

Application No: 2007/242	Application Type: Full
Proposal: Elevational changes for previously approved dwelling 2006/248	Location: Valley View Higher Tunstead Bacup
Report of: Head of Planning, Legal & Democratic Services	Status: For Publication
Report to: Development Control Committee	Date: 26 June 2007
Applicant: A Alderson	Determination Expiry Date: 8 June 2007

REASON FOR REPORTING **Tick Box**

Outside Officer Scheme of Delegation

Member Call-In

Name of Member:

Reason for Call-In:

3 or more objections received **X**

Other (please state)

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights: -

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

APPLICATION DETAILS

1. The Site

This application relates to a detached agricultural building located at Higher Tunstead, for which planning permission was granted in 1994 (1994/336). The building is situated within its own grounds, away from the adjacent residential properties at Higher Tunstead and Booth Road.

Although planning permission for the conversion of the building into a dwelling was granted by Committee on 6 July 2006 (2006/248), it is still being used for the storage of agricultural machinery.

2. The Proposal

Rather than implement the scheme of conversion permitted by Planning Permission 2006/248, the applicant seeks permission for changes to the elevations, greater utilisation of the roof space and construction of a single storey extension (1.7m x 1.2m) at the western elevation and a porch (2.80m x 1.85m) at the southern elevation.

No additional windows are proposed on the northern and southern elevations. However, additional windows and alteration of the existing windows into doors, or doors into windows, are proposed affecting the eastern and western elevations. It is also proposed that the existing barn door in the eastern elevation will be changed to a large patio door flanked by a window on each side.

3. Policy Context

Rossendale District Local Plan

Policy DS3 - Green Belt
Policy C6 - Re-use of Rural Buildings
Policy DC1 - Development Criteria
Policy DC4 - Materials

Joint Lancashire Structure Plan

Policy 1 - General Policy
Policy 6 - Green Belts
Policy 7 - Parking

Other Material Planning Considerations

PPS 1
PPG 2
PPG 3
LCC Parking Standards

4. CONSULTATIONS

Since the proposal relates to alterations to the exterior of the property, no statutory consultations were required.

5. REPRESENTATIONS

Site notices posted on 9 May 2007 as shown on 1:1250 OS plan and neighbour letters sent on 24 April 2007.

One letter of objection has been received, signed by the residents of 107, 113, 115, 117 and 123 Booth Road. It expresses concerns that the proposed changes to the elevations will affect their privacy and not fit in with the surrounding area. They are concerned that a building intended for agricultural

purposes is being turned into an investment property and solely for profit.

6. ASSESSMENT

Planning Permission 2006/248 for the change of use of the former agricultural building to a dwelling was granted, subject to conditions, on 6 July 2006. As such, the issues of principle, agricultural need, housing oversupply, residential amenity, highway safety, etc were considered in the determination of that application.

The changes proposed by the current application relate principally to the external appearance of the building and should be considered in terms of their impact on : 1) the Green Belt; 2) the character and appearance of the building/area; & 3) the amenity of neighbours.

Green Belt

The application building is located within the Green Belt. PPG2 indicates that the re-use of the buildings in the Green Belt is acceptable provided that :

- a) it does not have a materially greater impact than the present use on the openness of the Green Belt
- b) strict control is exercised over the extension of re-used buildings and any associated uses of land
- c) the buildings are of a permanent and substantial construction
- d) the form, bulk and general design of the buildings are in keeping with their surroundings.

Policy 6 of the Joint Lancashire Structure Plan and Policy DS3 of the Rossendale District Local Plan accord with this Government guidance.

It is considered that the proposal, involving minor alterations to the exterior of the building and construction of two small extensions, would have little impact on the openness of the Green Belt or the form/bulk of the existing building. that As a consequence, it is considered that the proposal is acceptable in Green Belt terms.

Design/appearance

The proposal involves the provision of additional windows and doors on the eastern and western elevations and construction a porch at the southern elevation and a single storey extension at the western elevation. In addition, it is proposed that 3 no. velux windows would be installed on each side of the roof plane. The windows and doors would have glazed panels fixed in timber frames.

In terms of their design and materials, the new windows and doors would match the existing and are therefore acceptable. Similarly it is considered that the proposed porch and single storey extension, due to their limited size/design/materials, would have little impact on the character of the building and are therefore acceptable.

Neighbour Amenity

The application property is situated within large grounds and is approximately 37 metres away from the nearest residential property. By virtue of the trees and

shrubs along the southern boundary, the building is screened from view from the residential properties on Booth Road.

In view of its location, separation distance and trees/bushes on the southern boundary, it is unlikely that the proposed development would have an unduly detrimental impact on the privacy of any neighbours.

7. CONCLUSION

The application property is located within the Green Belt and it is considered that the proposed development will neither look out of place within the locality nor have an unduly detrimental impact on the openness of the Green Belt or the amenities of neighbours, and is in accordance with Policies DS3, DC4 and criteria of Policy DC1 of the Rossendale District Local Plan.

8. RECOMMENDATION

That permission be granted for the scheme of conversion now proposed, subject to amendment of the Conditions of Planning Permission 2006/248 as follows :

1. The development hereby permitted shall be begun before 6 July 2009.
REASON: Required by Section 51 of the Planning and Compulsory Purchase 2004 Act.
2. The development shall be carried out in accordance with plans numbered AA -01 and AA -02 received on 13 April 2007.
REASON: To ensure the development complies with the approved plans and for the avoidance of doubt.
3. Notwithstanding what is shown on the approved drawings, the door and window frames shall be of timber construction, and the rooflights shall be of the flush-fitting type, unless otherwise first agreed in writing by the Local Planning Authority.
REASON: To ensure that the development will be of satisfactory appearance, in accordance with the Agent's letter of 11/5/07, Policy 1 of the adopted Joint Lancashire Structure Plan and the criteria of Policy DC1 of the adopted Rossendale District Local Plan.

Contact Officer	
Name	M. Sadiq
Position	Planning Officer
Service / Team	Development Control
Telephone	01706 217777
Email address	planning@rossendalebc.gov.uk



Drain

FP

Path

TUNSTAD LANE

El Sub Sta

127

119

252.5m

248.9m

B

117

107

240.1m

241.0m

97

108

2007/242



Special Document
040704

BOROUGH OF ROSSENDALE

Reproduced from the ^{1960/89} Ordnance Survey
1:1250 map with the permission of the

Controller of Her Majesty's Stationery Office,

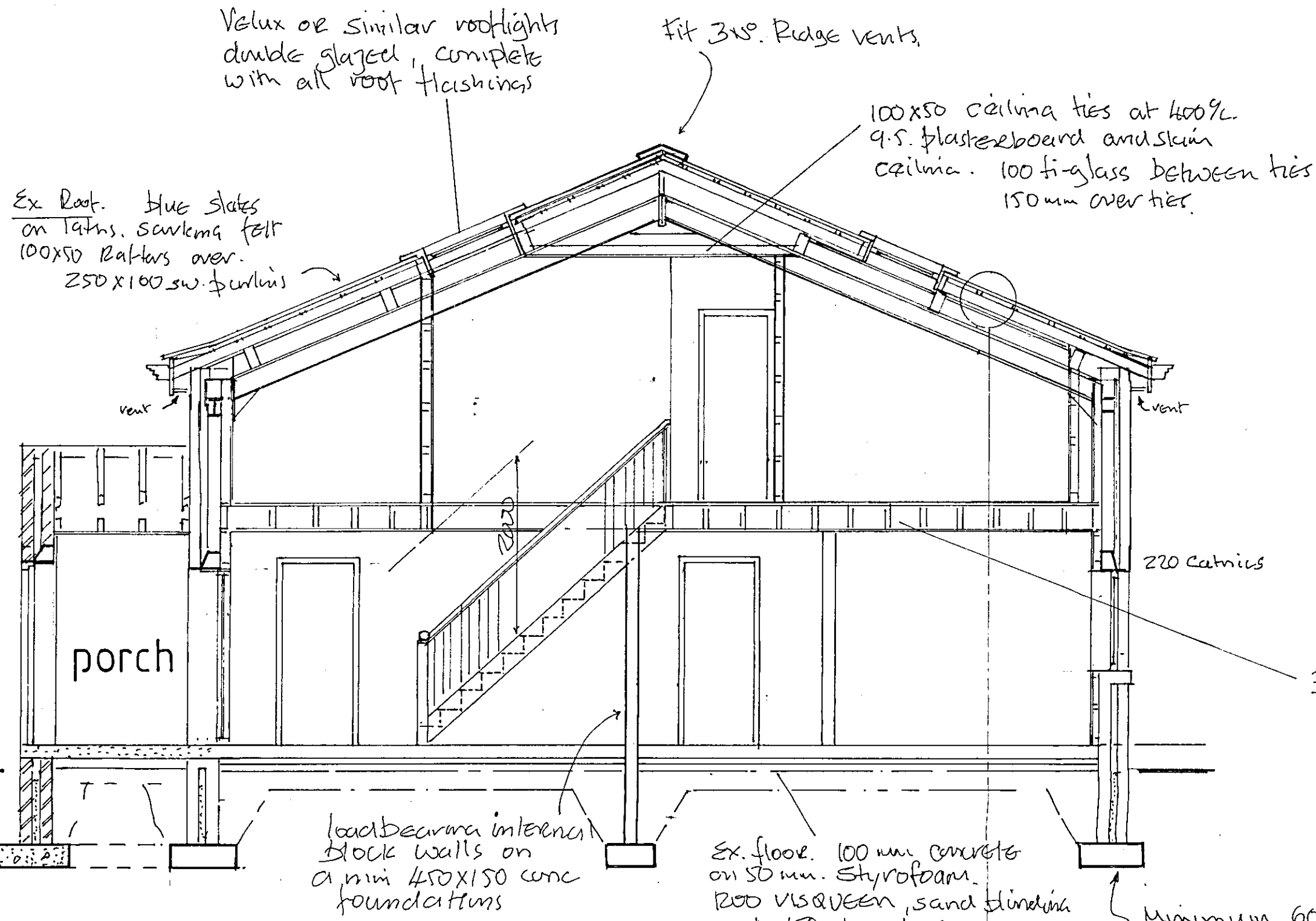
Crown copyright Reserved.

Licence No. LA 073806

223.5m

FOUR LANE
ROAD

WATERBARN

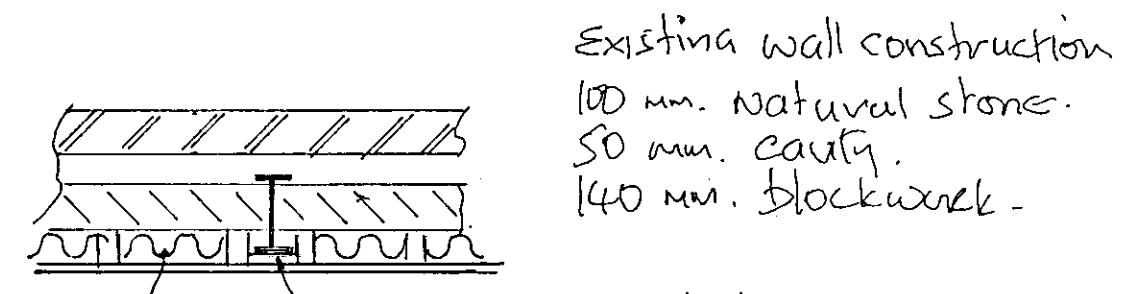


SECTION

for details of portal frame and foundations see engineers details

First floor construction
 19mm chipboard flooring laid on 220x50 sw joists at 400% c/c. strutted at midspan, insulated with 100mm fibreglass between joists and under drawn with 125 plasterboard and skim.

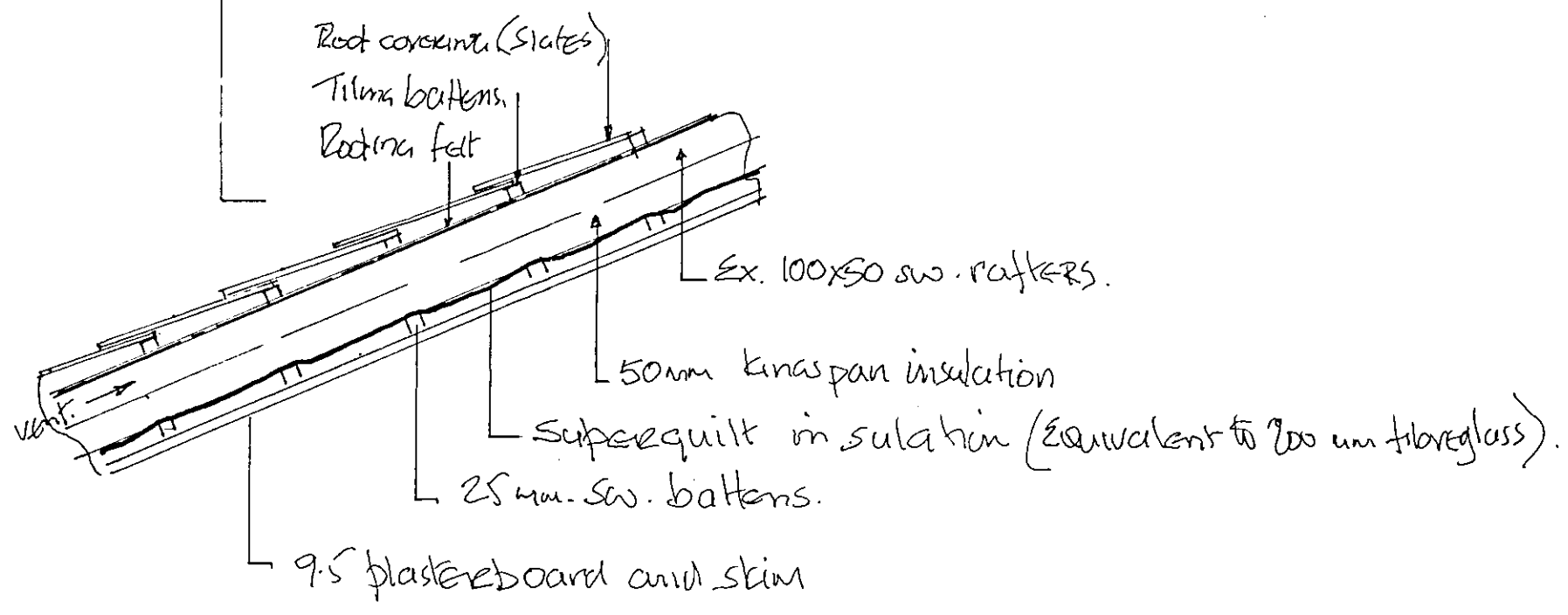
Minimum 600x150 concrete foundations a minimum 1000 deep in accordance with Reg. A1. part 1.



Existing wall construction
 100mm natural stone.
 50mm cavity.
 140mm blockwork.

line ex blockwork with 75x50 sw. Studding
 75mm Kingspan insulation
 9.5 plasterboard and skim
 125 Firemic to flange of steelwork.

external wall construction



sloping walls in rooms

STAIRCASE.
 Maximum Pitch 40°
 overall width of staircase a minimum 800mm clear of handrails
 B. equal risers of 200mm. minimum 220 going.
 Handrail fixed to one side at a height of 900mm measured above pitch line.
 Maximum 100 dia openings in balustrades. Provide a min 2.00 headroom throughout length of stairs.

LATERAL RESTRAINT.
 Provide lateral restraint straps to roof/spars and walls, and first floor joists/walls with mild steel anchor straps at a maximum 2.00m c/c's.

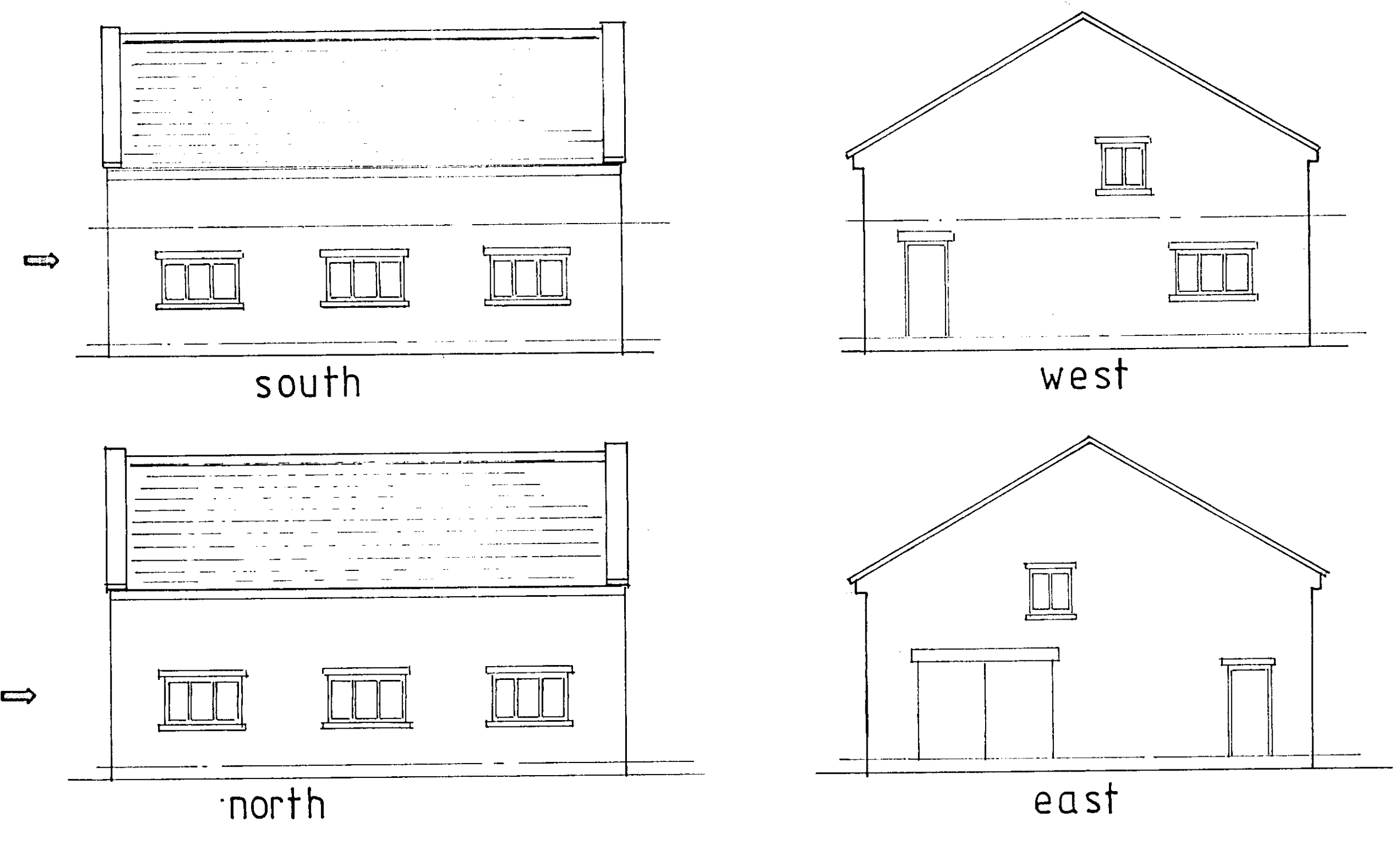
DRAINAGE.
 All new new drainage to be 100 dia PVC drainpipes laid to manufacturers instructions and a min fall of 1 in 40.
 New chambers to be 500 dia PVC chambers seated on a concrete base and surrounded with pea gravel.

2007/242

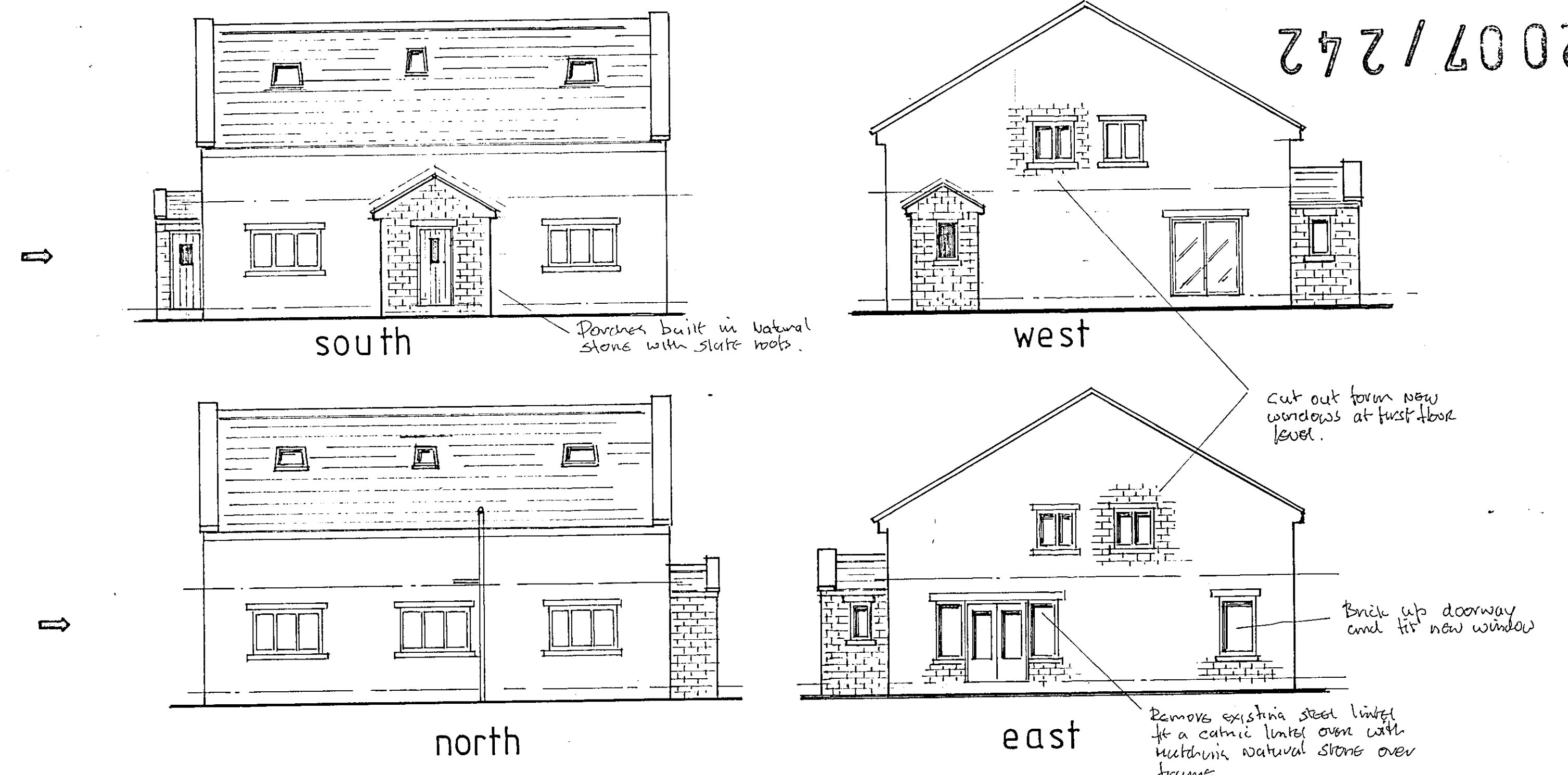
ELEVATIONAL CHANGES
 TO FORM DWELLING
 VALLEY VIEW
 HR., TUNSTEAD LANE
 BACUP OL13 8NA

Mr A ALDERSON
 scales 1:100 1:50

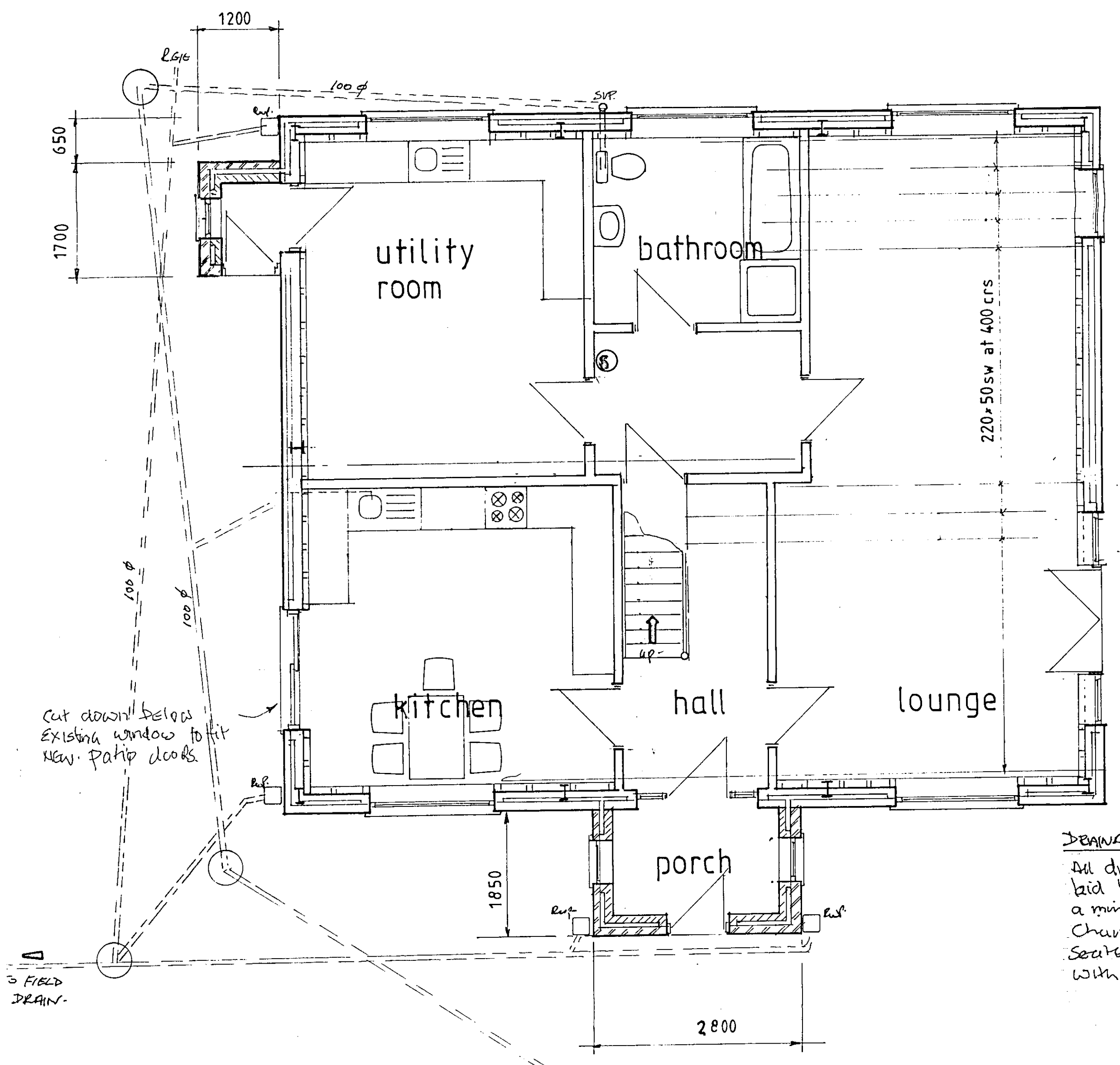
drwg no AA-02



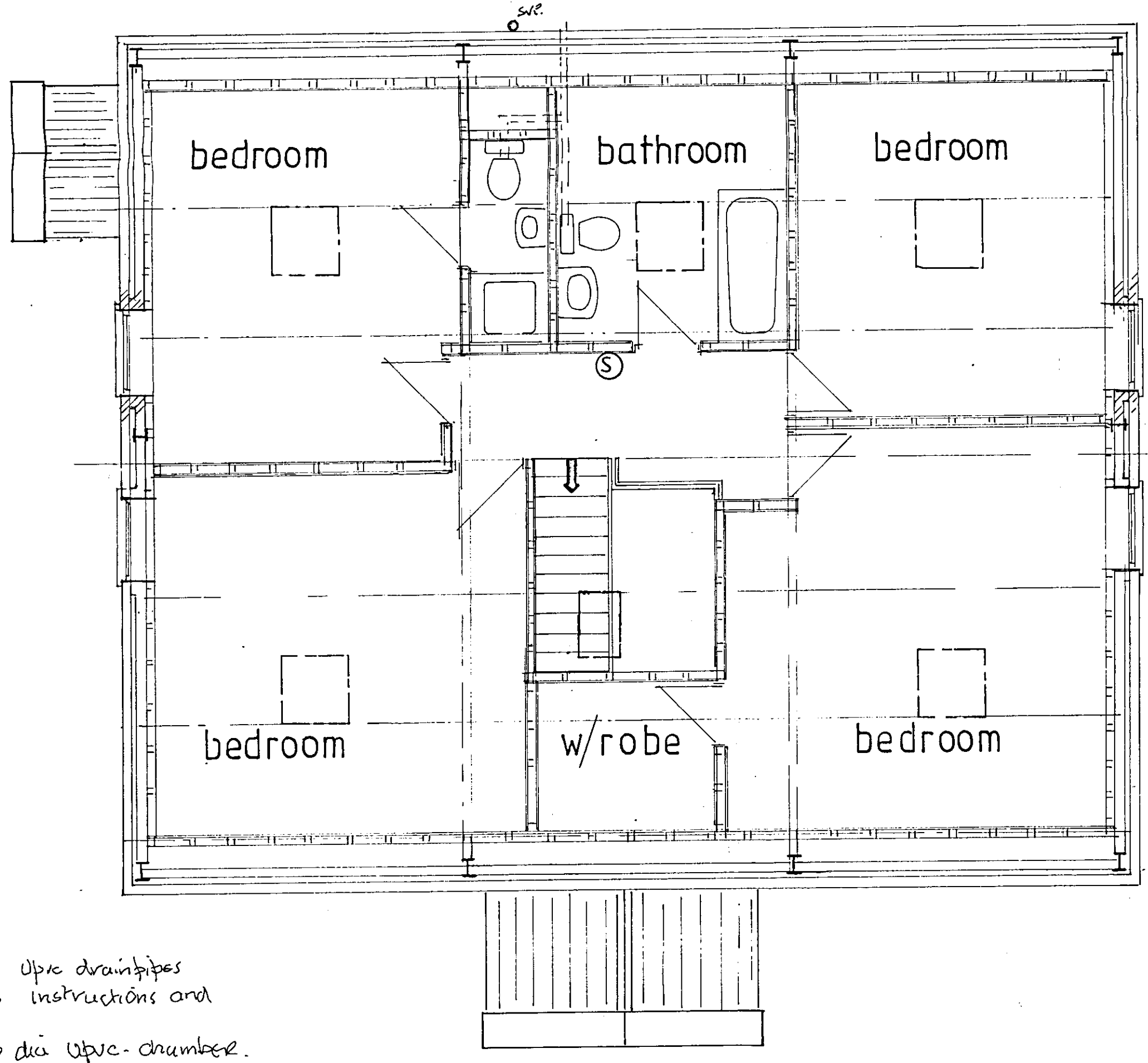
EXISTING ELEVATIONS



PROPOSED ELEVATIONS



GROUND FLOOR PLAN



FIRST FLOOR PLAN

Drainage.
 All drains to be 100 dia Upvc drainpipes laid to manufacturers instructions and a minimum 1/40 fall. Chambers to be 500 dia Upvc-chamber. Seated on concrete and surrounded with pea gravel.

GLAZING.
 All windows and doors are 4 pane double glazed units with one sheet of Pilkington 'K' glass. Toughened glass used through out. Minimum 1400 opening lights 8000 mm. Tackle vents.

STUD PARTITIONS.
 All partitions to be 100x50 sw Studging insulated with 100 mm. fibreglass with 9.5 mm. plasterboard and skin each side.

BATHROOMS.
 Plumb in 3 piece bathroom suites as shown. WC's to be connected into 100 dia pvc waste connected to 100 dia pvc. Soil and vent stacks. Stacks to be taken up above nearest opening by 200 mm and fitted with a cage top. Bath, basins and showers fitted with 75 mm. deep seal traps and 38 dia pvc. wastes connected into SWP. Separately.

VENTILATION.
 Bathrooms and utility room fitted with 30 litres/sec extractor fan ducted to fresh air. 15 min overrun to fan in on suite. 60 litres/sec extractor to kitchen.

(S) = Mains interlinked smoke detectors.

Heating. - All Radiators fitted with thermostatic control valves.

ELECTRICAL.
 Electrical works to be carried out by competent persons as defined by Part P of Building Regs. and certificate provided to L.A.

ELEVATIONAL CHANGES TO FORM DWELLING VALLEY VIEW HIGHER TUNSTEAD LANE BACUP OL13 8NA

Mr A. ALDERSON scales 1:100; 1:50

drwg no AA-01