

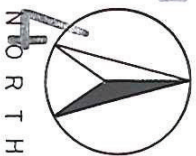
LOCATION PLAN

11 MAR 2011

ROCKCLIFFE FARM,
PENNINGTON ROAD,

BACUP,
OL13 9PZ.

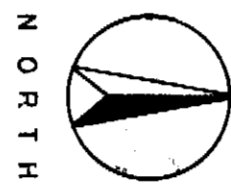
2011/104



1:1250

S I T E P L A N

APPROX 1:200



PREVIOUSLY SPECIFIED RADIUS KERBS TO BE OMITTED & DROPPED KERBS TO BE FITTED - ALL IN ACCORDANCE WITH L.C.C. HIGHWAYS SPECIFICATION.

FORM NEW VEHICULAR ACCESS, 5.6m WIDE, FIT NEW GATES RECESSED MIN. 4.800m FROM BACK OF FOOTPATH.

FORM NEW PERSONNEL GATEWAY TO PROPOSED SIDE WALL.

FORM NEW DRY STONE WALL 2.150m HIGH, STEPPING DOWN TO REFLECT GROUND LEVEL.

NEW WALL TO BE POSITIONED MINIMUM 1.500m FROM BACK OF FOOTPATH.

AREA FROM BACK OF FOOTPATH TO WALL TO BE LANDSCAPED & PLANTED IN AGREEMENT WITH L.A. PLANNING OFFICER.

PREFERRED RE-POSITIONING OF PREVIOUSLY APPROVED GARAGE BUILDING - 5.7m x 9.3m PLAN AREA WITH EAVES 4.8m HIGH & RIDGE 6.4m HIGH.

POSITION OF PREVIOUSLY APPROVED GARAGE - APPLICATION N° 2006/02.

BLOCK UP EXISTING GATED ACCESS USING NEW DICK - STONE WALL 2.150m HIGH TO MATCH ADJACENT HEIGHT.

DROPPED KERBS TO BE RAISED AS ACCESS NO LONGER TO BE USED.

AMENDED PLANS RECEIVED 17 MAY 2011

REVISION B.
EXISTING DROPPED CROSSING TO DOUGLAS ROAD ACCESS TO BE RAISED TO LEVEL OF ADJACENT PAVEMENT.
DROPPED PERIMETER GARDEN WALL POSITIONED 1.5m FROM BACK OF FOOTPATH.
EXISTING ACCESS TO PEASING ROAD REMOVED, PAVEMENT MADE ROAD & NEW ROCESS FORMED.
MAY 2011.

REVISION A
SITE ORIENTATION AMENDED & PHOTO VULNERABILITY ACCESSED TO ROOM.
APRIL 2011

2011/104

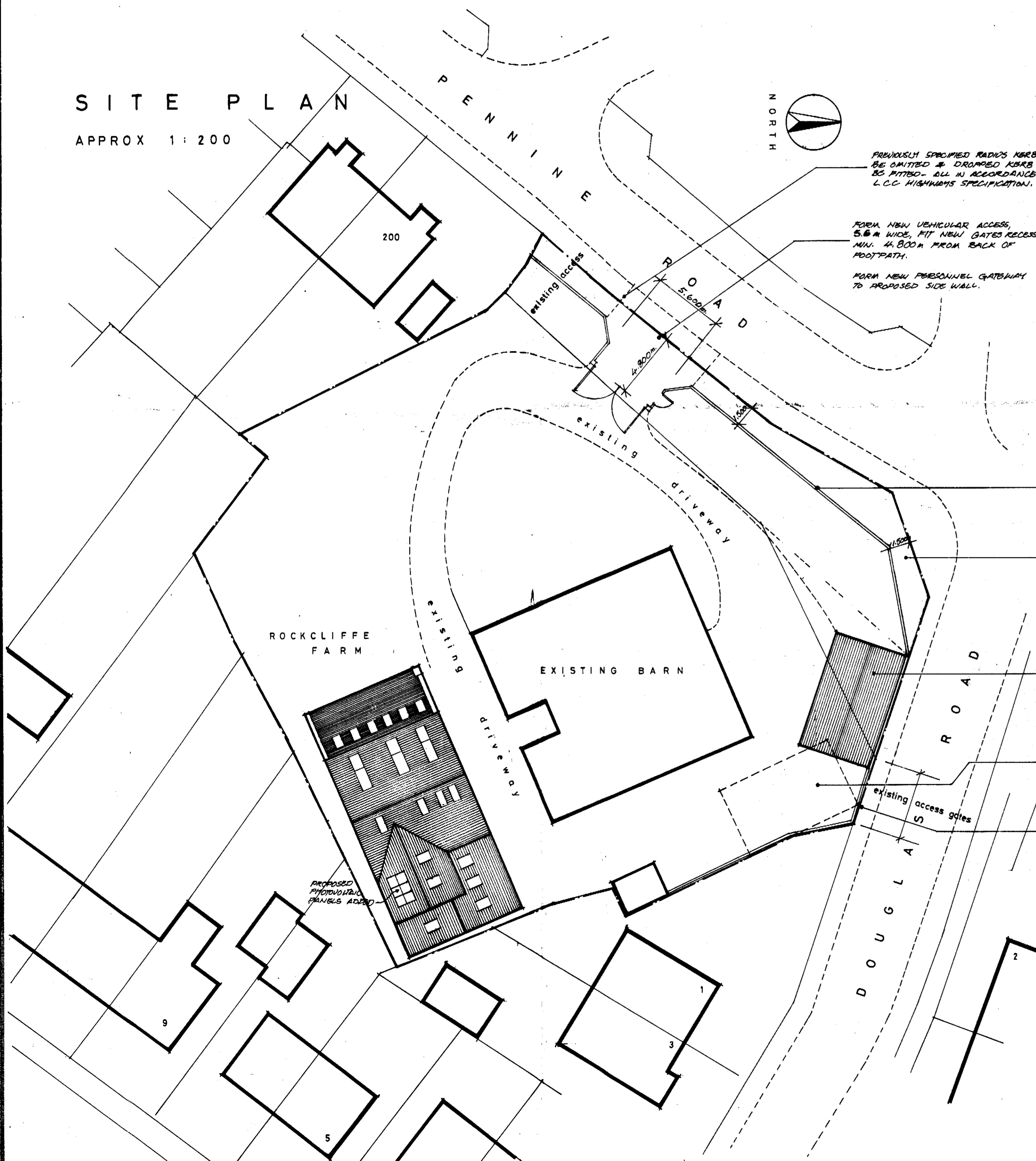
PROJECT
PROPOSED EXTENSION TO
ROCKCLIFFE FARM,
PENNINE ROAD,
BACUP,
OL13 9PZ.

client
P. BRYMER ESQ.
drawing

PROPOSED SITE PLAN

scale 1:200 date FEB. '11 drawing no 03. '08

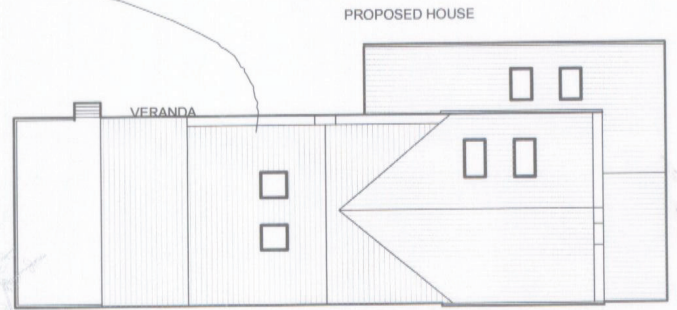
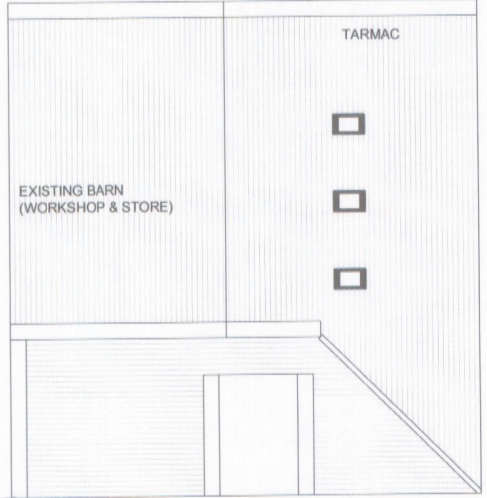
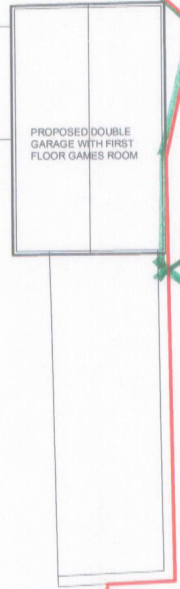
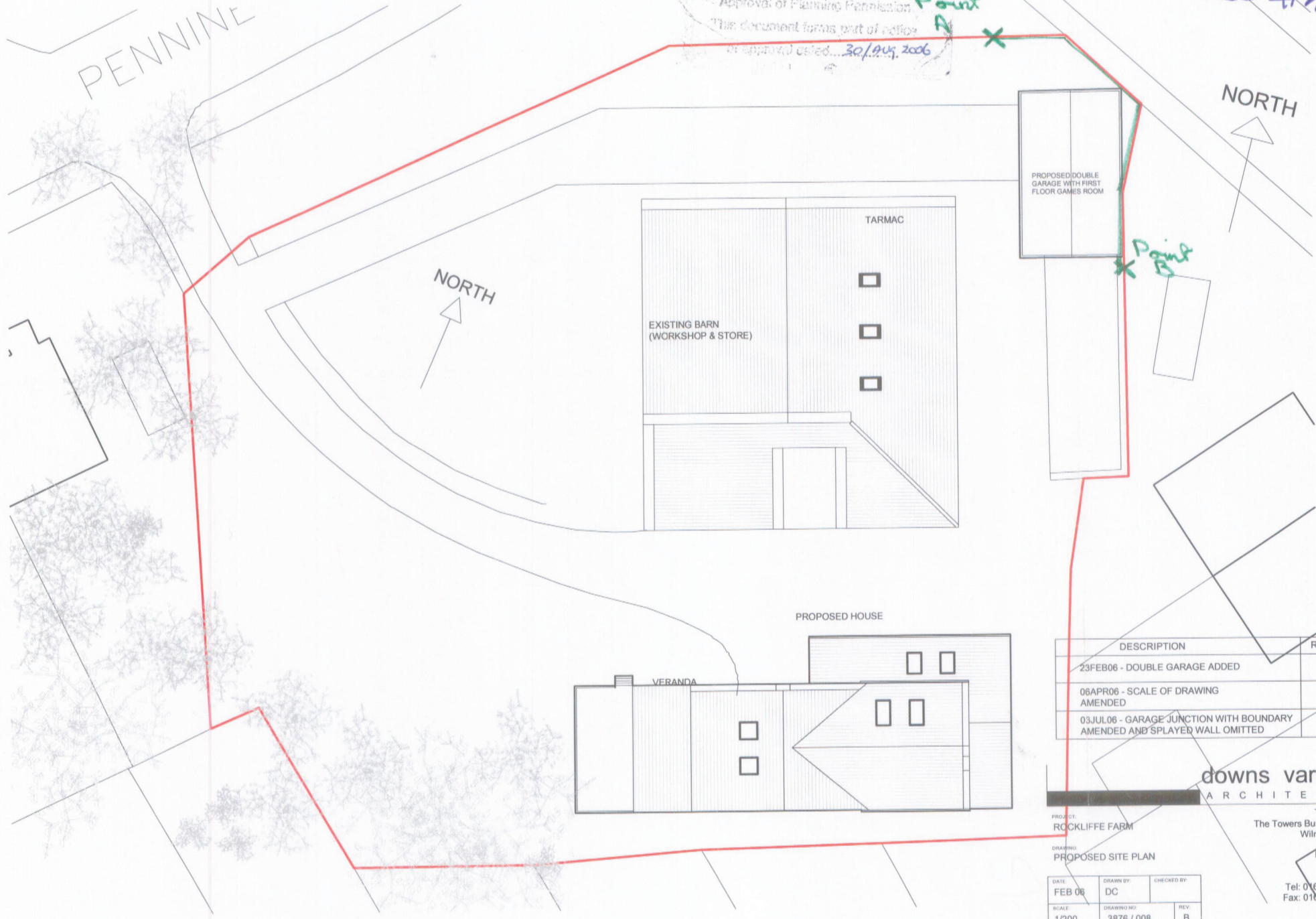
MIKE ILLSLEY
ARCHITECTURAL & INTERIOR DESIGNER
10 VICTORIA STREET, WHITWORTH,
ROCHDALE, LANCASHIRE, OL12 3AA TEL: 01706 344529



PENNINE

Borough of Rossendale
Approval of Planning Permission
This document forms part of notice
of approval dated... 30/05/2006

Amended Drawing
Rev 4/7/06



DESCRIPTION	REV:
23FEB06 - DOUBLE GARAGE ADDED	A
06APR06 - SCALE OF DRAWING AMENDED	B
03JUL06 - GARAGE JUNCTION WITH BOUNDARY AMENDED AND SPLAYED WALL OMITTED	C

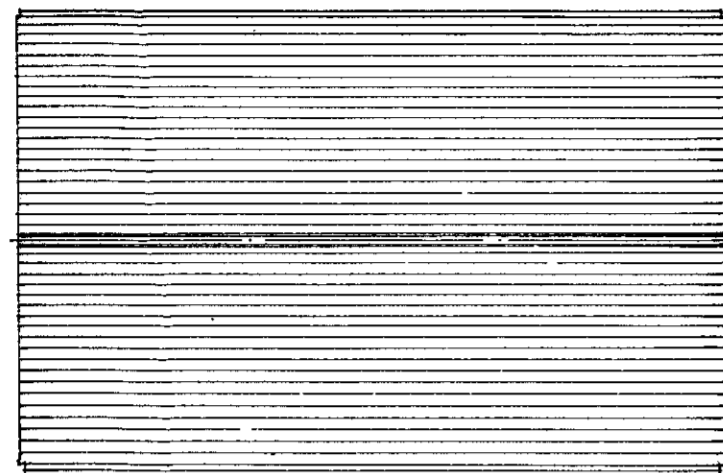
downs variava
ARCHITECTS

PROJECT:
ROCKLIFFE FARM
DRAWING:
PROPOSED SITE PLAN

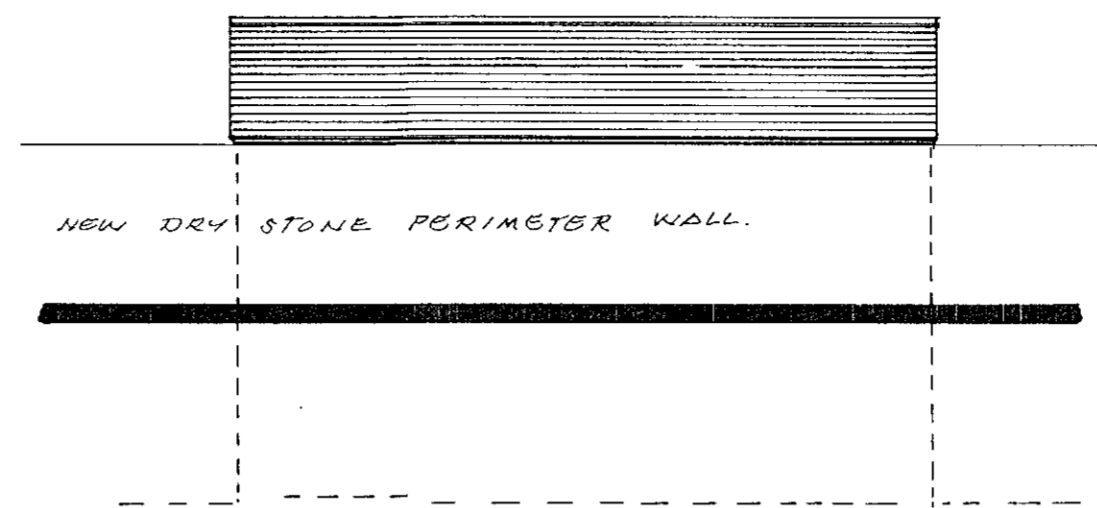
The Towers
The Towers Business Park
Wilmslow Road
Didsbur
Manchester
M20 2DD
Tel: 0161 434 441
Fax: 0161 446 2205

DATE:	DRAWN BY:	CHECKED BY:
FEB 06	DC	
SCALE:	DRAWING NO:	REV:
1/200	3876 / 008	B

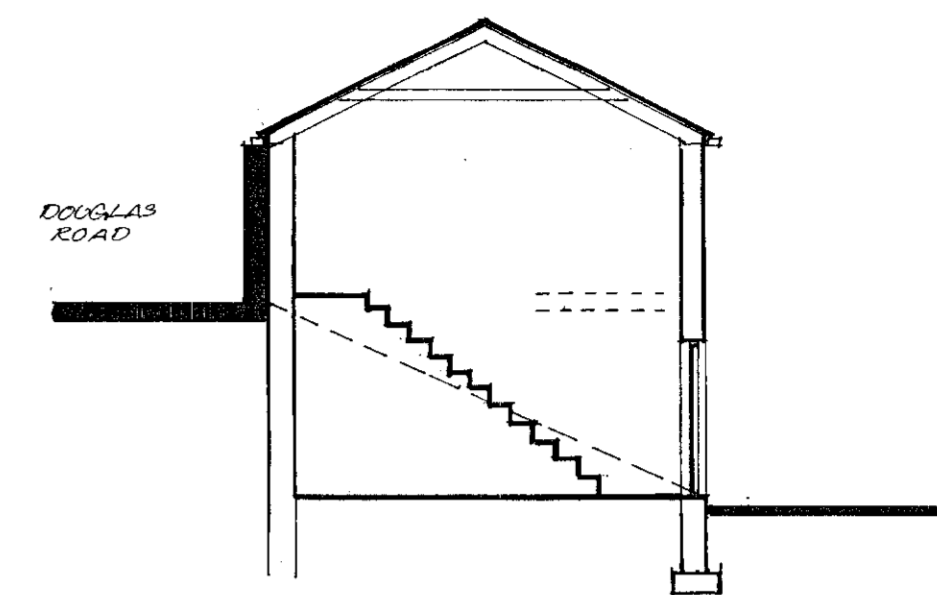
A3



ROOF PLAN



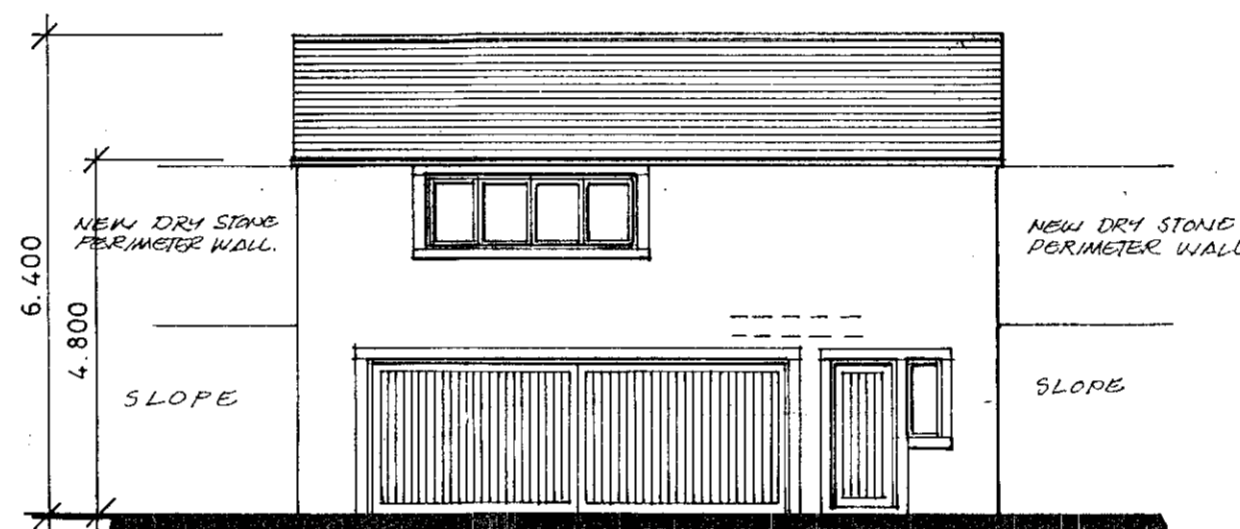
EAST ELEVATION
(DOUGLAS ROAD)



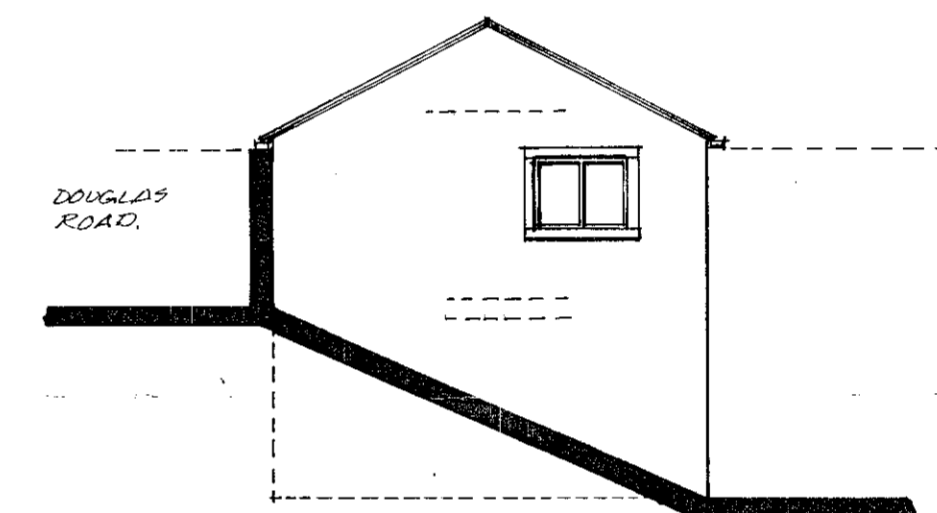
SECTION



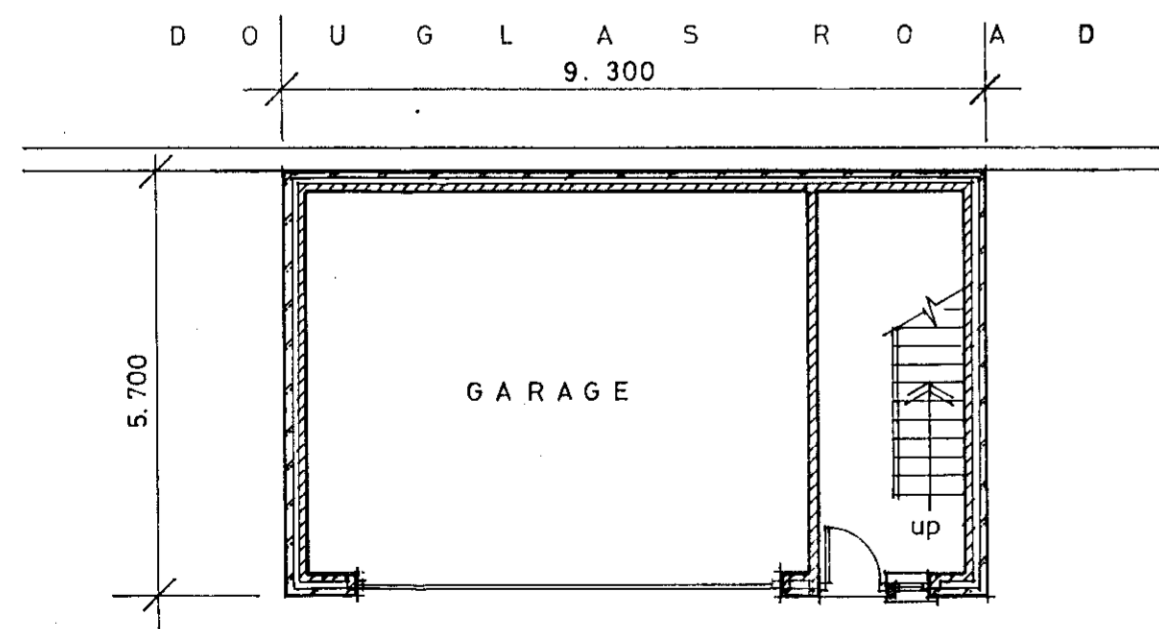
FIRST FLOOR PLAN



WEST ELEVATION



NORTH ELEVATION



GROUND FLOOR PLAN

11 MAR 2011

2011/104

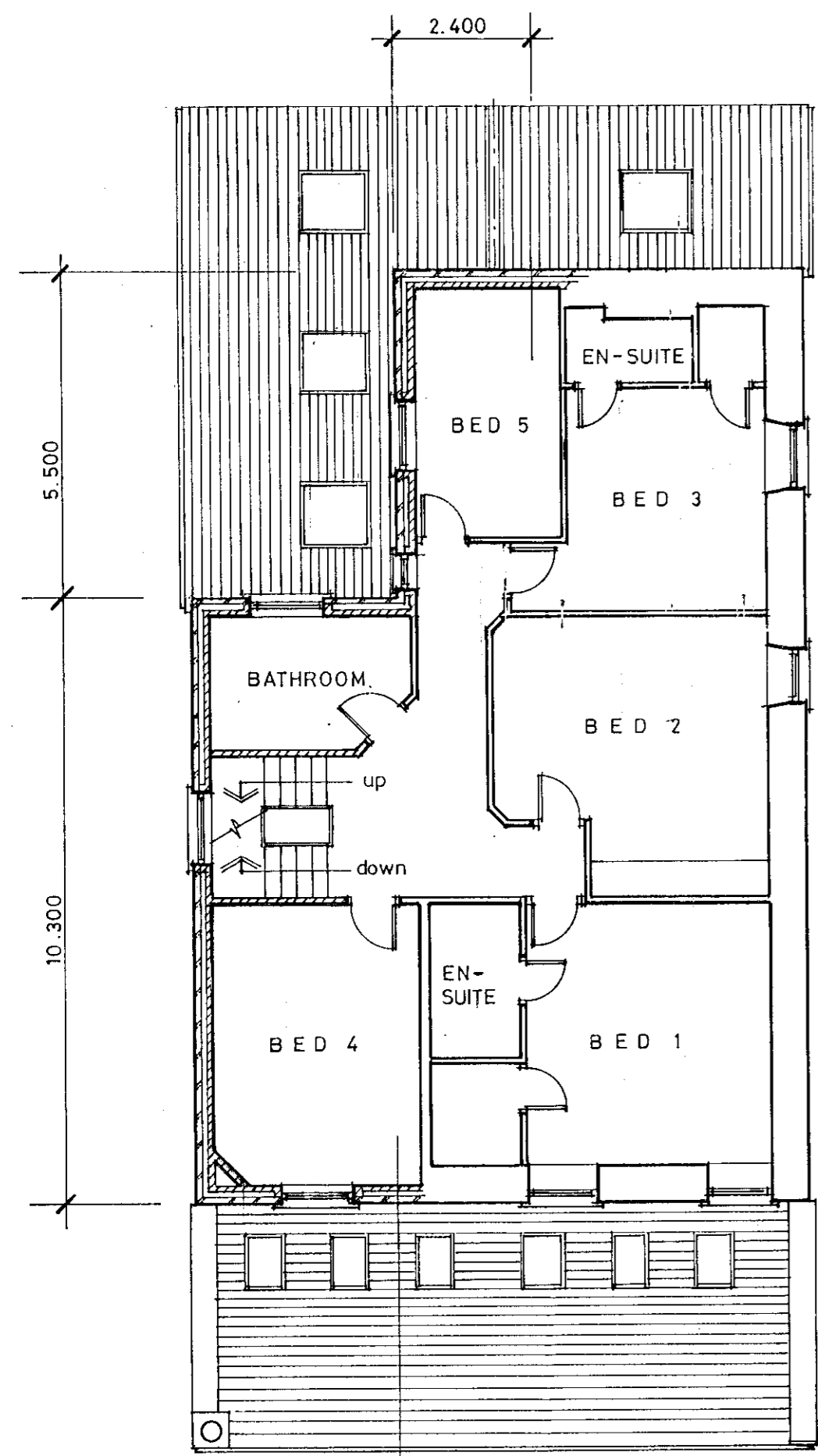
PROPOSED DETACHED GARAGE.
 FORM NEW EXTERNAL WALLS USING
 NATURAL, RANDOM COURSED STONE.
 FIT NEW SAWN STONE VAMBS, CILLS
 & LINTELS TO OPENINGS.
 FIT RE-CLAIMED BLUE SLATE TO
 FORM ROOF.
 FIT STAINED/PAINTED TIMBER DOORS
 TO GARAGE & PERSONNEL DOORS.
 FIT NEW GUTTERS & RAIN WATER PIPES
 TO MATCH EXISTING HOUSE.

project
 RE-SITING OF PROPOSED GARAGE,
 ROCKCLIFFE FARM,
 PENNINE ROAD,
 BACUP,
 OL13 9PZ.

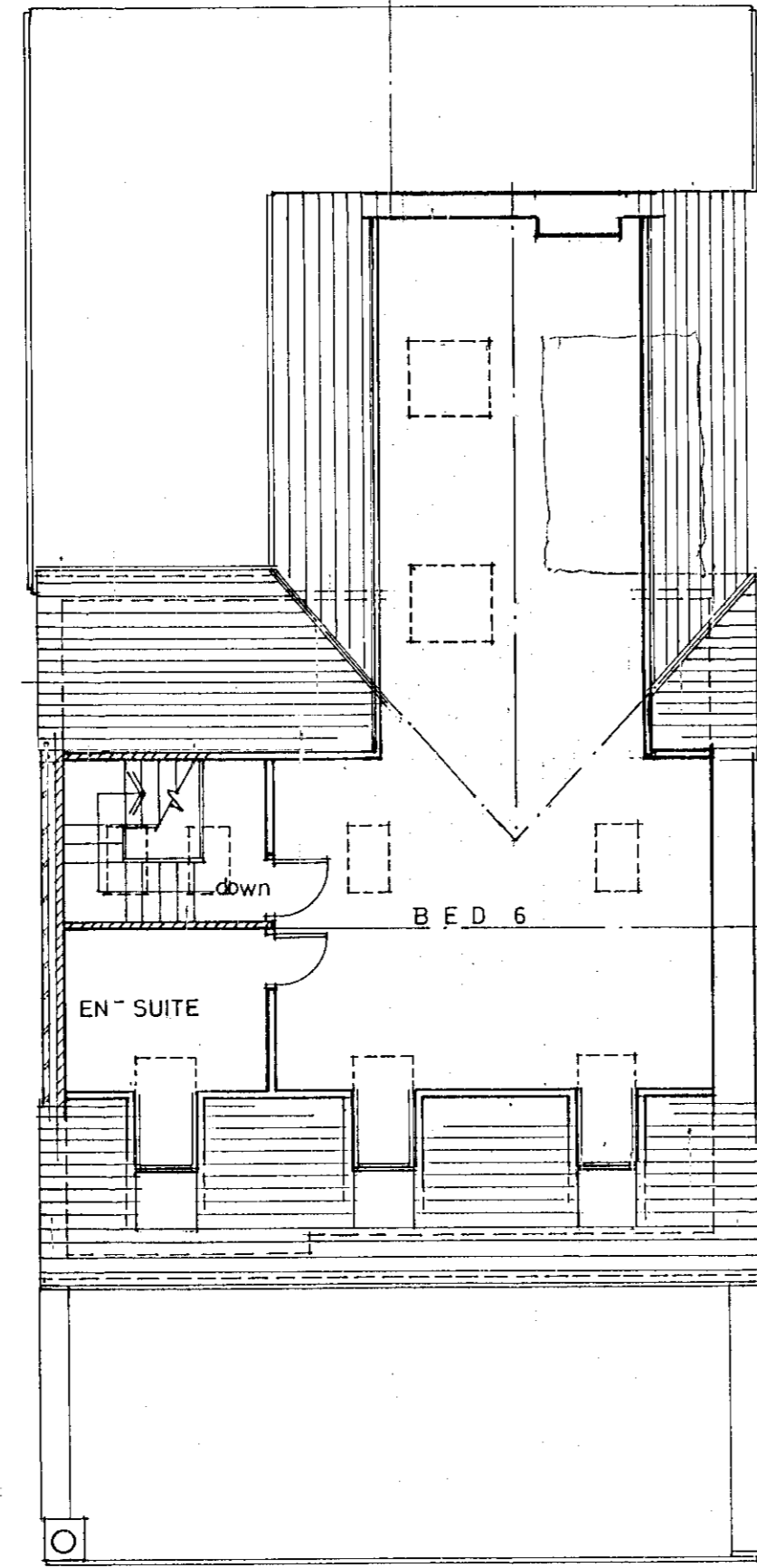
client
 P. BRYMER ESQ.
 drawing
 DETACHED GARAGE, PLANS,
 ELEVATIONS & SECTION

scale 1:100 date MARCH '11 drawing no 04

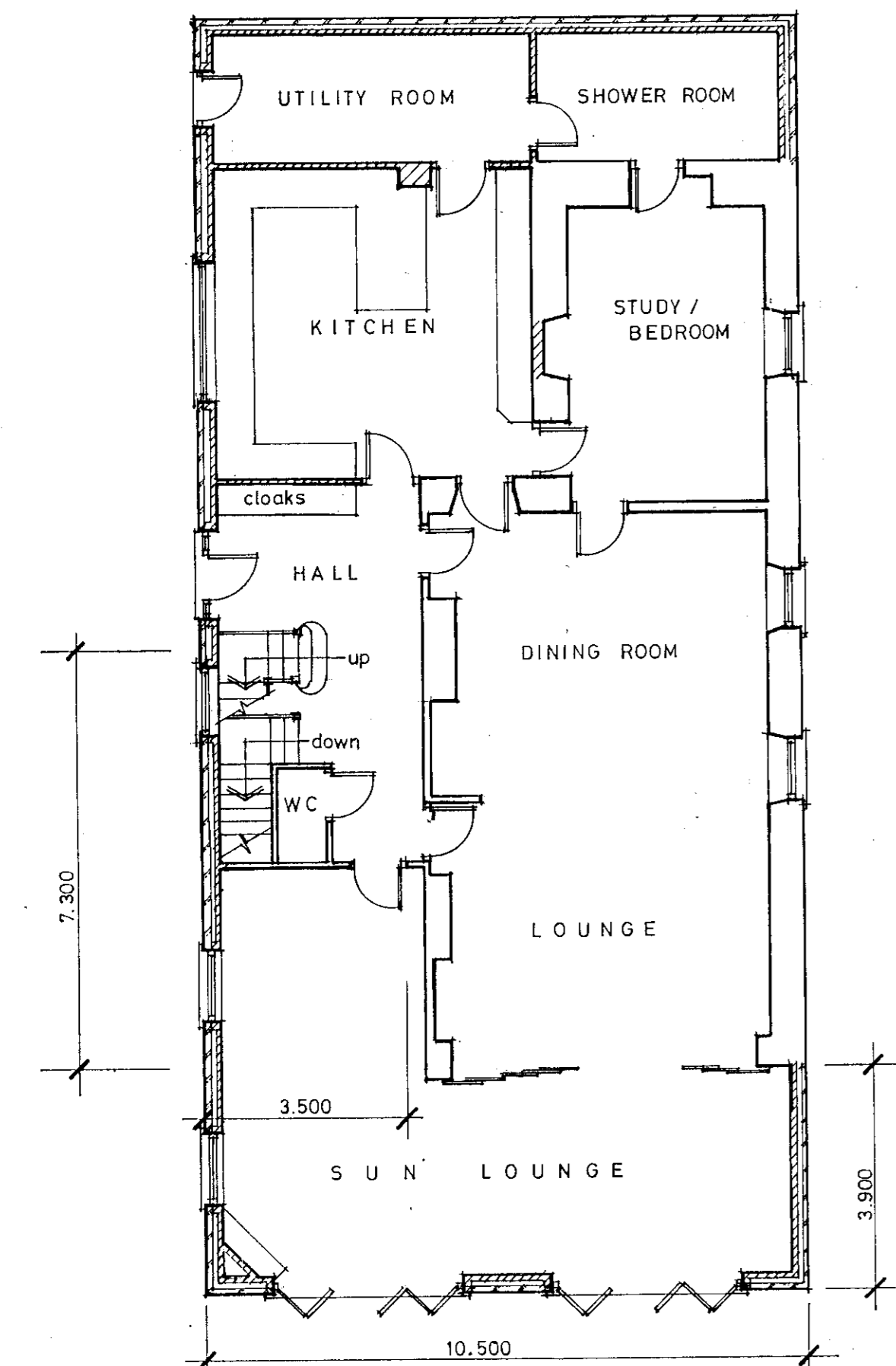
MIKE ILLSLEY
 ARCHITECTURAL & INTERIOR DESIGNER
 10 VICTORIA STREET, WHITWORTH,
 ROCHDALE, OL12 8PL. 01706 344529



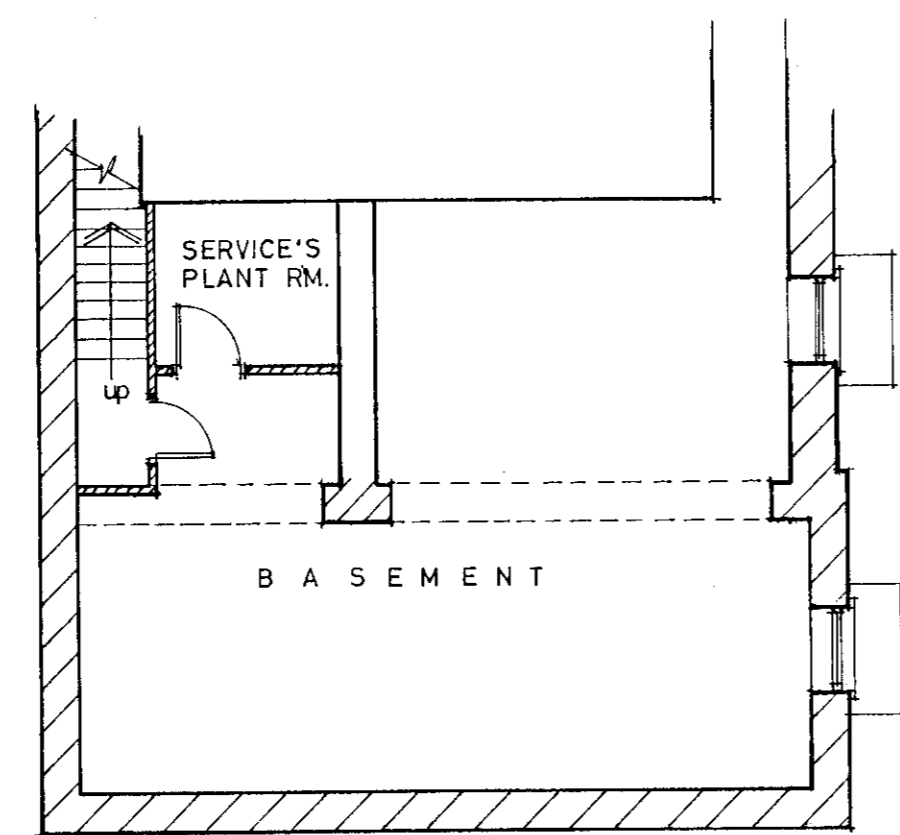
PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



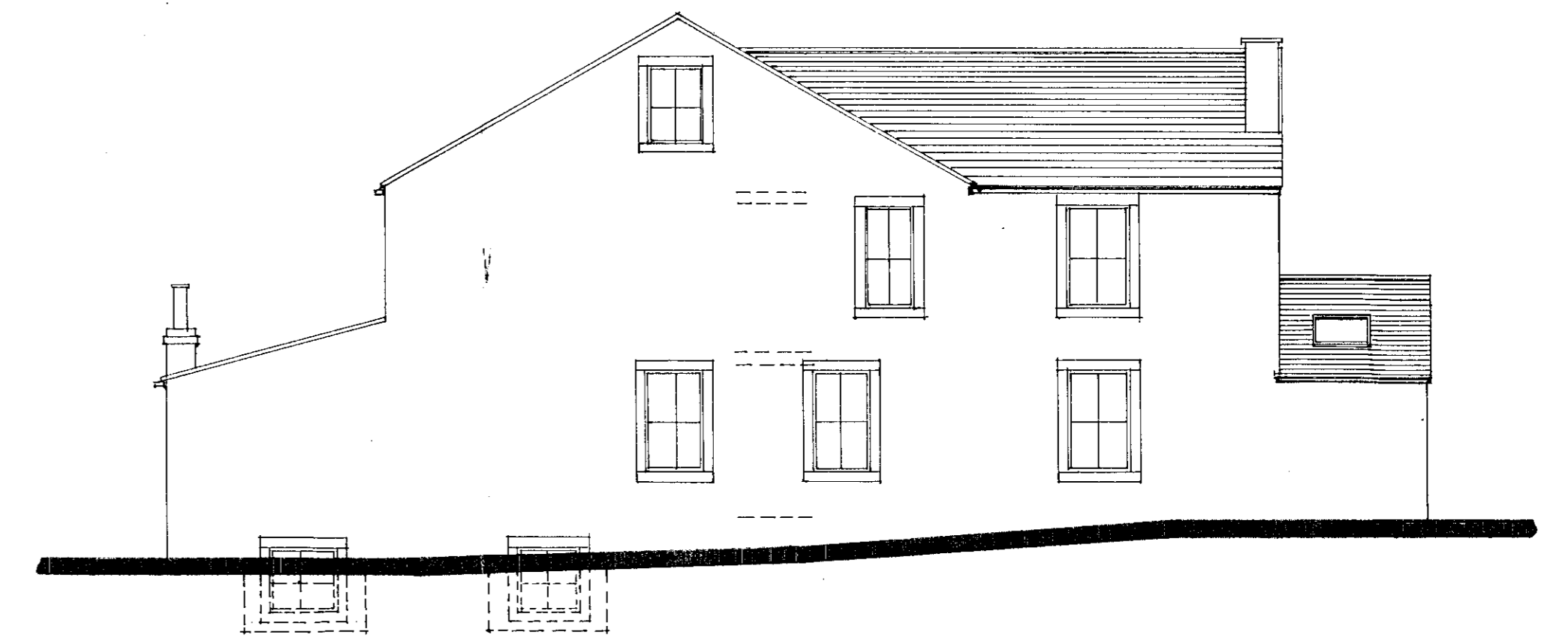
PROPOSED GROUND FLOOR PLAN



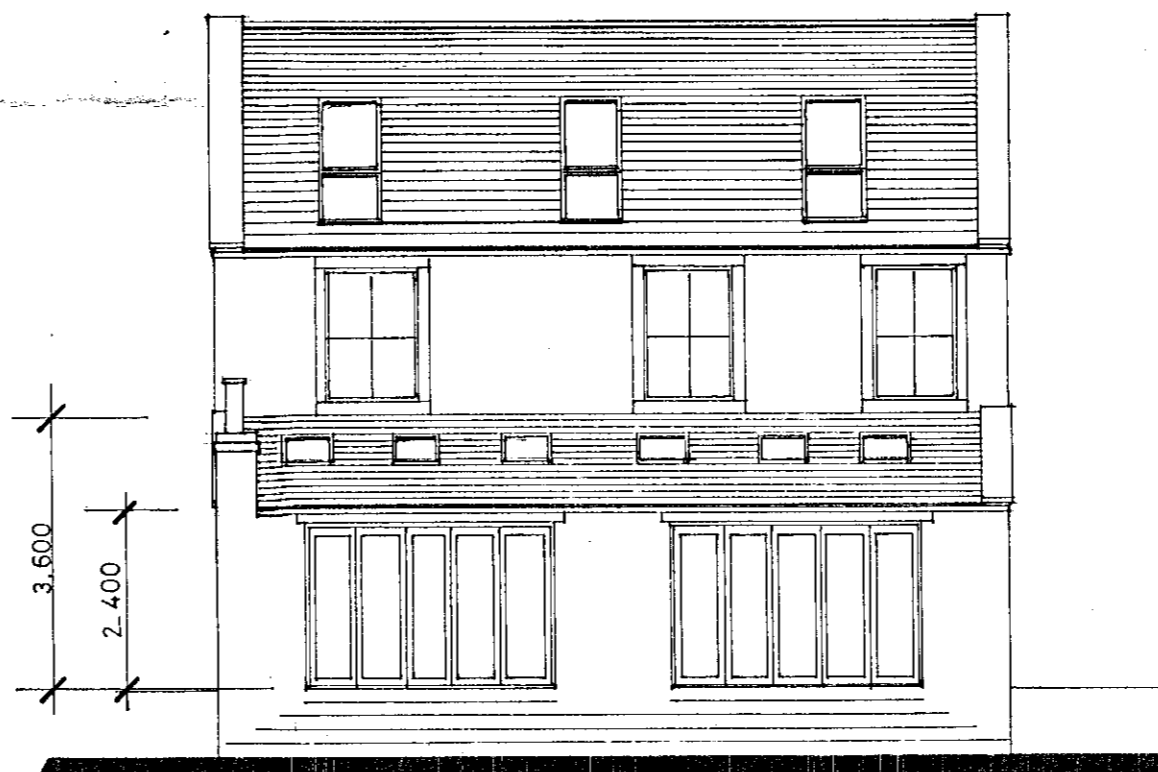
PROPOSED BASEMENT PLAN



PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED NORTH ELEVATION



PROPOSED EAST ELEVATION

PROPOSED EXTENSION

- Form new Basement to extend existing.*
- Form new ground floor extension to side to contain new Stairs and WC and form new Sun-Lounge extension.*
- Form first floor extension over Hall, Stairs, WC and part of Sun-Lounge and to rear over part of new Kitchen.*
- Extend existing Bedroom in roofspace to form Bedroom 6 and En-Suite accommodation.*
- New roofs to be extended / new using natural blue slate to match existing.*
- New external walls to be formed using existing natural stone outer leaf which has been taken down and new natural stone to match existing in all respects.*
- Fit new sawn, natural stone heads and cills to all new door and window openings.*
- Fit new windows and doors.*
- Fit new and extend existing gutters - all to match existing.*
- Fit new Velux style rooflights where shown.*

2011/104

11 MAR 2011

PROJECT
PROPOSED EXTENSION TO
ROCKCLIFFE FARM,
PENNINE ROAD,
BACUP,
OL13 9PZ.

CLIENT
P. BRYMER ESQ.

DRAWING
PROPOSED PLANS & ELEVATIONS.

SCALE
1:100 NOV. '10 02

ARCHITECT
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S I T E P L A N

APPROX 1:200



FORM NEW VEHICULAR ACCESS,
4.0m WIDE, FIT NEW GATE RECESSED
MIN. 4.800m FROM BACK OF
FOOTPATH.
FORM NEW PERSONNEL GATEWAY
TO PROPOSED SIDE WALL.

FORM NEW DRY STONE WALL
2.150m HIGH, STEPPING DOWN
TO REFLECT GROUND LEVEL.

PREFERRED RE-POSITIONING OF
PREVIOUSLY APPROVED GARAGE
BUILDING. - 5.7m x 9.3m PLAN
AREA WITH EAVES 4.8m HIGH &
RIDGE 6.4m HIGH.

POSITION OF PREVIOUSLY APPROVED
GARAGE - APPLICATION No 2006/02.

BLOCK UP EXISTING GATED ACCESS
USING NEW DRY-STONE WALL
2.130m HIGH TO MATCH ADJACENT
HEIGHT.

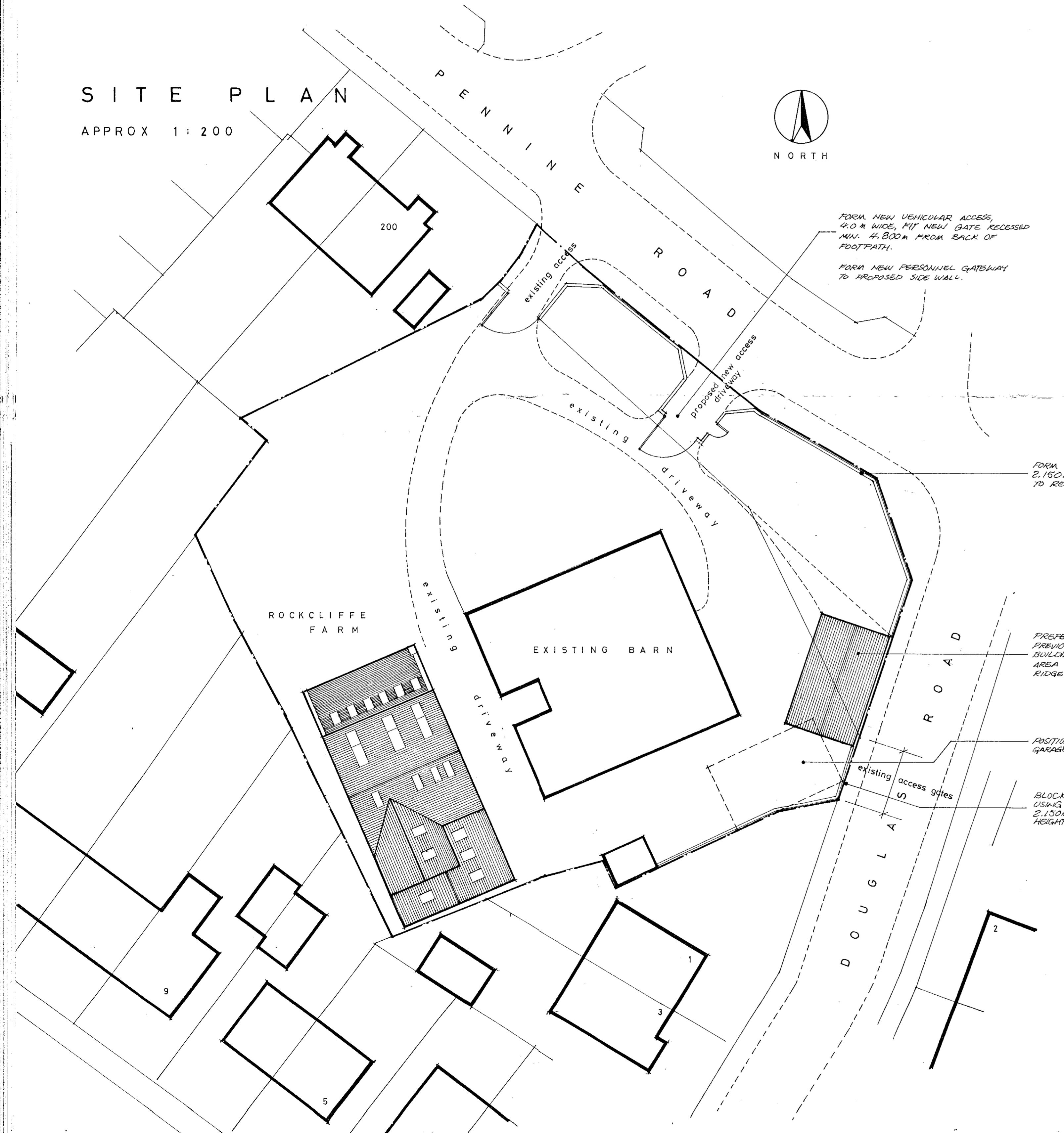
2011/104

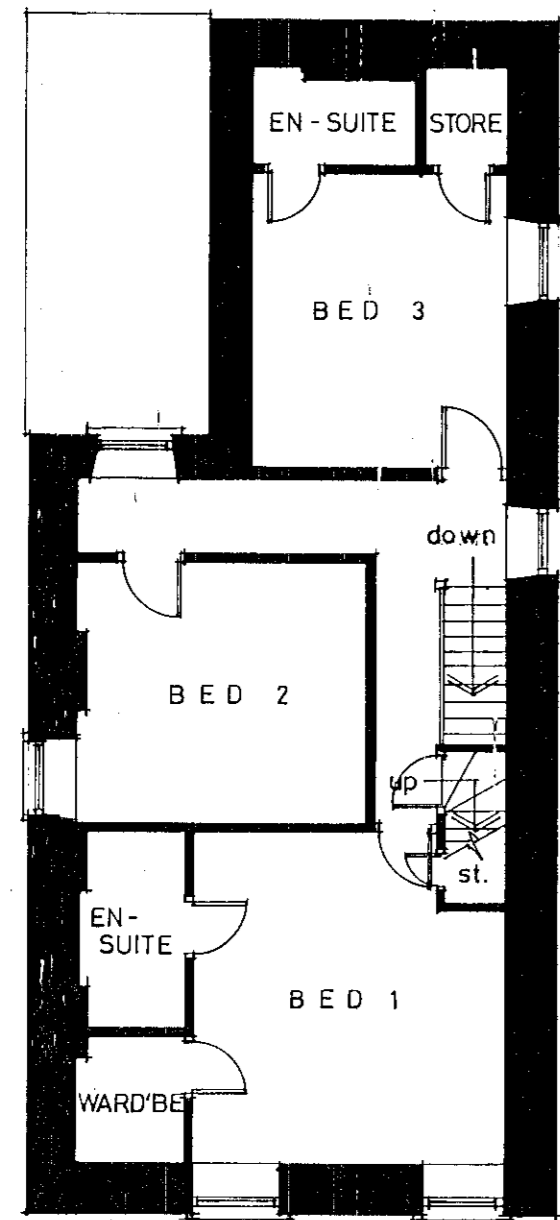
11 FEB 2011

project
PROPOSED EXTENSION TO
ROCKCLIFFE FARM,
PENNINE ROAD,
BACUP,
OL13 9PZ.
client
P. BRYMER ESQ.
drawing
PROPOSED SITE PLAN

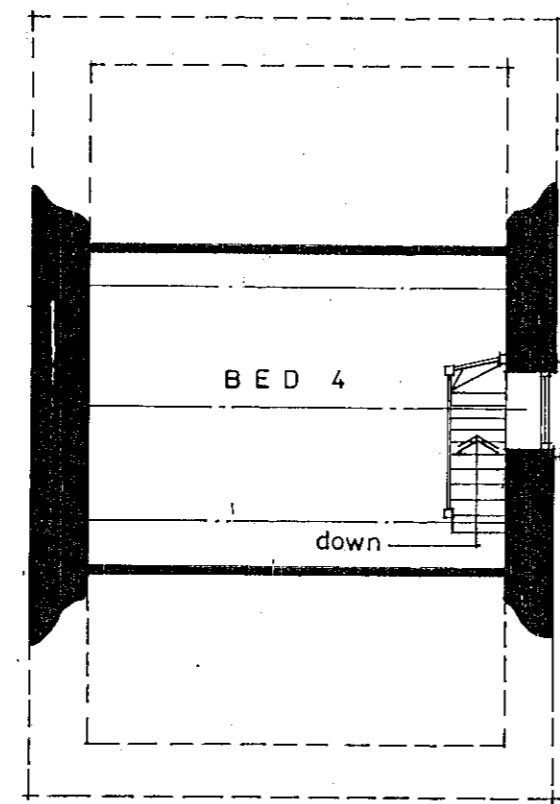
scale 1:200 date FEB '11 drawing no 03.

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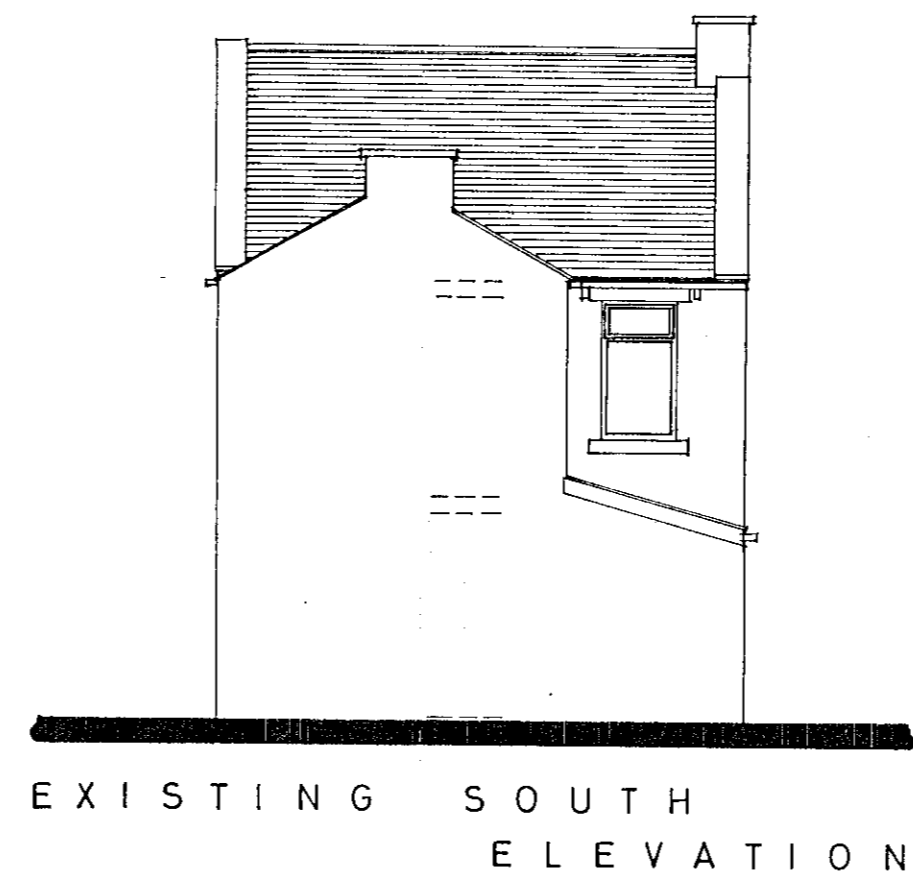




EXISTING FIRST FLOOR PLAN



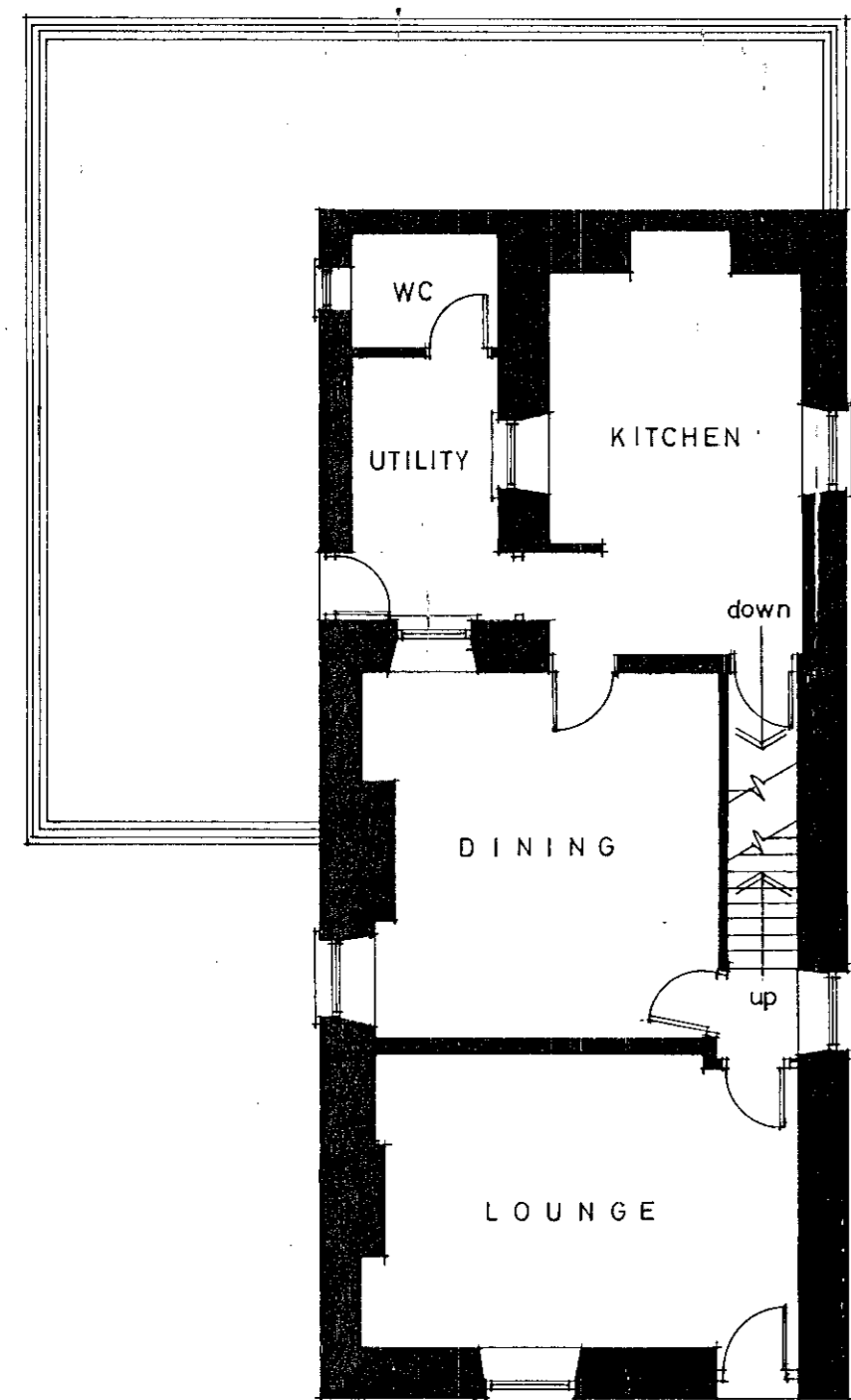
EXISTING SECOND FLOOR PLAN



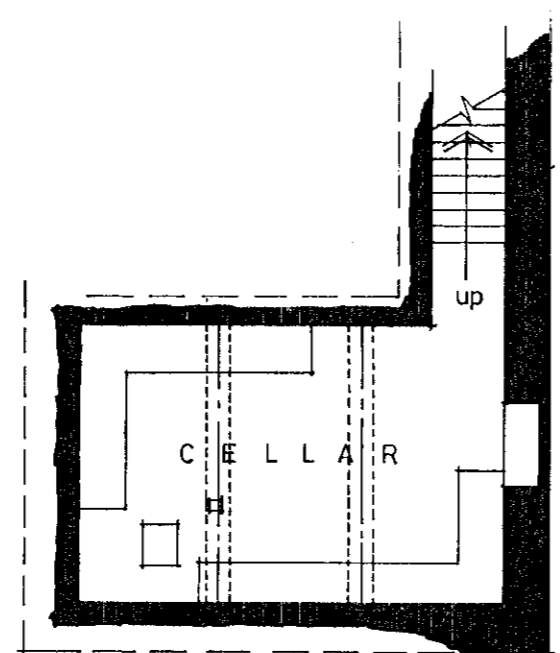
EXISTING SOUTH ELEVATION



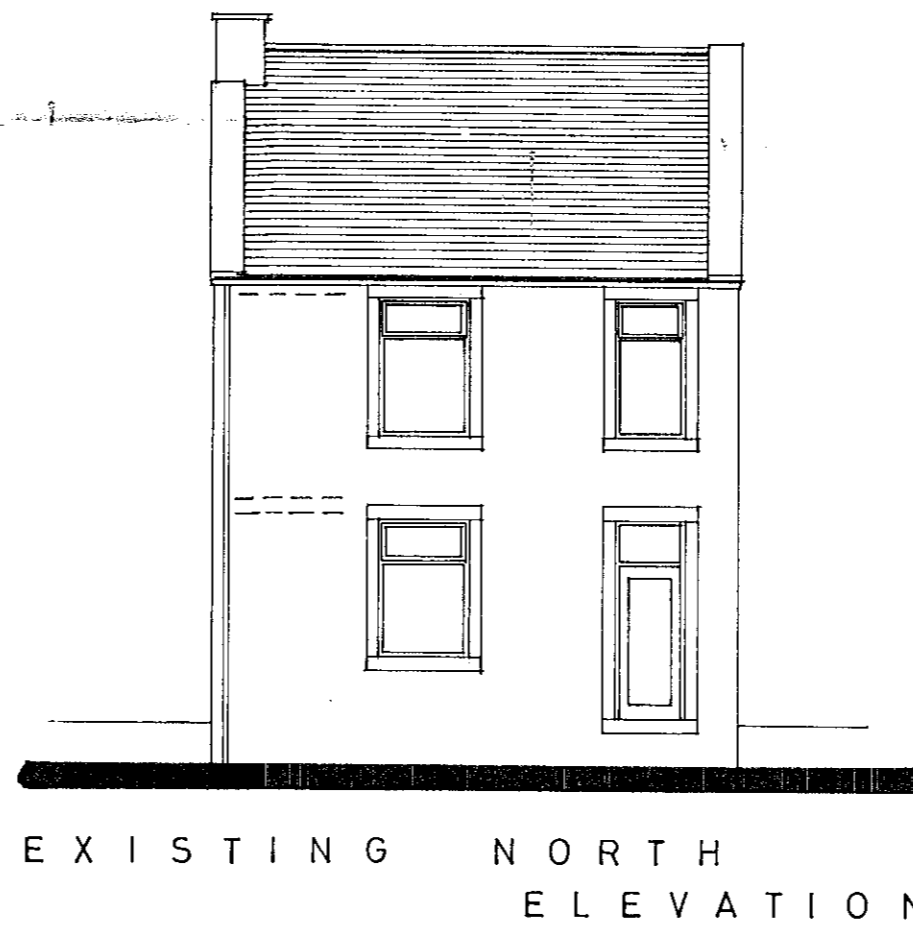
EXISTING WEST ELEVATION



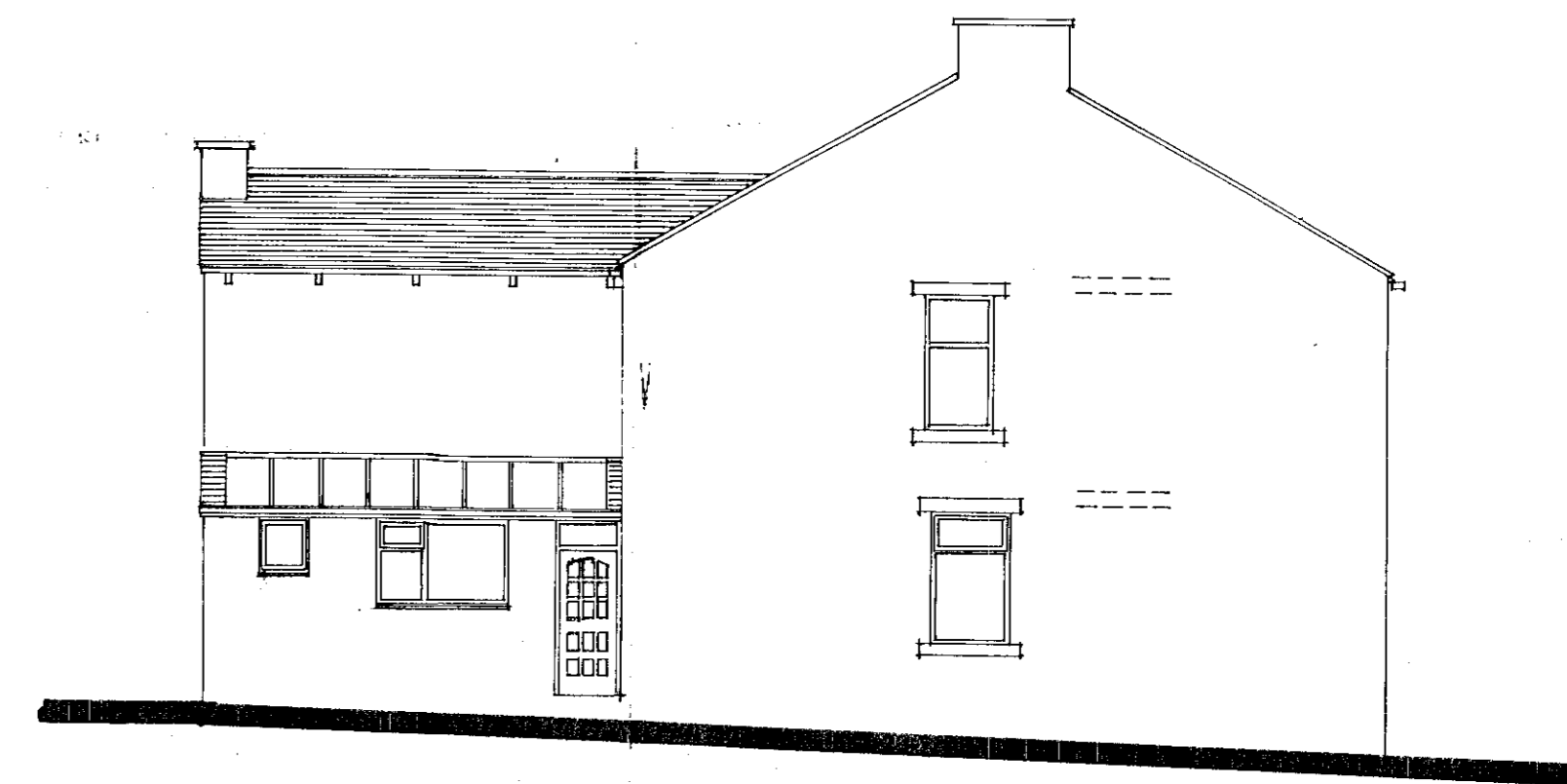
EXISTING GROUND FLOOR PLAN



EXISTING CELLAR PLAN



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION

2011/104

11 Mar 2011

PROPOSED EXTENSION TO
ROCKCLIFFE FARM,
PENNINE ROAD,
BACUP,
OL13 9PZ.

P. BRYMER ESQ.
EXISTING PLANS & ELEVATIONS.

Scale 1:100 Date NOV. '10 01

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