

Rev	Date	By	Description	Chk'd



**Countryside Properties**

Countryside Properties (UK) Limited  
Regeneration North  
Countryside House  
Lakeside Drive  
Centre Park  
Warrington WA1 1RW  
Tel: 01925 248990 Fax: 01925 248991  
www.countryside-properties.com  
Group Chief Architect: Mette McLarney B Arch (Hons) RIBA

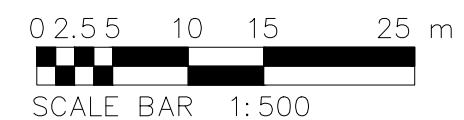
site: **Former Facit Mill  
Whitworth**

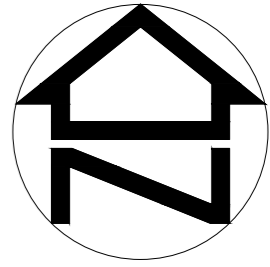
title: **Location Plan**

scale: 1:1250 @ A3      drawn by: CLJ  
@A3  
date: Oct 2012      checked:

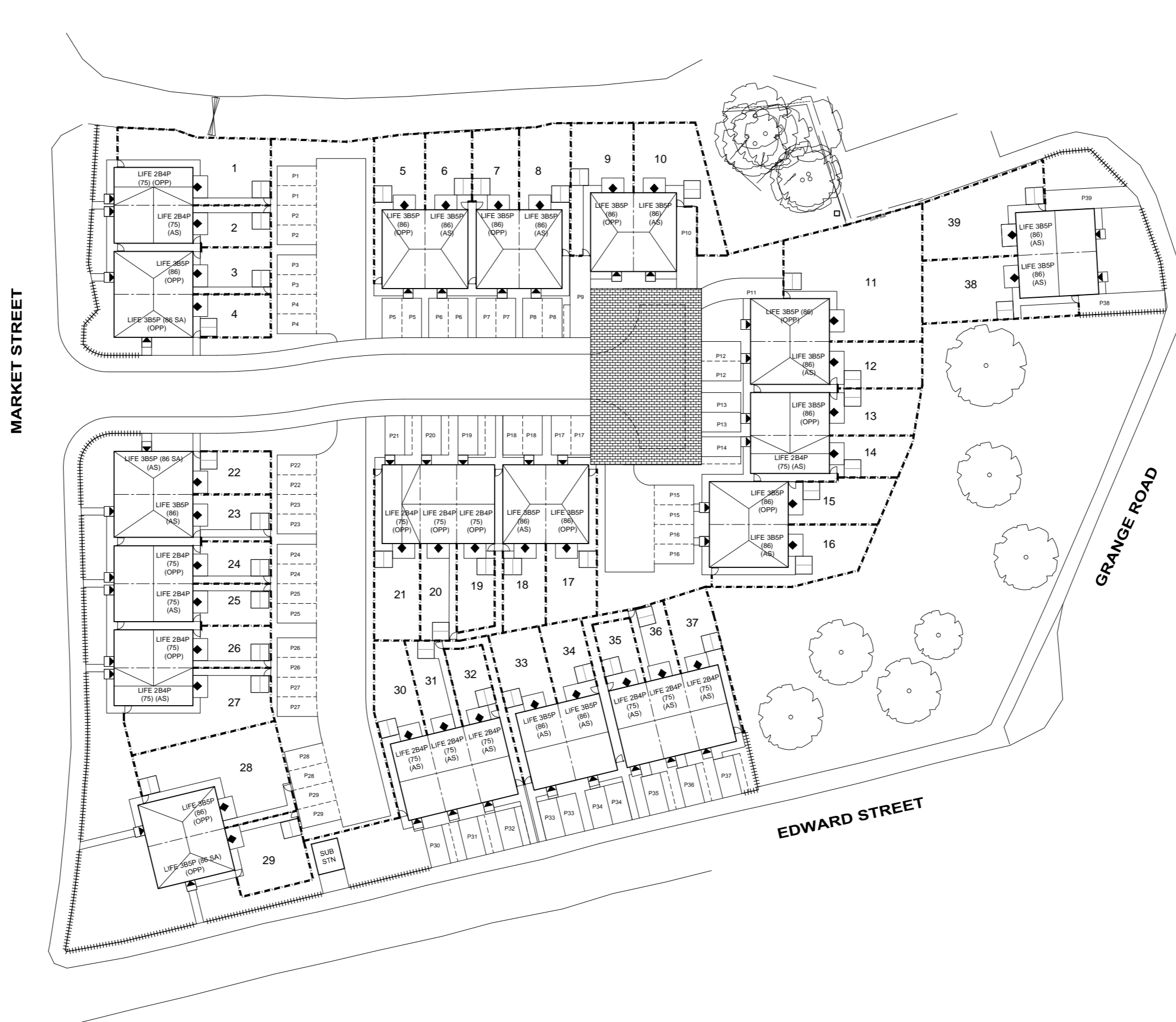
drawing no: **SK310:L01**

sheet no: **Sheet 1 of #**      revision:





ACCOMMODATION SCHEDULE (NET AREA)					
HOUSE TYPE	NUMBER	(SQUARE FOOT)	SQUARE METRE	BED	(TOTAL SQUARE FOOT)
<b>HA HOUSING</b>					
LIFE 2B4P (75)	16	813	75	2	13008
LIFE 3B5P (86)	20	930	86	3	18600
LIFE 3B5P (86 SA)	3	930	86	3	2790
<b>TOTAL =</b>	<b>39</b>			<b>TOTAL =</b>	<b>34398</b>



### LEGEND

- 1100mm HIGH HOOPED TOP METAL RAILING, SEE RSD 9202
- 1800mm HIGH TIMBER FENCE (1500mm FENCE PANEL ON 300mm CONCRETE GRAVEL BOARD WITH CONCRETE POSTS)
- 1500mm HIGH TIMBER FENCE (1200mm FENCE PANEL ON 300mm CONCRETE GRAVEL BOARD WITH CONCRETE POSTS)
- 1800mm HIGH CLOSE BOARDED GATE, SLAM TO LOCK WITH ACCESS KEY. GATES MARKED WITH 'AN' TO BE SLAM TO LOCK WITH COMMUNAL ACCESS KEY.
- FRONT ENTRANCE DOOR. ALL DOORS TO HAVE FLUSH THRESHOLD. UNLESS NOTED OTHERWISE PROVIDE 1200 x 1200mm LEVEL PLATFORM AT ENTRANCE TO DWELLING.
- PATIO / FRENCH DOORS. ALL DOORS TO HAVE FLUSH THRESHOLD.
- POSITION OF P.V. PANELS.
- 2.4x1.8m LOCKABLE WOODEN SHED WITH CYCLE LOOP & PERSPEX WINDOW.
- 200ltr WATER BUTTS. INDICATIVE POSITION ONLY, FINAL POSITION TO BE AGREED ON SITE IN RELATION TO RAINWATER DOWNPIPE LOCATION.
- COMPOST BIN.
- HARDSTANDING FOR 4No. LAU PROVIDED WHEELIE BINS AS FOLLOWS: GREEN BIN FOR NON-RECYCLABLE WASTE, GREY BIN FOR RECYCLABLE PAPER, CARD & TEXTILES, BLUE BIN FOR RECYCLABLE GLASS, CANS & PLASTICS & BROWN BIN FOR GARDEN WASTE.
- ROTARY DRYER - SEE SITE SPECIFIC SALES SPECIFICATION FOR DETAILS - CISH LEVEL 3
- TREES TO BE REMOVED
- INDICATIVE TREES ONLY - SEE LANDSCAPING LAYOUT FOR DETAILS
- INDICATIVE TRAFFIC CALMING AS RAISED TABLES ALL DETAILS TO BE CONFIRMED AND AGREED WITH HIGHWAY AUTHORITY. MATERIALS SPEC TBC

Rev	Date	By	Description	Chk'd
J	01.11.12	CLJ	Plot 13 revised to a 3B5P (from 2B4P). Plot numbers and mix revised accordingly.	
H	29.10.12	CLJ	Additional 9 plots previously added removed. Plot numbers and mix revised accordingly. Existing trees to Grange Road added. Sheds added.	
G	22.10.12	SAH	Parking and footpaths to the front of plots 30 to 41 revised to suit site level conditions.	
F	09.10.12	CLJ	Plots 30 to 43 re-planned and mix revised accordingly. Sub-station size & location revised on plan.	
E	26.09.12	SAH	Plots 30 to 43 re-planned to take in to account engineering comments	
D	19.09.12	CLJ	9 plots added (38-46) Plot numbers and mix revised accordingly.	
C	03.08.12	APC	Plots 35-39 revised due to culvert, mix revised accordingly.	
B	12.07.12	APC	Plots 9 & 10 revised, plot 11-16 repositioned, minor alterations to parking.	
A	06.07.12	APC	Plots 1-4 & 22-29 and parking to plot 17 moved to assist levels	

## Countryside Properties

Countryside Properties (UK) Limited  
Regeneration North  
Countryside House  
Lakeside Drive  
Centre Park  
Warrington WA1 1RW  
Tel: 01925 248900 Fax: 01925 248901  
www.countryside-properties.com  
Group Chief Architect: Mette McLarney B Arch (Hons) RIBA

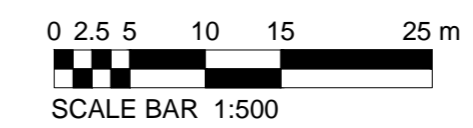
site: **Former Facit Mill Whitworth**

title: **Planning Layout**

scale: **1:500**      drawn by: **APC**  
 @A2  
 date: **July 2012**      checked:

drawing no: **SK310:PL01**

sheet no: **Sheet 1 of 1**      revision: **J**



ACCOMMODATION SCHEDULE (NET AREA)					
HOUSE TYPE	NUMBER	(SQUARE FOOT)	SQUARE METRE	BED	(TOTAL SQUARE FOOT)
<b>HA HOUSING</b>					
LIFE 2B4P (75)	16	813	75	2	13008
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## Countryside Properties

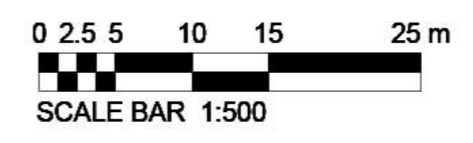
Countryside Properties (UK) Limited  
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Tel: 01925 248900 Fax: 01925 248901  
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Group Chief Architect: *Mette McLarney B Arch (Hons) RIBA*

site: **Former Facit Mill  
Whitworth**

---

title: **Planning Layout**

scale: <b>1:500</b>	drawn by: <b>APC</b>
date: <b>July 2012</b>	checked:
drawing no: <b>SK310:PL01</b>	
sheet no: <b>Sheet 1 of 1</b>	revision:





3B5P SA (OPP)  
Plot 29

## STREET SCENE ONE

2B4P (OPP) Plot 1    2B4P (AS) Plot 2    3B5P (OPP) Plot 3    3B5P (OPP) Plot 4    3B5P SA (AS) Plot 22    3B5P (AS) Plot 23    2B4P (OPP) Plot 24    2B4P (AS) Plot 25    2B4P (OPP) Plot 26    2B4P (AS) Plot 27    3B5P (OPP) Plot 28    3B5P SA (OPP) Plot 29

## STREET SCENE TWO



## SITE PLAN.

1:1250

**Countryside Properties**  
 Countryside Properties (UK) Limited  
 Countryside House  
 100, Cannon Park  
 Newington, Woking, Surrey GU24 0NF  
 Tel: 01425 248500  
 www.countryside-properties.com  
 Group Chief Architect: Helen McIlroy B.Arch (RIBA) RIBA

site: **FACIT MILL  
WHITWORTH**

title: **STREET SCENE  
COLOURED**

scale: 1:150/1250  
 @/A1  
 date: OCT 2012

drawn by: SAH  
 checked:

drawing no: **SK310/SS/01**

sheet no:    revision: \*

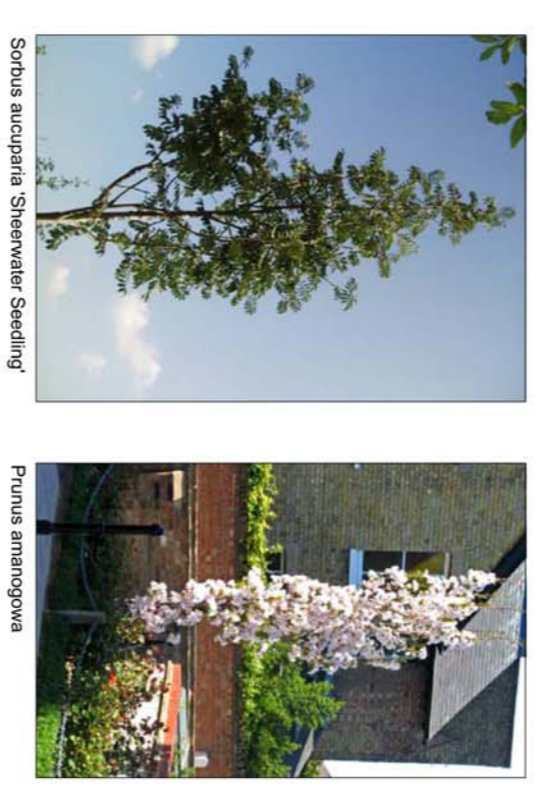
**PROPOSED TREES:**



Pinus callyptra 'Chanticleer'



Betula pendula



Sorbus aucuparia



Pinus sylvestris

**PROPOSED TREES:**

Ref	Species	Girth	Clear Stem
T1	Pinus callyptra 'Chanticleer'	14-16cm	>2.00m
T2	Betula pendula	14-16cm	>2.00m
T3	Sorbus aucuparia	14-16cm	>2.00m
T4	Pinus sylvestris	14-16cm	>2.00m
T5	Pinus sylvestris 'Prinze'	14-16cm	>2.00m
T6	Sorbus aucuparia 'Shenwater Seedling'	14-16cm	>2.00m
T7	Pinus sylvestris 'Amalgamator'	14-16cm	>2.00m

**TYPICAL SOFT LANDSCAPING PALETTE:**

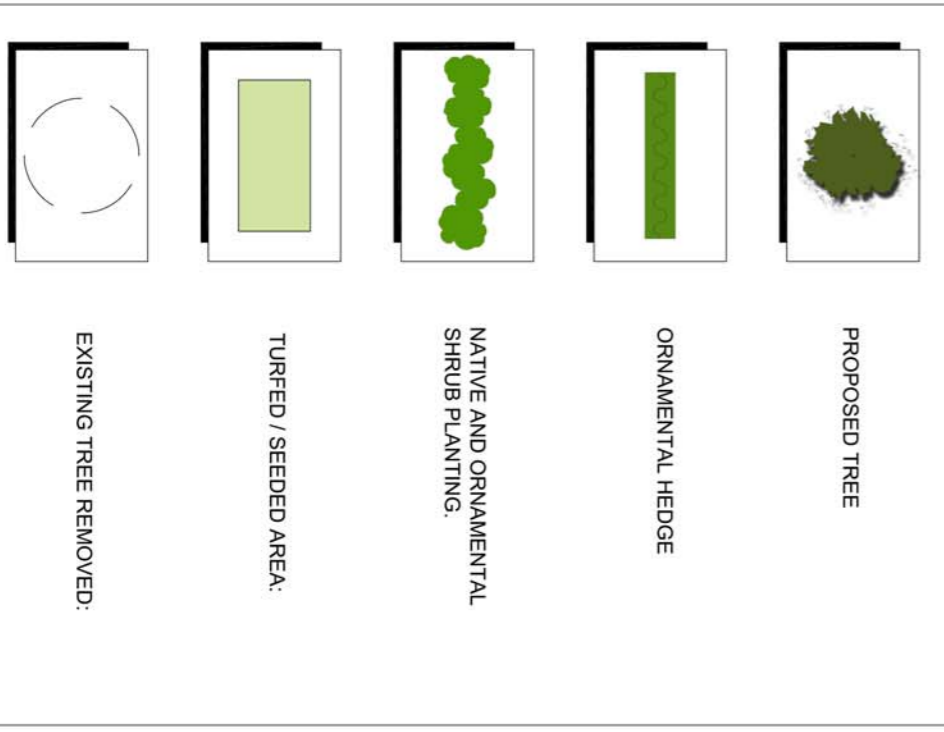
Residential Landscaping (typical examples of shrubs to be used):  
Planting generally to be 3-5L specimens planted at average density of 3-4 plants per sq.m. 10L specimen / multi-stems planted in groups of 1-3.

- Abelia x grandiflora
  - Azalea japonica
  - Aucuba japonica sp.
  - Berberis sp.
  - Ceanothus 'Blue Mound'
  - Castex x cordatus
  - Cornus sp.
  - Cornus coccinea 'Royal Purple'
  - Elaeagnus sp.
  - Escallonia sp.
  - Euonymus sp.
  - Euonymus japonicus
  - Hebe sp.
  - Lavandula sp.
  - Mahonia sp.
  - Prunum texanum sp.
  - Prunus 'Ocho Luvker'
  - Rosa x ypphina 'Lachriar'
  - Rosa ypphina sp.
  - Spiraea japonica sp.
  - Wigandia sp.
- Hedging (selected from the following):  
Planting generally to be 3-5L shrubs planted in a single staggered row at 350-500mm c/c.
- Buxus sempervirens (Box)
  - Elaeagnus x albnigra (Oleaster)
  - Escallonia var. (Escallonia)
  - Ligustrum var. (Privet)
  - Osmanthus x burkwoodii (Sweet Olive)
  - Prunus x fischeri 'Red Robin' & 'Little Red Robin' (Prostrata)
- Native Planting:  
Where space permits native plants to be incorporated. Planting generally to be 5-8L specimens planted at an average density of 5-8 plants per sq.m.
- Cornus sanguinea (Native Dogwood)
  - Corylus avellana (Common Hazel)
  - Euonymus europaeus (Spindle Bush)
  - Hedera helix (Common Ivy)
  - Hamamelis (Common Witch Hazel)
  - Ligustrum vulgare (Common Privet)
  - Lonicera periclymenum (Honeysuckle)
  - Rosa canina (Dog Rose)
  - Sambucus nigra (Elder)
  - Spirunum ulmaria (Woollywing Tree)
  - Viburnum opulus (Climbing Rose)

**NOTES:**

All soft landscaping to strictly conform to Countryside Properties Plc Performance Specification for Soft Landscape Works.  
All shrub beds to receive 75mm depth of bark mulch.  
The use of pesticides and other non-organic garden chemicals are to be kept to a minimum to prevent bio-accumulation within the animal food chain.  
Good horticultural practices shall be implemented within the planting scheme e.g use of pest-free composts and mulches and application of non-residual pesticides.  
All trees/shrubs to be checked by structural engineer in compliance of NHBC requirements for design of foundations.

**KEY:**



**Native Planting:**

**Typical Hedging:**

**Typical Shrubs:**



A	25.10.12	MJR	Scheme updated to latest site layout.
B	30.10.12	MJR	Scheme updated to latest site layout.

**Countryside Properties**  
The Drive  
Essex CM13 3AT  
Tel: 01277 20200  
www.countrysideproperties.com

Group Chief Architect: Alan McLenny B Arch (RIBA) RIBA

Site: **Former Facit Mill Whitworth**

Title: **Proposed Landscape Strategy**

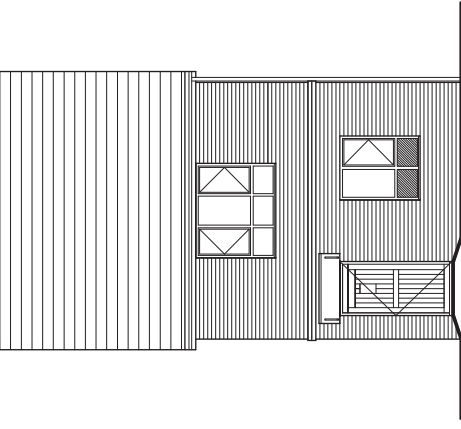
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Drawn by: MJR  
Checked: MJR

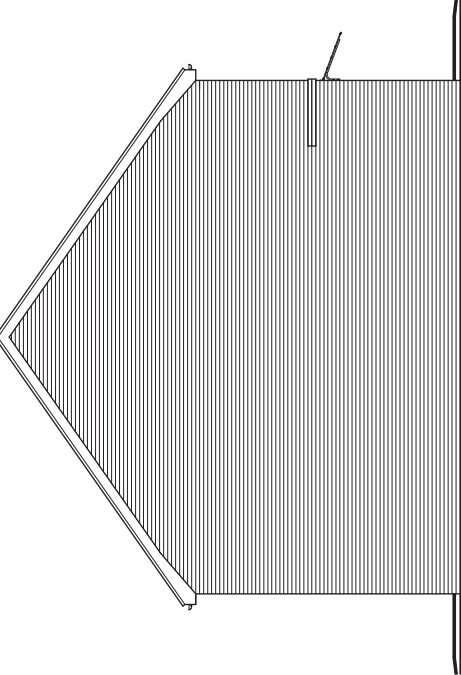
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Sheet no: **B**

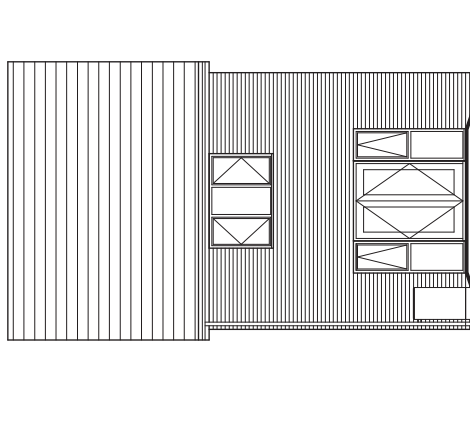
DO NOT SCALE THIS DRAWING © This drawing is copyright of Countryside Properties Plc and must not be copied or reproduced in whole or in part, nor used in conjunction with any project without Countryside's written consent.



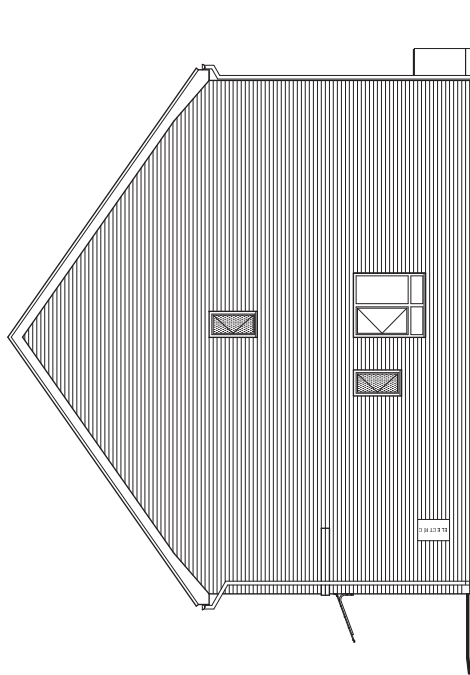
**Front Elevation**  
Scale 1:100



**Side Elevation**  
Scale 1:100



**Rear Elevation**  
scale 1:100



**Side Elevation**  
scale 1:100

Additional ground floor window to living / dining space added only where plot has a side drive/spectral gable windows subject to position and handing on layout

LIFE-2B4P(75)	
OH/Ref:	N/A
Gross Area :	813 sqft
Ground Floor :	406 sqft
First Floor :	406 sqft
Second Floor :	N/A
Circulation :	154 sqft
Net to Gross :	19 %
All Areas and dimensions are taken to STRUCTURAL FINISH	

# LIFE-2B4P(75)

(75sqm)

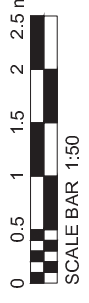
**CountrySide Properties**  
 Chartered Surveyors  
 14 Hill Street, Birmingham, B3 1LW  
 www.countrysidproperties.com  
 Group Director: Alan Burdett & Paul Price 0800

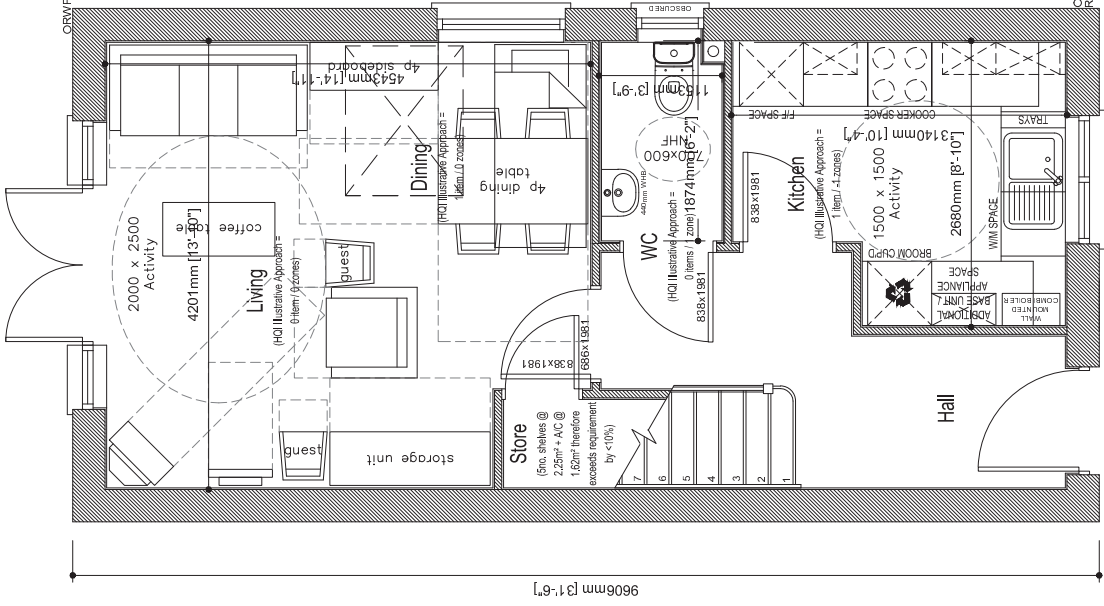
**CountrySide Properties (UK) Limited**  
 Regeneration North  
 Lifetime Homes HouseTypes  
**LIFE-2B4P(75)**  
 Elevations

Drawn by: **APC**  
 Checked:  
 Scale: **1:50**  
 Date: **October 2012**

Rev: **A** Date: **05-11-12** By: **CLJ** Description: **Additional ground floor gable window added.**

Sheet no: **LIFE-2B4P(75)/10** of 10  
 Revision: **A**





level access, & external wall light to be provided to rear entrance (4)

min. 1350mm deep windows to living space; handles to all windows to use track, 1200mm from fit (15)

440x710mm turning ellipse in living / dining space (7)

1100x400mm "cutout" in floor for future installation of a third the floor lift (12)

all switches, sockets etc to be installed in accordance with Part M (16)

Additional window to living / dining space added only where plot has a side drive/ access to all gable windows is subject to position and handing on layout

indicative ground floor test space position (9)

845mm side step to maintain min. 900mm between face of handrail & wall for future stairlift installation • TF walls will require re-finishing; max 90x60mm reveal posts / 60mm handrails to be used (12)

Part M compliant WC with floor gully for future shower (10)

min. 300mm side panel to ground floor doors into rooms (6)

min. 300mm side panel to front door (6)

level access, porch canopy & external wall light to be provided to main entrance (4)

LIFE-2B4P(75)	
OH/Ref:	N/A
Gross Area:	813 sqft
Ground Floor:	406 sqft
First Floor:	406 sqft
Second Floor:	N/A
Circulation:	154 sqft
Net to Gross:	19 %
All Areas and dimensions are taken to STRUCTURAL FINISH	

handles to all windows to be a max. 1200mm from fit (15)

all switches, sockets etc to be installed in accordance with Part M (16)

1100x400mm "cutout" in floor for future installation of a third the floor lift (12)

dish/del line devices out of host from thro the floor fit to bathroom, sanitaryware to be positioned for "ease of access" (14)

945mm dia. stair string to maintain min. 900mm between face of handrail & wall for future stairlift installation • TF walls will require re-finishing; max 90x60mm reveal posts / 60mm handrails to be used (12)

re-finishment in timber clad walls between 300x150mm above FFL required in bathroom wall for future installation of handrails etc (11)

bathroom window to end gable plus only

HQI Unit Layout Average Bedroom Score:  
0 furniture  
2 zoning zones

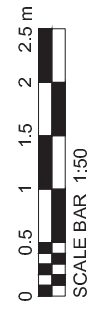
all switches, sockets etc to be installed in accordance with Part M (16)

Rev	Date	By	Description
E	05-11-12	CLJ	Additional gable window added to dining area
D	24-10-12	CLJ	Layout updated to accommodate updated furniture arrangement.
C	01-12-11	GWP	Title block updated.
B	02-02-11	-	Additional window to side elevation added.
A	14-07-10	-	Updated in line with DCO.

Drawn by: APC  
Checked:  
Scale: 1:50  
Date: July 2009  
Sheet no: LIFE-2B4P(75)01  
Revision: E

Countryside Properties (UK) Limited  
Regeneration North  
Lifetime Homes HouseTypes  
LIFE-2B4P(75)  
Floor Plans

Countryside Properties  
14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000



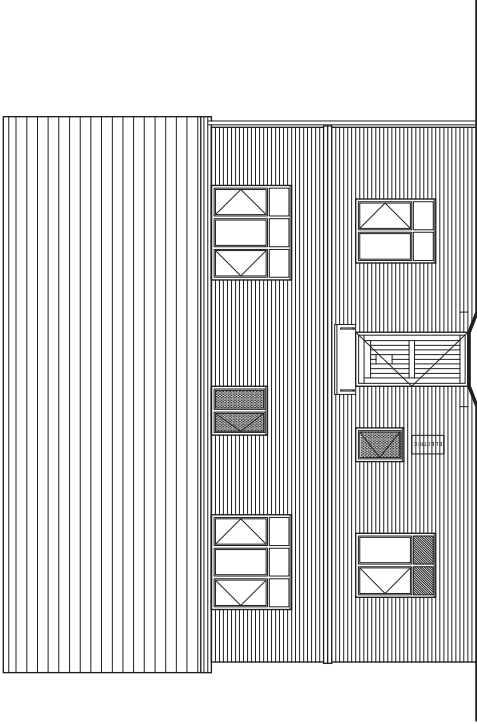
# LIFE-2B4P(75)

(75sqm)

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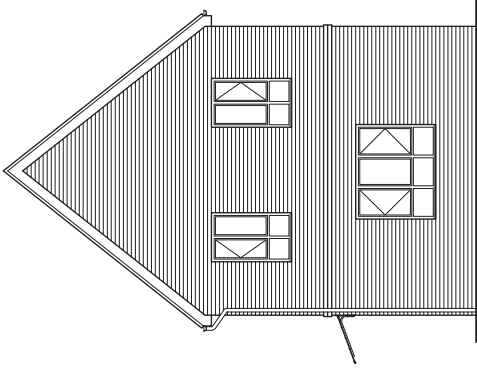






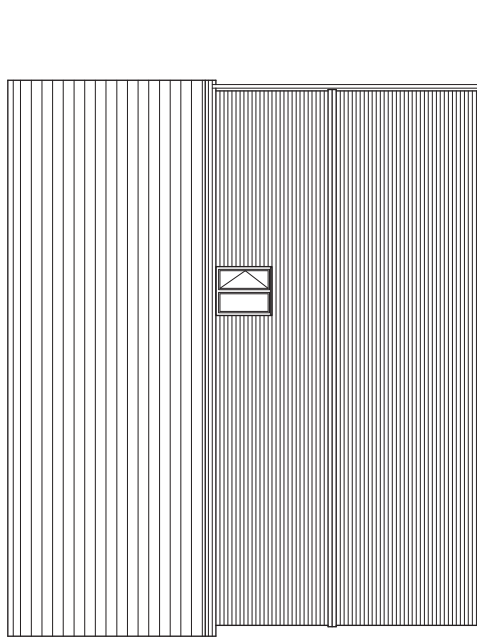
**Front Elevation**

Scale 1:100



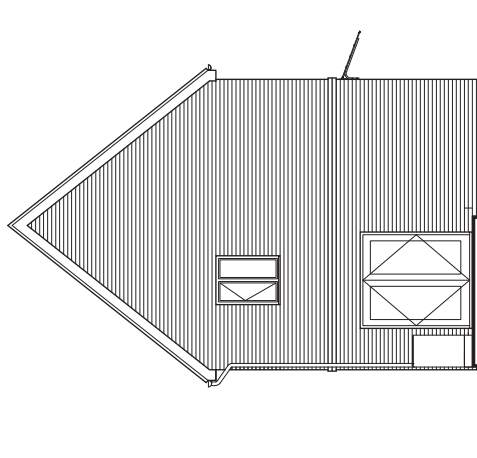
**Side Elevation**

Scale 1:100



**Rear Elevation**

Scale 1:100

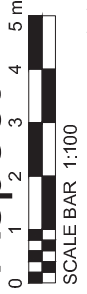


**Side Elevation**

Scale 1:100

# LIFE-3B5P(86) Side Aspect

(86sqm)

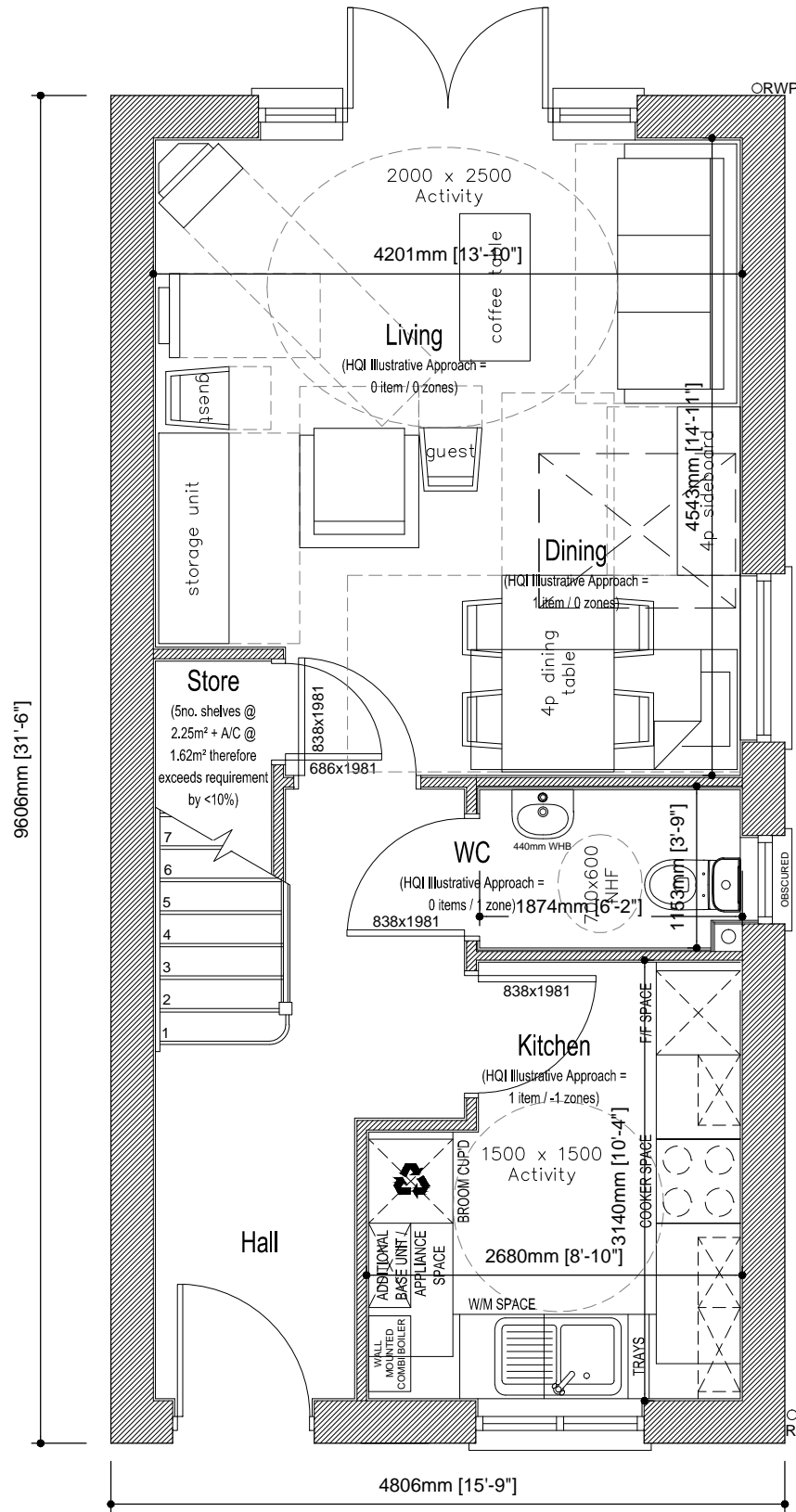


Rev	Date	By	Description	CHKD

	Drawn by: <b>CLJ</b> checked: made: <b>1:100</b> QA:3 date: <b>Oct 2012</b>	sheet no: <b>LIFE-3B5P/10 SA</b>	revision: <b>Sheet 1 of 1</b>
	drawing no: <b>LIFE-3B5P(86) SA Elevations 6.0</b>		

The <b>Countrywide Properties (UK) Limited</b> Regeneration North Lifetime Homes Housetypes LIFE-3B5P(86) SA Elevations 6.0 Title:
--

<p><b>Countrywide Properties</b>                  Company No: 02061037                  Registered Office:                  1st Floor, 100 Broad Street, Birmingham, B1 2HS                  www.countrywideproperties.com                  Share deal subject to prospectus &amp; other financial info.</p>
--



**Ground Floor Plan**  
Scale 1:50

level access, & external wall light to be provided to rear entrance (4)

min 1350mm deep windows to living space; handles to all windows to be a max. 1200mm from ffl (15)

1400x1700mm turning ellipse in living / dining space (7)

1100x1400mm "cut-out" in floor for future installation of a thro' the floor lift (12)

all switches, sockets etc to be installed in accordance with Part M (16)

Additional window to living / dining space added only where plot has a side drive/ aspect all gable windows subject to position and handing on layout

indicative ground floor bed space position (9)

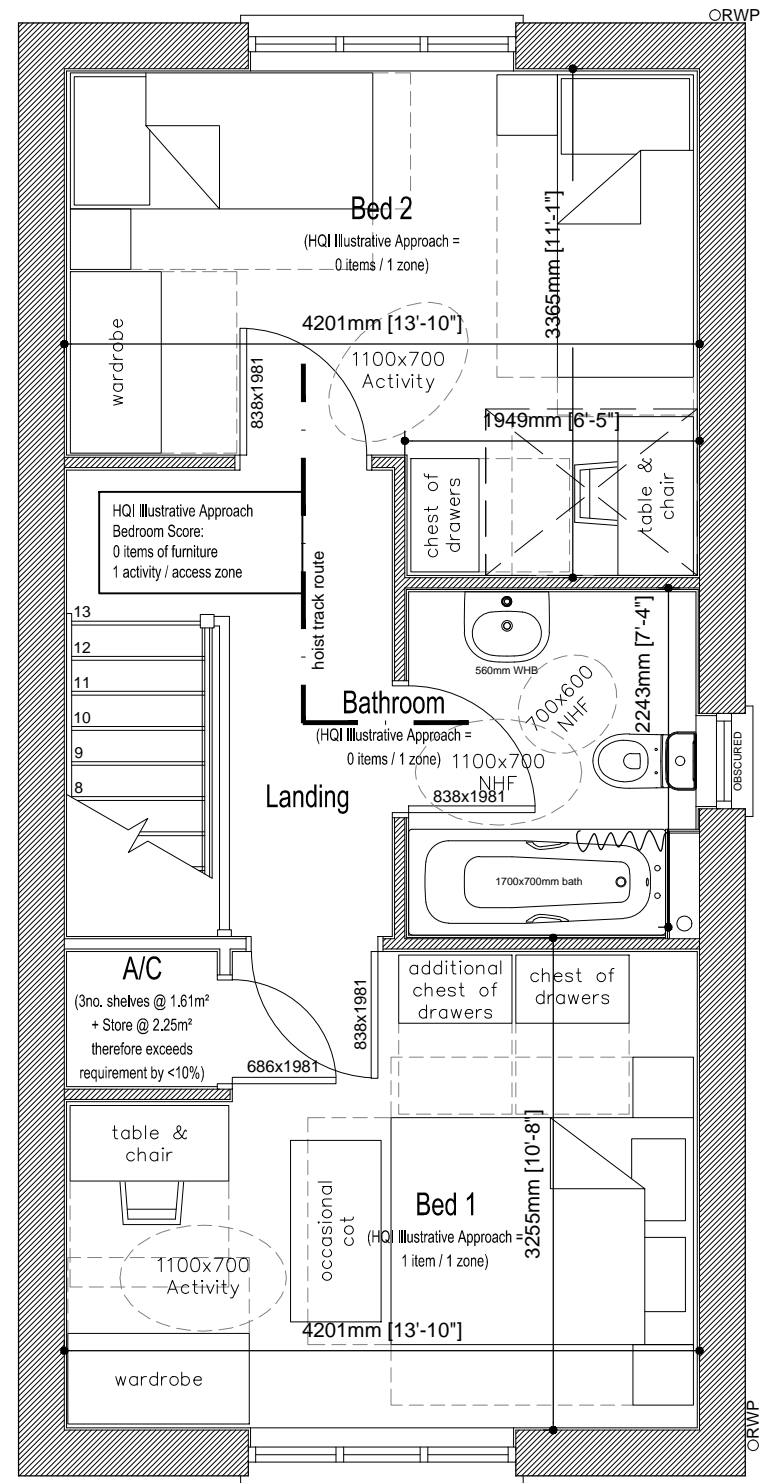
945mm o/a stair string to maintain min. 900mm between face of handrail & wall for future stairlift installation - TF walls will require re-inforcing; max 90x90mm newel posts / 60mm handrails to be used (12)

Part M compliant WC with floor gully for future shower (10)

min. 300mm side panel to ground floor doors into rooms (6)

min. 300mm side panel to front door (6)

level access, porch canopy & external wall light to be provided to main entrance (4)



**First Floor Plan**  
Scale 1:50

handles to all windows to be a max. 1200mm from ffl (15)

all switches, sockets etc to be installed in accordance with Part M (16)

1100x1400mm "cut-out" in floor for future installation of a thro' the floor lift (12)

dash-dot line denotes route of hoist from thro' the floor lift to bathroom; sanitaryware to be positioned for "ease of access" (14)

945mm o/a stair string to maintain min. 900mm between face of handrail & wall for future stairlift installation - TF walls will require re-inforcing; max 90x90mm newel posts / 60mm handrails to be used (12)

re-inforcement in timber stud walls between 300-1500mm above FFL required in bathroom wall for future installation of handrails etc (11)

bathroom window to end gable plots only

HQI Unit Layout Average Bedroom Score: 0 furniture +2 activity zones

all switches, sockets etc to be installed in accordance with Part M (16)

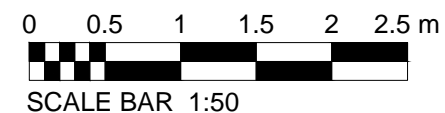
handles to all windows to be a max. 1200mm from ffl (15)

LIFE-2B4P(75)	
Old Ref :	N/A
Gross Area :	813 sqft
Ground Floor :	406 sqft
First Floor :	406 sqft
Second Floor :	N/A
Circulation :	154 sqft
Net to Gross	19 %
All Areas and dimensions are taken to STRUCTURAL FINISH.	

Rev	Date	By	Description	Chk'd
E	05-11-12	CLJ	Additional gable window added to dining area.	
D	24-10-12	CLJ	Layout revised to accommodate updated furniture arrangement.	
C	01-12-11	GWP	Title block updated.	
B	02-02-11	-	Additional window to side elevation added.	
A	14-07-10	-	Updated in line with DCO.	

# LIFE-2B4P(75)

(75sqm)



**Countryside Properties**

Countryside Properties (UK) Limited  
Regeneration North  
Countryside House  
Lilleshall Drive  
Centre Park  
Warrington, WA1 1RW  
Tel: 01925 244000 Fax: 01925 246991  
www.countryside-properties.com  
Group Chief Architect: Steve McLarney & Arch (Hons) RIBA

site: **Countryside Properties (UK) Limited  
Regeneration North  
Lifetime Homes Housetypes**

title: **LIFE-2B4P(75)  
Floor Plans**

**BSI**  
BSI Quality Management  
EN45013 Environmental Management

drawing no: **LIFE-2B4P(75)/01**

sheet no: **Sheet 1 of 1**

revision: **E**

drawn by: **APC**

checked:

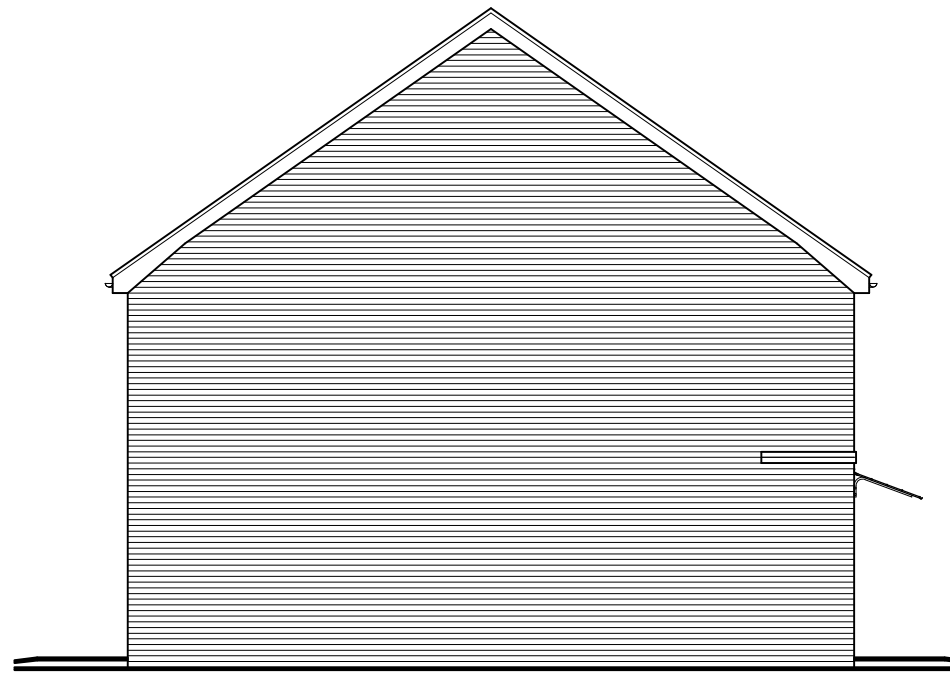
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date: **July 2009**

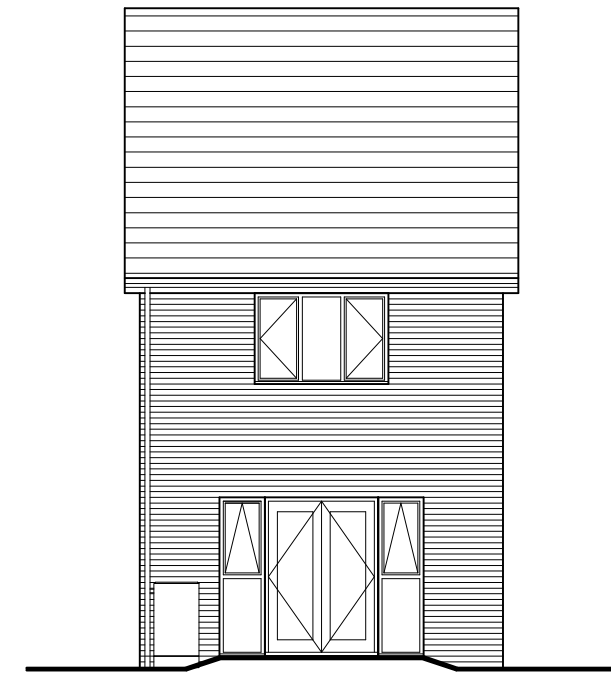
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**Front Elevation**  
Scale 1:100



**Side Elevation**  
Scale 1:100



**Rear Elevation**  
scale 1:100



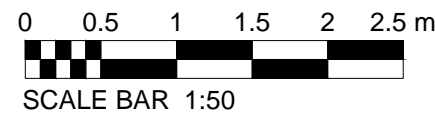
**Side Elevation**  
scale 1:100

Additional ground floor window to living / dining space added only where plot has a side drive/aspect all gable windows subject to position and handing on layout

LIFE-2B4P(75)	
Old Ref :	N/A
Gross Area :	813 sqft
Ground Floor :	406 sqft
First Floor :	406 sqft
Second Floor :	N/A
Circulation :	154 sqft
Net to Gross	19 %
All Areas and dimensions are taken to STRUCTURAL FINISH.	

# LIFE-2B4P(75)

(75sqm)




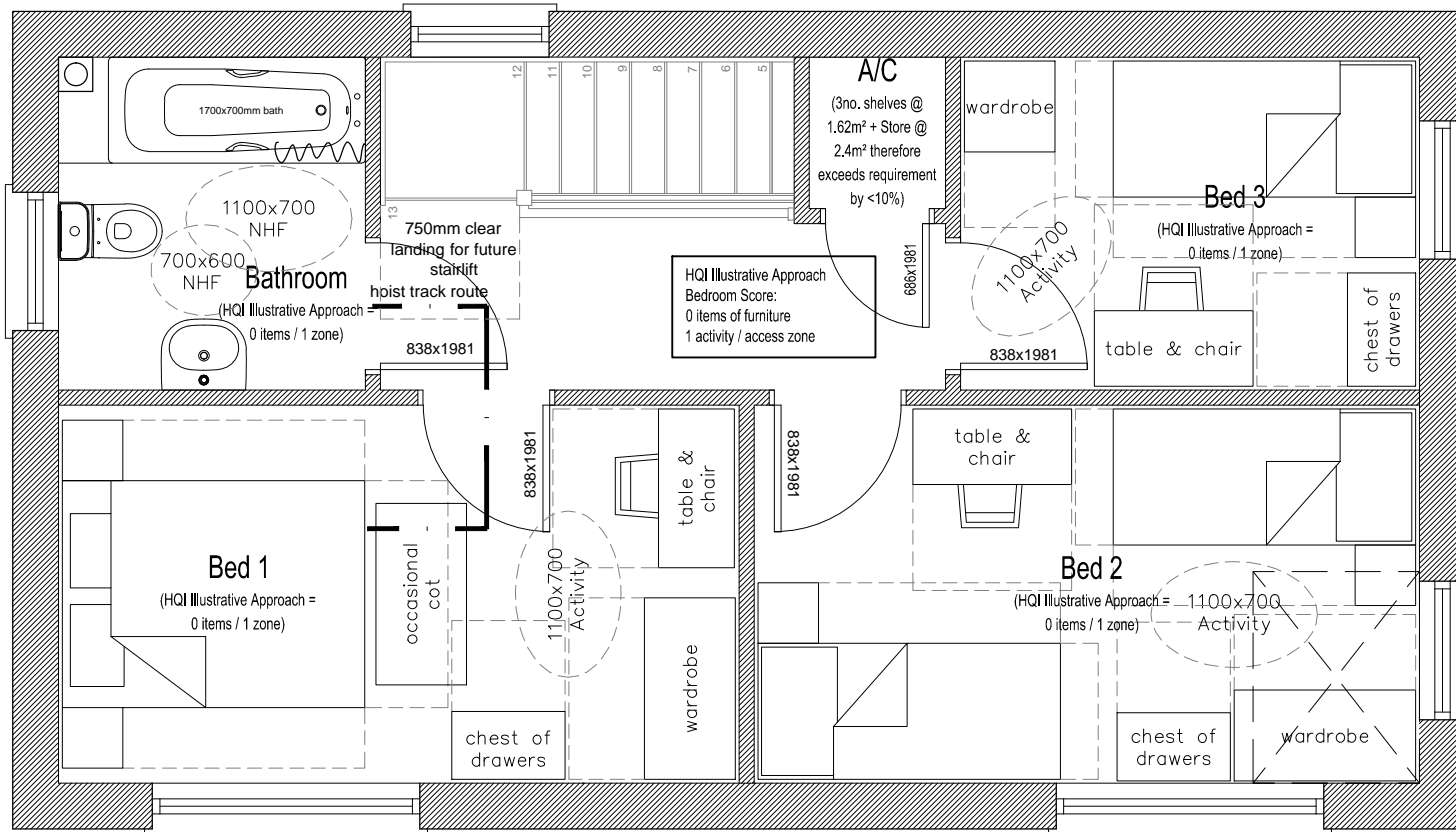
**Countryside Properties**  
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 Regeneration North  
 Countryside House  
 Lakeside Drive  
 Centre Park  
 Warrington, WA1 1RW  
 Tel: 01925 24800 Fax: 01925 24891  
 www.countryside-properties.com  
 Group Chief Architect: Steve McLarney B Arch (Hons) RIBA

site: **Countryside Properties (UK) Limited  
 Regeneration North  
 Lifetime Homes Housetypes**

title: **LIFE-2B4P(75)  
 Elevations**

Rev	Date	By	Description	Chk'd
A	05-11-12	CLJ	Additional ground floor gable window added .	

 <small>BSI        BS 8304 Quality Management        EMS 9120 Environmental Management</small>	drawing no: <b>LIFE-2B4P(75)/10</b>	sheet no: <b>Sheet 1 of 1</b>	revision: <b>A</b>
	drawn by: <b>APC</b>	checked: 	scale: @A3 <b>1:50</b>
date: <b>October 2012</b>			

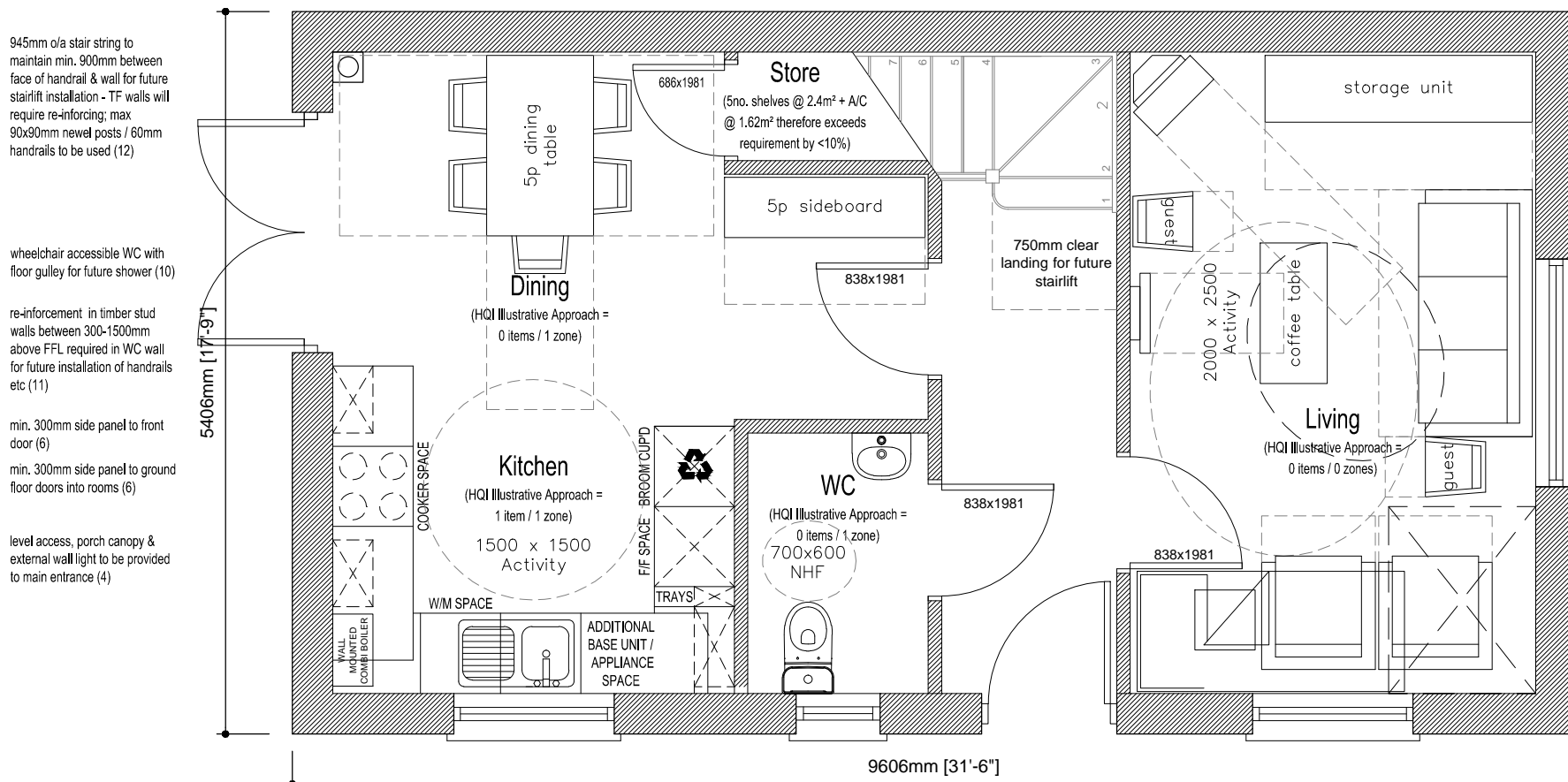


HQI Unit Layout Average  
Bedroom Score:  
0 furniture  
+2 activity zones

- handles to all windows to be a max. 1200mm from fl (15)
- all switches, sockets etc to be installed in accordance with Part M (16)
- 1100x1400mm "cut-out" in floor for future installation of a thro' the floor lift (12)
- re-inforcement in timber stud walls between 300-1500mm above FFL required in bathroom wall for future installation of handrails etc (11)
- dash-dot line denotes route of hoist from thro' the floor lift to bathroom, sanitaryware to be positioned for "ease of access" (14)
- 945mm o/a stair string to maintain min. 900mm between face of handrail & wall for future stairlift installation - TF walls will require re-inforcing; max 90x90mm newel posts / 60mm handrails to be used (12)
- handles to all windows to be a max. 1200mm from fl (15)

LIFE-3B5P(86) side aspect	
Old Ref :	N/A
Gross Area :	945 sqft
Ground Floor :	480 sqft
First Floor :	465 sqft
Second Floor :	N/A
Circulation :	140 sqft
Net to Gross	15 %
All Areas and dimensions are taken to STRUCTURAL FINISH.	

First Floor Plan



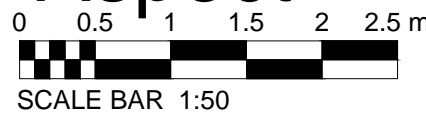
- 945mm o/a stair string to maintain min. 900mm between face of handrail & wall for future stairlift installation - TF walls will require re-inforcing; max 90x90mm newel posts / 60mm handrails to be used (12)
- wheelchair accessible WC with floor gully for future shower (10)
- re-inforcement in timber stud walls between 300-1500mm above FFL required in WC wall for future installation of handrails etc (11)
- min. 300mm side panel to front door (6)
- min. 300mm side panel to ground floor doors into rooms (6)
- level access, porch canopy & external wall light to be provided to main entrance (4)

- level access, & external wall light to be provided to rear entrance (4)
- min 1350mm deep windows to living space; handles to all windows to be a max. 1200mm from fl (15)
- 1400x1700mm turning ellipse in living / dining space (7)
- all switches, sockets etc to be installed in accordance with Part M (16)
- 1100x1400mm "cut-out" in floor for future installation of a thro' the floor lift (12)
- indicative ground floor bed space position (9)

Ground Floor Plan

# LIFE-3B5P(86) Side Aspect

(86sqm)



**Countryside Properties**  
 Countryside Properties (UK) Limited  
 Regeneration North  
 Countryside House  
 Lakeside Drive  
 Centre Park  
 Warrington, WA1 1RW  
 Tel: 01925 248000 Fax: 01925 248951  
 www.countryside-properties.com  
 Group Chief Architect: Mette McLarney B Arch (Hons) RIBA

site:  
**Countryside Properties (UK) Limited  
 Regeneration North  
 Lifetime Homes Housetypes**

title:  
**LIFE-3B5P(86) SA  
 Floor Plans**

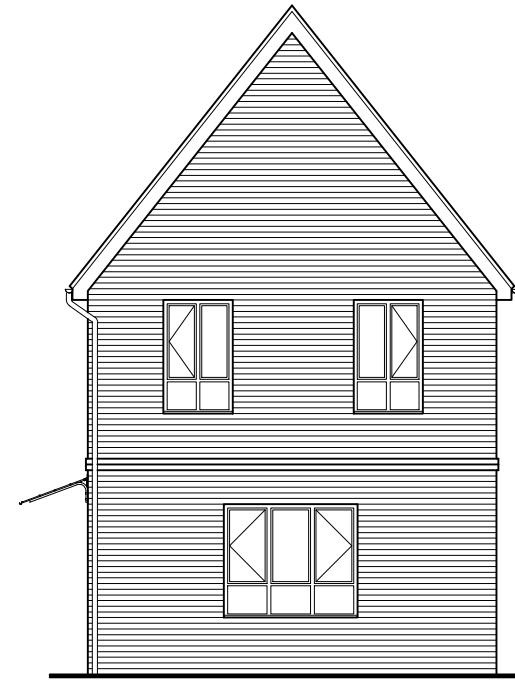
 BSI BS 8304 Quality Management (EN5 61920 Environmental Management)	drawing no: <b>LIFE-3B5P/01 SA</b>	sheet no: <b>Sheet 1 of 1</b>	revision:
	drawn by: <b>CLJ</b>	checked: 	scale: <b>@A3 1:50</b>

Rev	Date	By	Description	Chk'd

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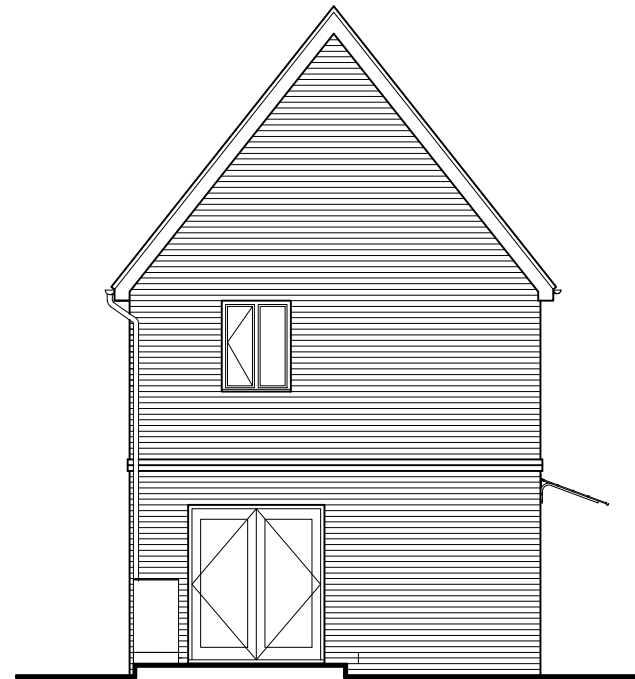
**Front Elevation**  
Scale 1:100



**Side Elevation**  
Scale 1:100



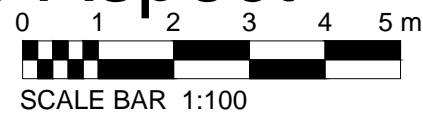
**Rear Elevation**  
scale 1:100



**Side Elevation**  
scale 1:100

# LIFE-3B5P(86) Side Aspect

(86sqm)



Rev	Date	By	Description	Chk'd

**Countryside Properties**

Countryside Properties (UK) Limited  
Regeneration North  
Countryside House  
Lakeside Drive  
Centre Park  
Warrington WA1 1RW  
Tel: 01925 248000 Fax: 01925 248951  
www.countryside-properties.com  
Group Chief Architect: Mervyn McLarney B Arch (Hons) RIBA

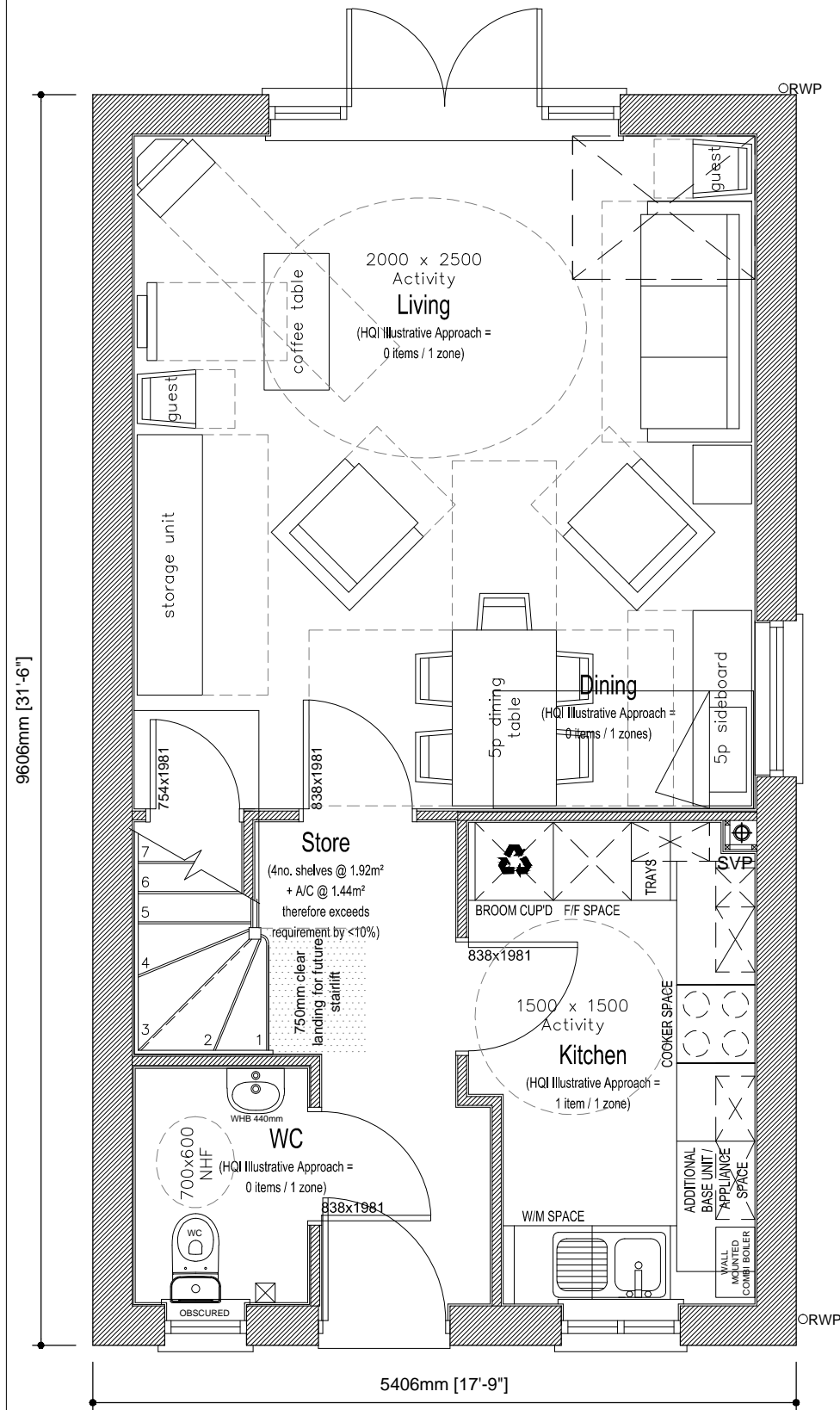
site: **Countryside Properties (UK) Limited  
Regeneration North  
Lifetime Homes Housetypes**

title: **LIFE-3B5P(86) SA  
Elevations 6.0**

	drawn by: <b>CLJ</b>
	checked:
scale: <b>1:100</b> @A3	date: <b>Oct 2012</b>
drawing no: <b>LIFE-3B5P/10 SA</b>	sheet no: <b>Sheet 1 of 1</b>
revision:	

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LIFE-3B5P(86)	
Old Ref :	N/A
Gross Area :	930 sqft
Ground Floor :	465 sqft
First Floor :	465 sqft
Second Floor :	N/A
Circulation :	131 sqft
Net to Gross	14 %
All Areas and dimensions are taken to STRUCTURAL FINISH.	



Ground Floor Plan  
Scale 1:50

# LIFE-3B5P(86)

(86sqm)

level access, & external wall light to be provided to rear entrance (4)

min 1350mm deep windows to living space; handles to all windows to be a max. 1200mm from ffl (15)

1100x1400mm "cut-out" in floor for future installation of a thro' the floor lift (12)

1400x1700mm turning ellipse in living / dining space (7)

all switches, sockets etc to be installed in accordance with Part M (16)

Additional window to living / dining space added only where plot has a side drive/ aspect all gable windows subject to position and handing on layout

indicative ground floor bed space position (9)

945mm o/a stair string to maintain min. 900mm between face of handrail & wall for future stairlift installation - TF walls will require re-inforcing; max 90x90mm newel posts / 60mm handrails to be used (12)

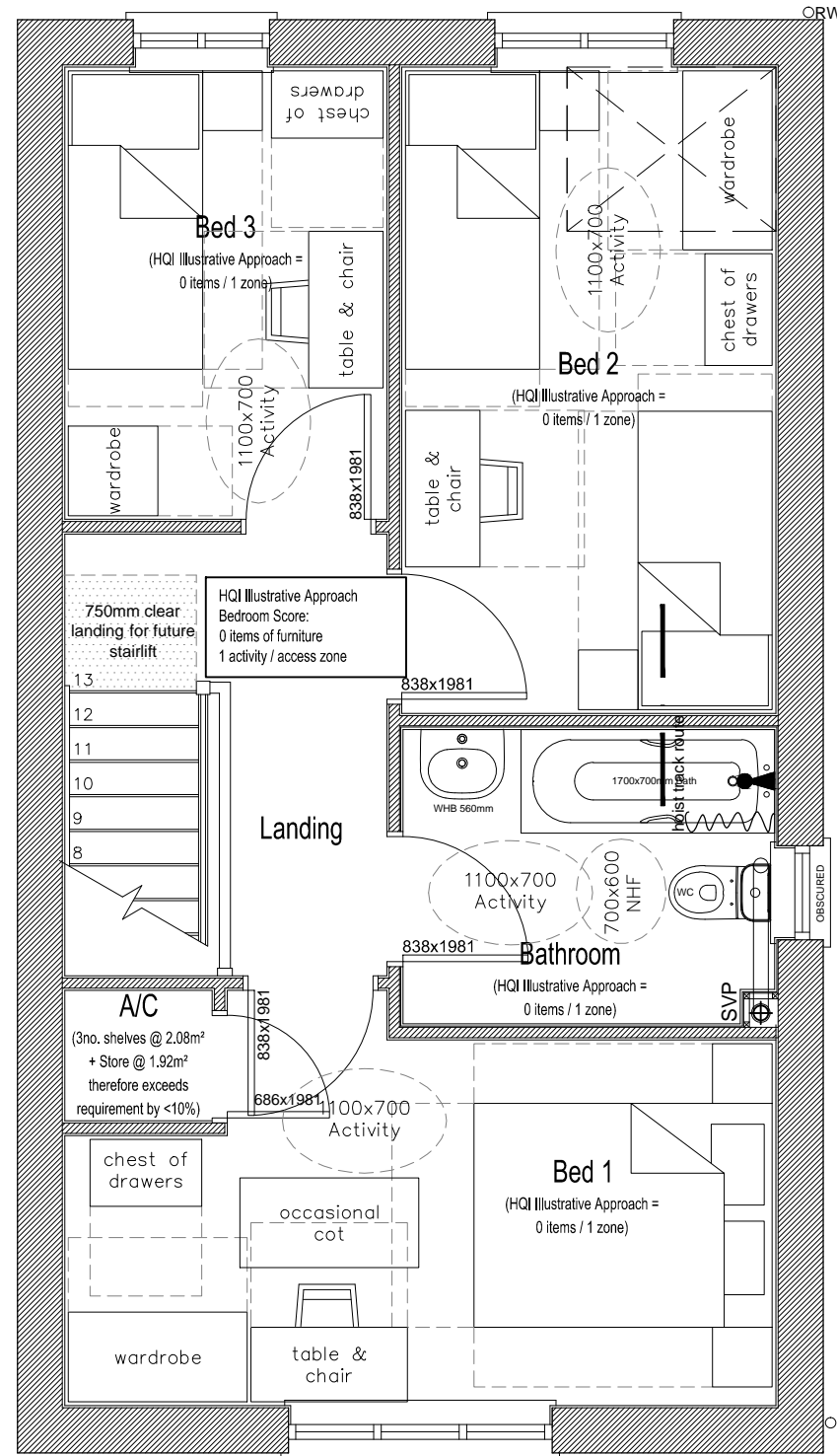
wheelchair accessible WC with floor gulley for future shower (10)

re-inforcement in timber stud walls between 300-1500mm above FFL required in WC wall for future installation of handrails etc (11)

min. 300mm side panel to front door (6)

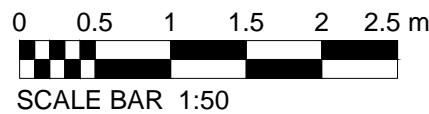
min. 300mm side panel to ground floor doors into rooms (6)

level access, porch canopy & external wall light to be provided to main entrance (4)



First Floor Plan  
Scale 1:50

Rev	Date	By	Description	Chk'd
F	05-11-12	CLJ	Additional gable window added to dining area.	
E	24-10-12	CLJ	Layout revised to accommodate updated furniture arrangement.	
D	01-12-11	GWP	Title block updated.	
C	15-03-11	-	Bed 1 & bulkhead store updated in line with DCO.	
B	02-02-11	-	Window added to living / dining.	
A	15-07-10	-	Updated in line with DCO.	



**Countryside Properties**  
Countryside Properties (UK) Limited  
Regeneration North  
Countryside House  
Lakeside Drive  
Centre Park  
Warrington, WA1 1RW  
Tel: 01925 24800 Fax: 01925 24891  
www.countryside-properties.com  
Group Chief Architect: Mervyn McLarney & Arch (Hong) RBA

site: **Countryside Properties (UK) Limited  
Regeneration North  
Lifetime Homes Housetypes**

title: **LIFE-3B5P(86)  
Floor Plans**

**BSI**  
BSI Quality Management  
ENMS 9120 Environmental Management

drawing no: **LIFE-3B5P(86)/01**

sheet no: **Sheet 1 of 1**

revision: **F**

drawn by: **APC**

checked:

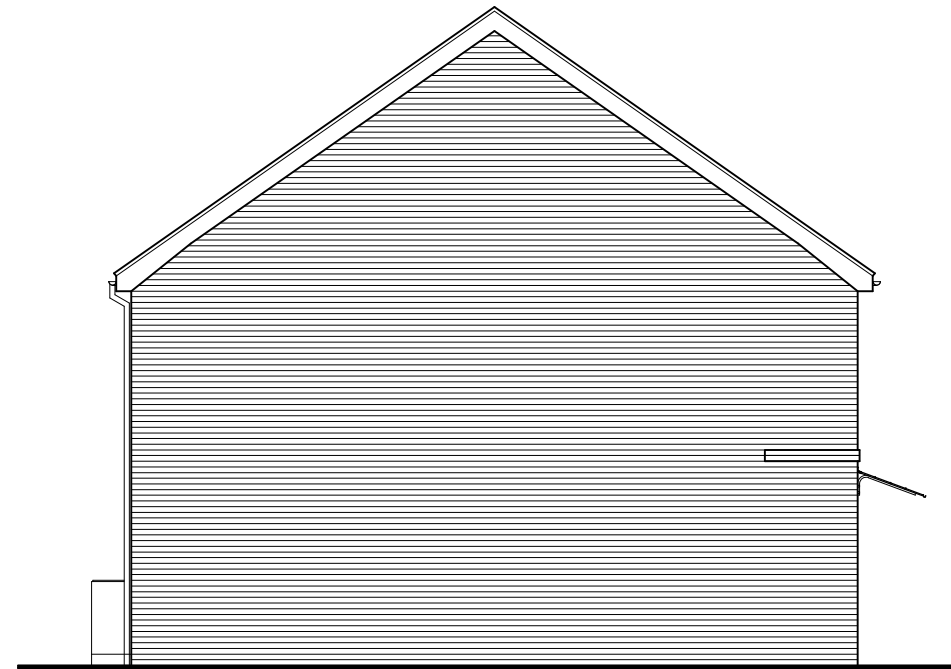
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date: **July 2009**

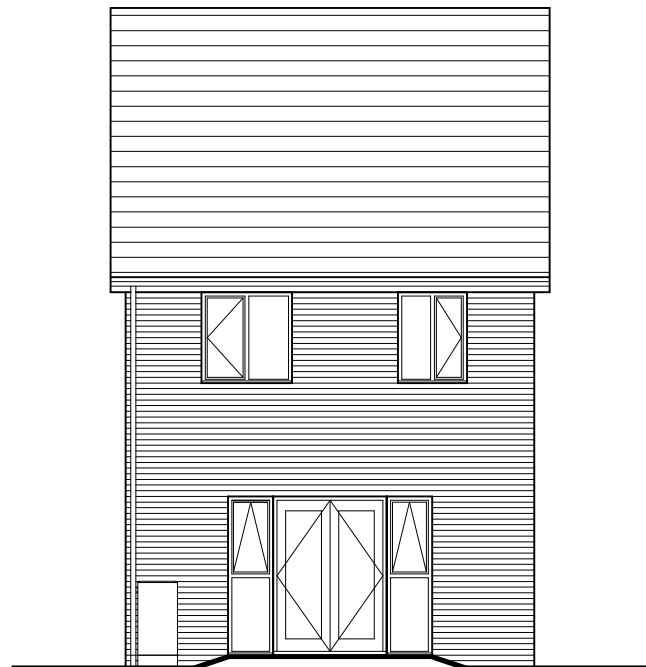
LIFE-3B5P(86)	
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First Floor :	465 sqft
Second Floor :	N/A
Circulation :	131 sqft
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All Areas and dimensions are taken to STRUCTURAL FINISH.	



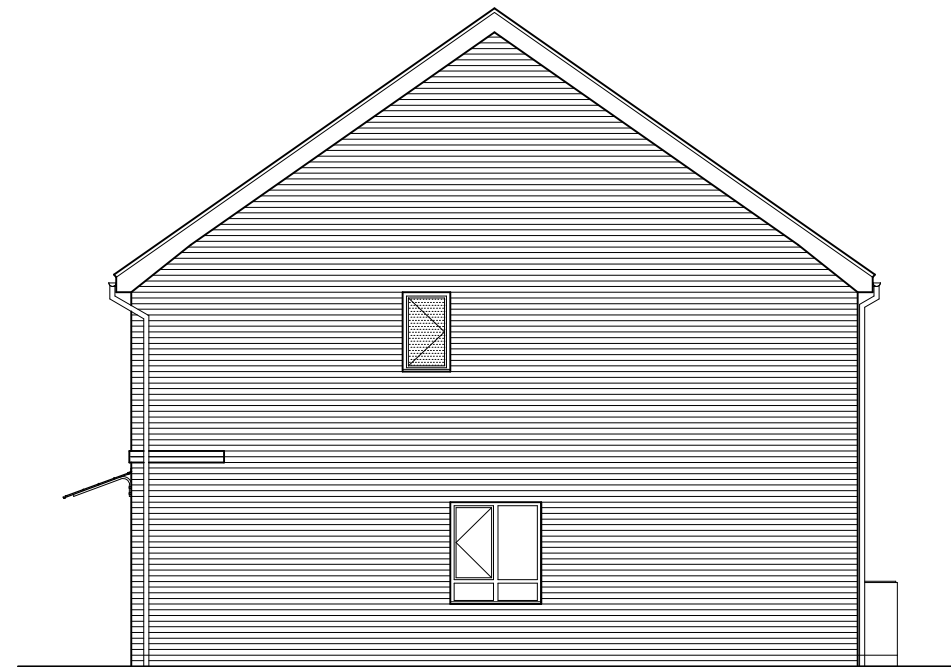
**Front Elevation**  
Scale 1:100



**Side Elevation**  
scale 1:100



**Rear Elevation**  
scale 1:100



**Side Elevation**  
scale 1:100

Additional ground floor window to living / dining space added only where plot has a side drive/aspect all gable windows subject to position and handing on layout

Rev	Date	By	Description	Chk'd
A	05-11-12	CLJ	Additional ground floor gable window added .	

# LIFE-3B5P(86)

(86sqm)



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Countryside Properties (UK) Limited  
 Regeneration North  
 Countryside House  
 Lakeside Drive  
 Centre Park  
 Warrington WA1 1RW  
 Tel: 01925 24800 Fax: 01925 24891  
 www.countryside-properties.com  
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site: **Countryside Properties (UK) Limited  
 Regeneration North  
 Lifetime Homes Housetypes**  
 title: **LIFE-3B5P(86)  
 Elevations**

**BSI**  
BSI  
 BS 8304 Quality Management  
 EMS 9120 Environmental Management

drawing no: **LIFE-3B5P(86)/10**  
 sheet no: **Sheet 1 of 1**  
 revision: **A**

drawn by: **APC**  
 checked:  
 scale: **1:50**  
 @A3  
 date: **October 2012**