATION A



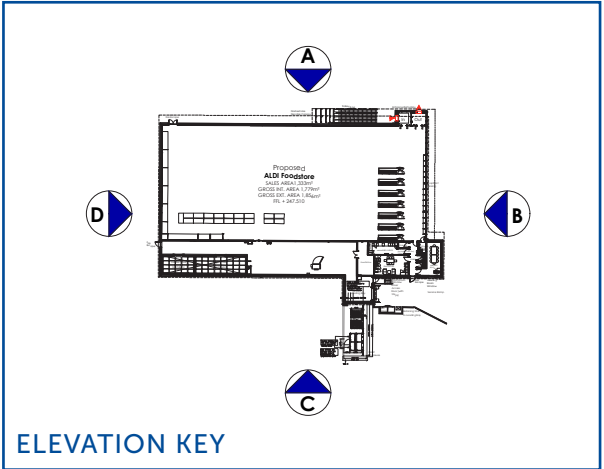
PLANNING APPROVED ELEVATION B



PLANNING APPROVED ELEVATION C



PLANNING APPROVED ELEVATION D



3.0 RECONSTITUTED STONE SPECIFICATION

The proposed Aldi foodstore utilises dark and light stonework in the elevation design and we ensured that the specification of the dark stonework directly matches that used by Morrisons.

We have had email confirmation from Marshalls – who has supplied stonework for both schemes – that the Morrisons supermarket is constructed from their 'Epoch Walling'.

Below is a direct comparison of the Epoch Walling sample panel constructed for the Aldi foodstore and a swatch of the Morrisons stonework (which has weathered over time).

Reconstituted Stone Specification:

LIGHT STONE:

Marshalls Cromwell Walling
Module size: 220 x 100 x 140mm, with natural mortar

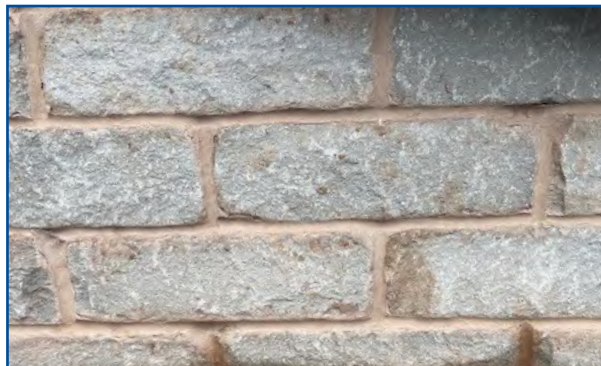
DARK STONE:

Marshalls Epoch Walling
Module size: 440 x 100 x 140mm, with natural mortar

The dark stone sample panel was erected on the Aldi site alongside the light stone sample panel, on 21.03.2024.



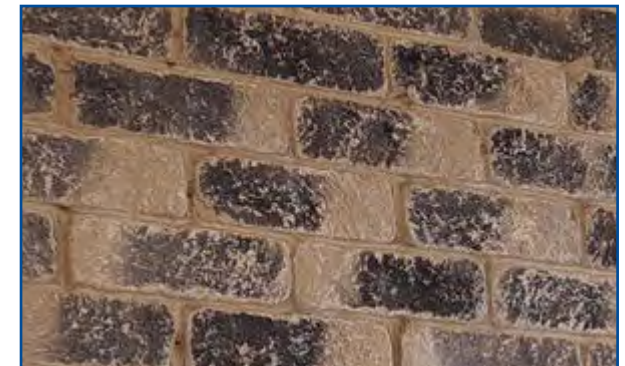
ADJACENT MORRISONS SUPERMARKET



ALDI LIGHT STONE SAMPLE PANEL



ALDI DARK STONE SAMPLE PANEL



MORRISONS STONE SWATCH

4.0 CONCLUSION

The Morrisons supermarket has set precedent for the use of reconstituted stone in Bacup and has demonstrated that the specified stone is appropriate and will complement the local context.























































