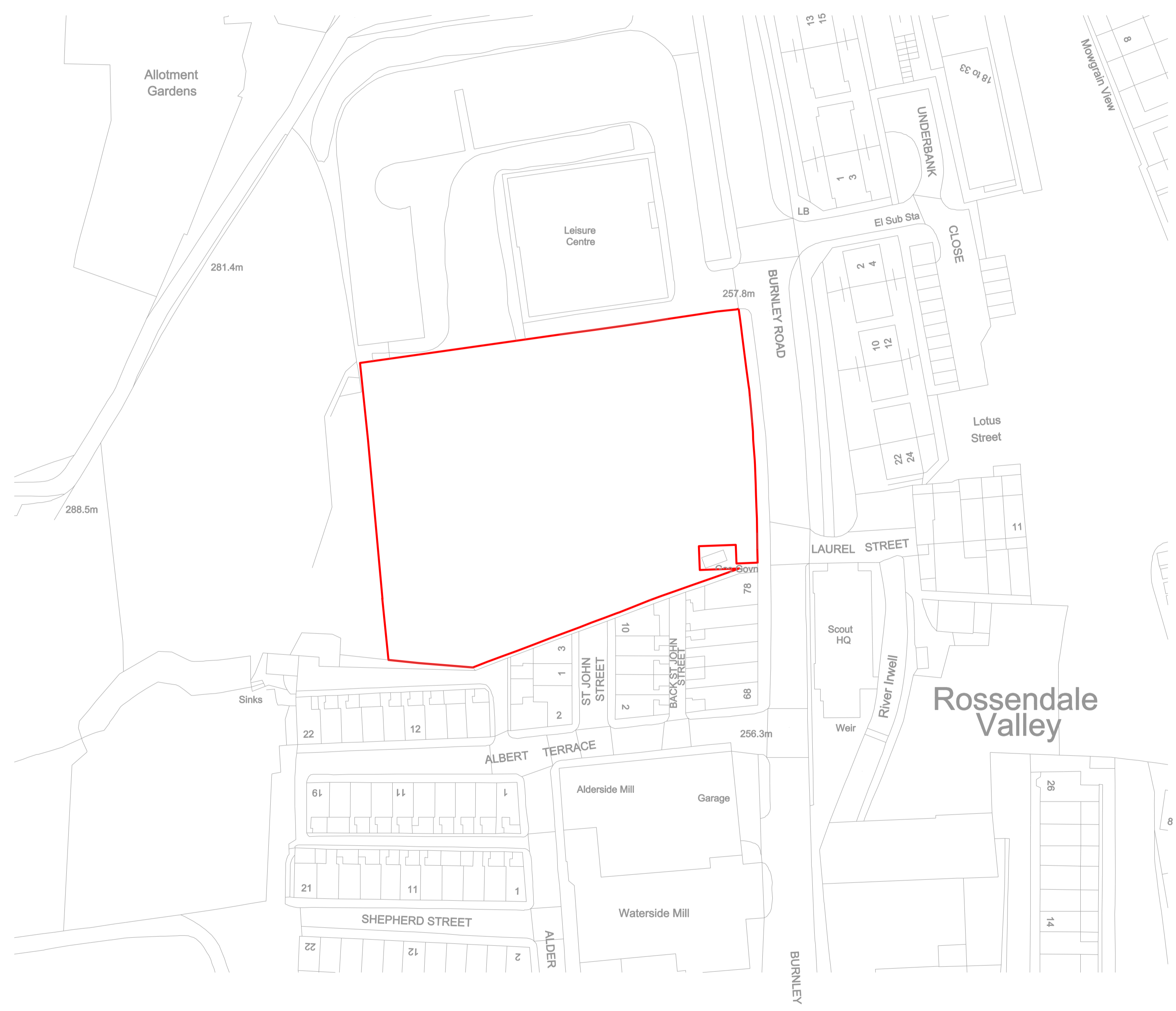


Rev	Description	By	Chk	Date
-	ISSUED FOR PLANNING	KHW	IG	22.03.13



- PLANNING NOTES:**
1. Please read in conjunction with application drawings, documents and other supporting information.
 2. Proposals are subject to Building Regulations approval.
 3. Landscape proposals indicative only and subject to detail design approved under condition (by others).
 4. All construction section/ details are indicative only and subject to detailed design.
 5. Drawings based on existing measured data provided by TriCAD Solutions Ltd, 28th January 2013.
 6. All party wall and ROL matters are subject to agreement.
 7. Boundary treatments are subject to ALO approval.
 8. External lighting is subject to detail design approved under condition (by others).

 Site Boundary

Project
 Land Adjacent to Bacup Leisure Centre
 BURNLEY ROAD, BACUP
 for RTB Partnership and Greenvale Homes

Title
 LOCATION PLAN

Drawn: KHW **Checked:** IG **Approved:** .
Scale: 1:1250@A3 **Date:** 06.03.2013 **Project No:** M7591

Drawing No: L(00)00 **Revision:** -

ISSUED FOR PLANNING

hurd/rolland
 Architects
 37/38 Park
 44 Park Street
 Manchester M2 5SP
 Tel: 0161 832 5321
 Fax: 0161 832 5242

All dimensions to be as noted. Do not scale from this drawing. Report any discrepancies to the Architect / CA immediately. All Areas are approximate and use of these Areas for commercial purposes should include due allowance for variations inherent in design development and building processes. This drawing is the copyright and property of Hurd HOLLAND Partnership and must not be reproduced without prior written permission.

Rev	Description	By	Chk	Date
-	Initial Issue	KHW	IG	11.02.13
A	Minor updates following Civil Engineer's comments	KHW	IG	05.03.13
B	Turning heads added. Semi-buried gas meter boxes indicated and footpaths adjusted to suit. Retaining wall indicated to western boundary.	KHW	SD	19.03.13
C	ISSUED FOR PLANNING	KHW	IG	22.03.13
D	Additional site levels added. ISSUED FOR PLANNING	KHW	IG	09.04.13
E	Junction revisions to suit electricity connections - ISSUED FOR PLANNING	KHW	GC	17.04.13
F	Plots 14-20 adjusted to provide additional distance from northern boundary/mound. Turning head added to front of Plot 14	KHW	GC	13.05.22
G	Levels updated to suit maximum 1:12 gradient to roads. ISSUED FOR PLANNING.	KHW	IG	31.05.13
H	Plot no's 14-20 revised. ISSUED FOR PLANNING.	KHW	IG	24.06.13



- PLANNING NOTES:**
- Please read in conjunction with application drawings, documents and other supporting information.
 - Proposals are subject to Building Regulations approval.
 - Landscape proposals indicative only and subject to detail design approved under condition (by others).
 - All construction section/ details are indicative only and subject to detailed design.
 - Drawings based on existing measured data provided by TriCAD Solutions Ltd, 28th January 2013.
 - All party wall and ROL matters are subject to agreement.
 - Boundary treatments are subject to ALO approval.
 - External lighting is subject to detail design approved under condition (by others).

- LEGEND:**
- Access Road
 - Raised block paving traffic calming to access road
 - Block paving to driveways
 - Proposed trees.
 - (Existing trees to be retained where possible).
 - Indicative garden shed
 - Indicative rotary washing line
 - Site Boundary
 - House plot boundary

Project
Land Adjacent to Bacup Leisure Centre
BURNLEY ROAD, BACUP
for RTB Partnership and Greenvale Homes

Title
PROPOSED SITE PLAN

Drawn: KHW **Checked:** GTC **Approved:**
Scale: 1:500@A3 **Date:** 11.02.2013 **Project No:** M7591

Drawing No: L(01)10 **Revision:** H

ISSUED FOR PLANNING

hurdrolland
Architects
379 Park
44 Park Street
Manchester M2 5PQ
Tel: 0161 832 5321
Fax: 0161 832 5242

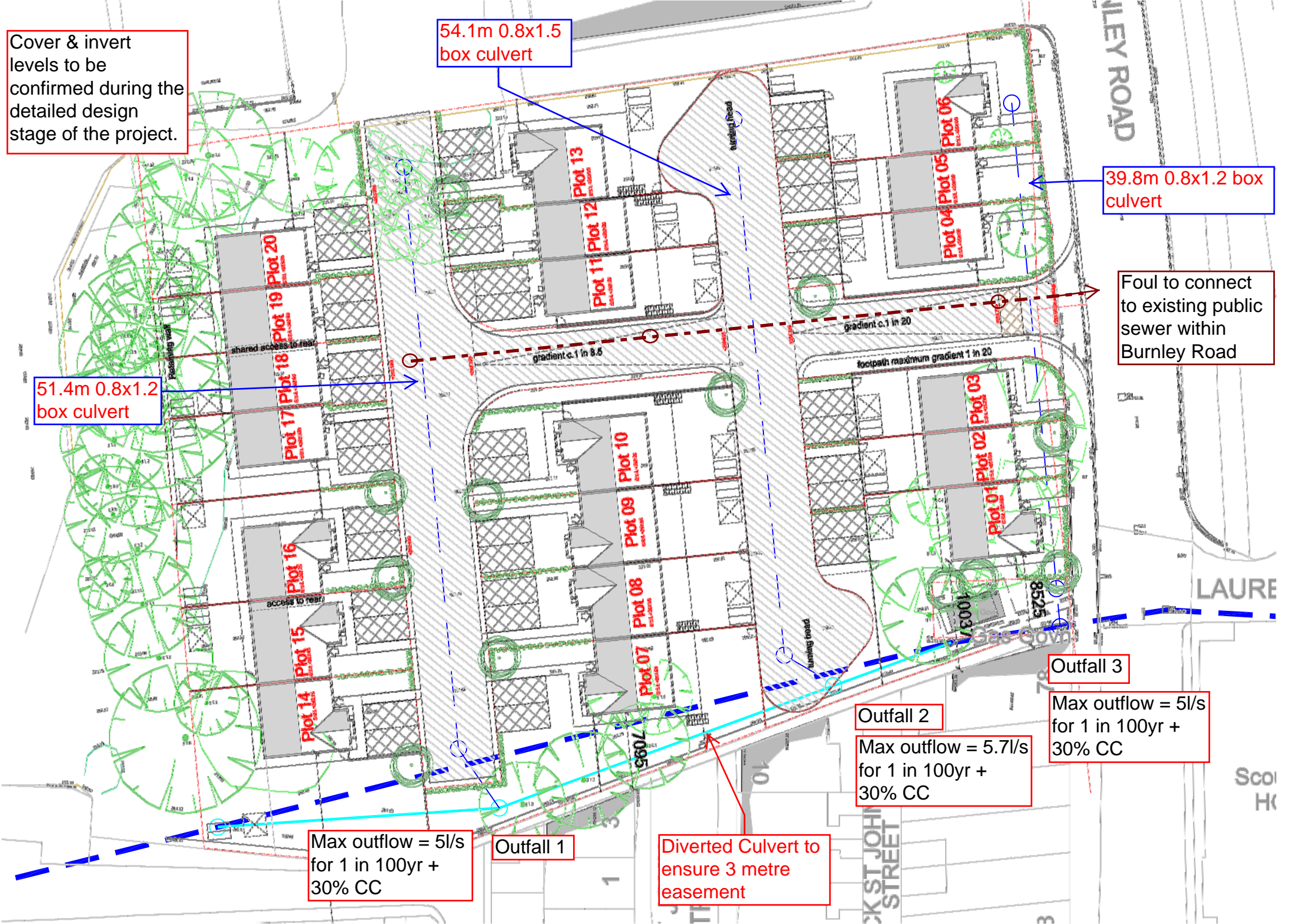
Cover & invert levels to be confirmed during the detailed design stage of the project.

54.1m 0.8x1.5 box culvert

39.8m 0.8x1.2 box culvert

51.4m 0.8x1.2 box culvert

Foul to connect to existing public sewer within Burnley Road



Max outflow = 5l/s for 1 in 100yr + 30% CC

Outfall 1

Diverted Culvert to ensure 3 metre easement

Outfall 2

Max outflow = 5.7l/s for 1 in 100yr + 30% CC

Outfall 3

Max outflow = 5l/s for 1 in 100yr + 30% CC

All dimensions to be as noted. Do not scale from this drawing. Report any discrepancies to the Architect / CA immediately. All Areas are approximate and use of these Areas for commercial purposes should include due allowance for variations inherent in design development and building processes. This drawing is the copyright and property of Hurd/rolland Partnership and must not be reproduced without prior written permission.

Rev	Description	By	Chk	Date
-	Initial Issue	KHW	IG	07.03.13
A	ISSUED FOR PLANNING	KHW	IG	22.03.13
B	Revised to avoid electricity connections near junction - ISSUED FOR PLANNING	KHW	GTC	17.04.13
C	Updated to incorporate planning comments and co-ordinate with site plan amendments. ISSUED FOR PLANNING	KHW	GTC	31.05.13
D	Plot no's 14-20 revised. ISSUED FOR PLANNING.	KHW	IG	24.06.13

- PLANNING NOTES:**
- Please read in conjunction with application drawings, documents and other supporting information.
 - Proposals are subject to Building Regulations approval.
 - Landscape proposals indicative only and subject to detail design approved under condition (by others).
 - All construction section/ details are indicative only and subject to detailed design.
 - Drawings based on existing measured data provided by TRICAD Solutions Ltd, 28th January 2013.
 - All party wall and ROL matters are subject to agreement.
 - Boundary treatments are subject to ALO approval.
 - External lighting is subject to detail design approved under condition (by others).

- BOUNDARY TREATMENTS**
- Low level, low maintenance shrub planting
 - 1800mm high timber fencing
 - 1500mm high timber fencing with 300mm trellis to top for visibility (1800mm total height)
 - c.900mm high brick wall with 900mm high timber fencing to top (1800mm total height)
 - 1800mm high timber gate to match fencing
 - 1800mm high acoustic timber fencing
 - Existing boundary wall to be retained, with timber fencing atop/ within to provide a total height of 1800mm
 - New retaining wall
 - Brick wall to match height of railings
 - Railings to properties fronting Burnley Road with brick piers to each front gate and corners.
 - Gate to match railings.

- LEGEND:**
- Access Road
 - Raised block paving traffic calming to access road
 - Block paving to driveways
 - Proposed trees. (Existing trees to be retained where possible).
 - Indicative garden shed
 - Indicative rotary washing line
 - Site Boundary
 - House plot boundary

Project
Land Adjacent to Bacup Leisure Centre
BURNLEY ROAD, BACUP
for RTB Partnership and Greenvale Homes

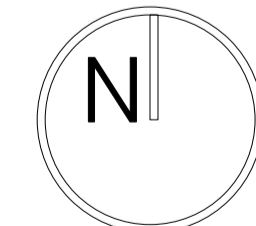
INDICATIVE BOUNDARY TREATMENTS

Drawn: KHW	Checked: GTC	Approved:
Scale: 1:500@A3	Date: 19.02.2013	Project No: M7591
Drawing No: L(90)10	Revision: D	

ISSUED FOR PLANNING

hurd/rolland
Architects

379 Park
44 Park Street
Manchester M2 5SP
Tel: 0161 852 5321
Fax: 0161 852 5242



Rev	Description	By	Chk	Date
1	Initial Issue	KWJ	LD	14.03.19
2	Revised to include comments	KWJ	LD	14.03.19
3	Revised to include comments	KWJ	LD	14.03.19
4	Revised to include comments	KWJ	LD	14.03.19
5	Revised to include comments	KWJ	LD	14.03.19
6	Revised to include comments	KWJ	LD	14.03.19
7	Revised to include comments	KWJ	LD	14.03.19
8	Revised to include comments	KWJ	LD	14.03.19
9	Revised to include comments	KWJ	LD	14.03.19
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23	Revised to include comments	KWJ	LD	14.03.19
24	Revised to include comments	KWJ	LD	14.03.19
25	Revised to include comments	KWJ	LD	14.03.19
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30	Revised to include comments	KWJ	LD	14.03.19
31	Revised to include comments	KWJ	LD	14.03.19
32	Revised to include comments	KWJ	LD	14.03.19
33	Revised to include comments	KWJ	LD	14.03.19
34	Revised to include comments	KWJ	LD	14.03.19
35	Revised to include comments	KWJ	LD	14.03.19
36	Revised to include comments	KWJ	LD	14.03.19
37	Revised to include comments	KWJ	LD	14.03.19
38	Revised to include comments	KWJ	LD	14.03.19
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40	Revised to include comments	KWJ	LD	14.03.19
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46	Revised to include comments	KWJ	LD	14.03.19
47	Revised to include comments	KWJ	LD	14.03.19
48	Revised to include comments	KWJ	LD	14.03.19
49	Revised to include comments	KWJ	LD	14.03.19
50	Revised to include comments	KWJ	LD	14.03.19

1. Please read in conjunction with application drawings, documents and other supporting information.
 2. Proposals are subject to Building Regulations approval.
 3. Landscape proposals indicative only and subject to detailed design approved under condition (B) others.
 4. For information section details are indicative only and subject to detailed design approved under condition (B) others.
 5. All party wall and RCJ matters are subject to agreement.
 6. External lighting is subject to detailed design approved under condition (B) others.
 7. Boundary treatments are subject to ALO approval.
 8. External lighting is subject to detailed design approved under condition (B) others.

MATERIALS LEGEND:

- A1 Brickwork, Colour: Chamber Bluff
- A2 Solder course to window and door heads.
- BF Boiler Flue
- D1 Composite front door with fully glazed upvc sashlight.
- D2 Composite front door.
- D3 Fully glazed upvc french doorset.
- D4 Composite back door.
- R1 Insulating roof tile - luxury Duo Edgemark or similar approved.
- R2 Ridge tiles to match roof.
- R3 UPVC fascias/ridge board. Colour: white
- R4 GPR to bay window.
- R5 Code 4 lead flashing & cavity trays
- W1 UPVC windows with white being operating lights. Colour: White. Refer to the manufacturer's literature for details.
- X1 Hammer goods. Half round profile. Colour: black
- X2 Timber gables/bracket. Painted colour: white
- X3 Shownwood timber boarding to bay window. Stained colour: dark oak

PLANNING NOTES:

1. Please read in conjunction with application drawings, documents and other supporting information.
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- BF Boiler Flue
- D1 Composite front door with fully glazed upvc sashlight.
- D2 Composite front door.
- D3 Fully glazed upvc french doorset.
- D4 Composite back door.
- R1 Insulating roof tile - luxury Duo Edgemark or similar approved.
- R2 Ridge tiles to match roof.
- R3 UPVC fascias/ridge board. Colour: white
- R4 GPR to bay window.
- R5 Code 4 lead flashing & cavity trays
- W1 UPVC windows with white being operating lights. Colour: White. Refer to the manufacturer's literature for details.
- X1 Hammer goods. Half round profile. Colour: black
- X2 Timber gables/bracket. Painted colour: white
- X3 Shownwood timber boarding to bay window. Stained colour: dark oak

PLANNING NOTES:

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MATERIALS LEGEND:

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- BF Boiler Flue
- D1 Composite front door with fully glazed upvc sashlight.
- D2 Composite front door.
- D3 Fully glazed upvc french doorset.
- D4 Composite back door.
- R1 Insulating roof tile - luxury Duo Edgemark or similar approved.
- R2 Ridge tiles to match roof.
- R3 UPVC fascias/ridge board. Colour: white
- R4 GPR to bay window.
- R5 Code 4 lead flashing & cavity trays
- W1 UPVC windows with white being operating lights. Colour: White. Refer to the manufacturer's literature for details.
- X1 Hammer goods. Half round profile. Colour: black
- X2 Timber gables/bracket. Painted colour: white
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MATERIALS LEGEND:

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- A2 Solder course to window and door heads.
- BF Boiler Flue
- D1 Composite front door with fully glazed upvc sashlight.
- D2 Composite front door.
- D3 Fully glazed upvc french doorset.
- D4 Composite back door.
- R1 Insulating roof tile - luxury Duo Edgemark or similar approved.
- R2 Ridge tiles to match roof.
- R3 UPVC fascias/ridge board. Colour: white
- R4 GPR to bay window.
- R5 Code 4 lead flashing & cavity trays
- W1 UPVC windows with white being operating lights. Colour: White. Refer to the manufacturer's literature for details.
- X1 Hammer goods. Half round profile. Colour: black
- X2 Timber gables/bracket. Painted colour: white
- X3 Shownwood timber boarding to bay window. Stained colour: dark oak

PLANNING NOTES:

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3. Landscape proposals indicative only and subject to detailed design approved under condition (B) others.
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7. Boundary treatments are subject to ALO approval.
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Project
 Land Adjacent to Burns Leisure Centre
 BURNLEY ROAD, BACUP
 for RTB Partnership and Greenvale Homes

Typical Elevations

HOUSE TYPE A1 - 2 BED

Drawn: 14/03/19
 Checked: IS
 Date: 02/02/19
 Drawn: KWJ
 Checked: LD
 Date: 02/02/19
 Drawn: KWJ
 Checked: LD
 Date: 02/02/19

A1 L/C0310

ISSUED FOR PLANNING

Project
 Land Adjacent to Burns Leisure Centre
 BURNLEY ROAD, BACUP
 for RTB Partnership and Greenvale Homes

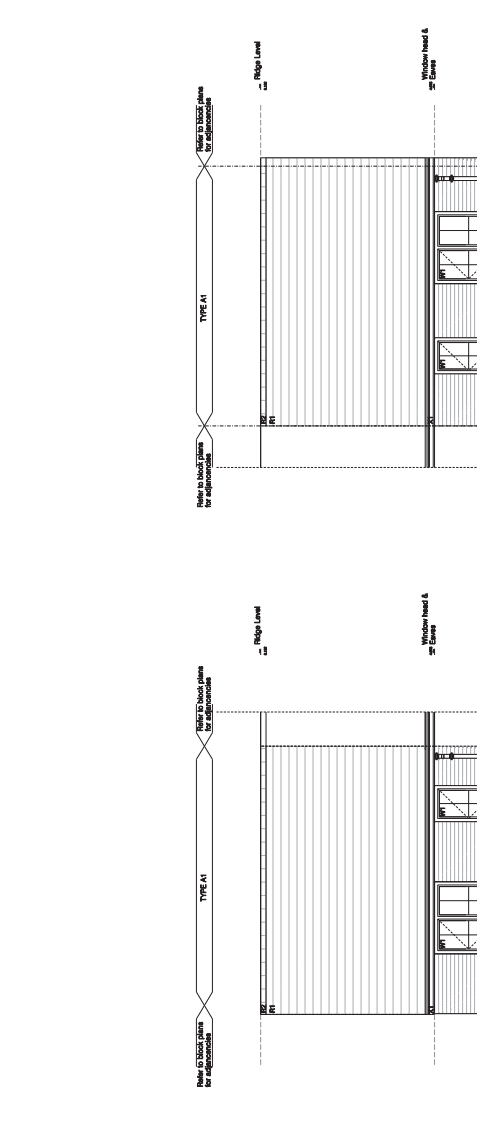
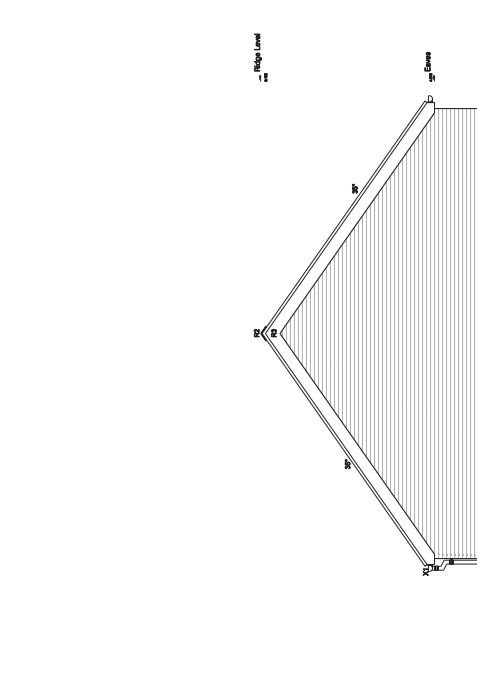
Typical Elevations

HOUSE TYPE A1 - 2 BED

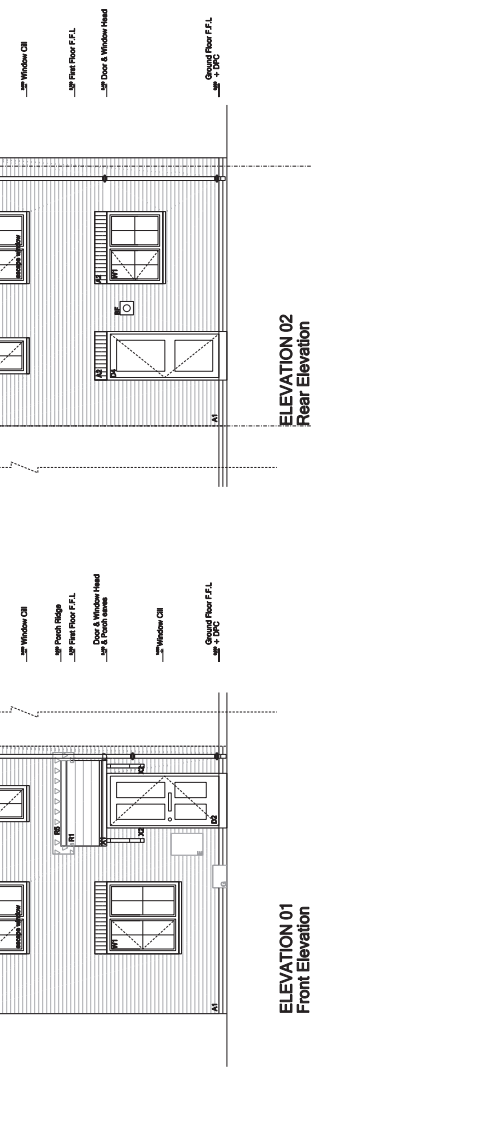
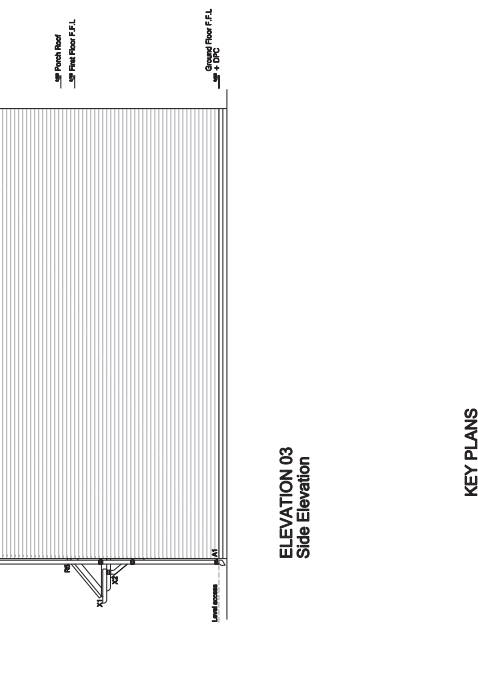
Drawn: 14/03/19
 Checked: IS
 Date: 02/02/19
 Drawn: KWJ
 Checked: LD
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A1 L/C0310

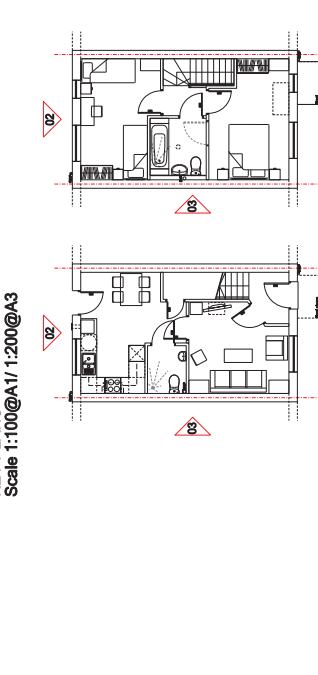
ISSUED FOR PLANNING



ELEVATION 01
 Front Elevation



ELEVATION 03
 Side Elevation



KEY PLANS
 Scale 1:100@A1/1:200@A3

Project
 Land Adjacent to Burns Leisure Centre
 BURNLEY ROAD, BACUP
 for RTB Partnership and Greenvale Homes

Typical Elevations

HOUSE TYPE A1 - 2 BED

Drawn: 14/03/19
 Checked: IS
 Date: 02/02/19
 Drawn: KWJ
 Checked: LD
 Date: 02/02/19

A1 L/C0310

ISSUED FOR PLANNING

Rev	Description	By	Chk	Date
1	Issue for planning	KWJ	AW	14.03.13
2	Revised drawings	KWJ	AW	14.03.13
3	Revised drawings	KWJ	AW	14.03.13
4	Revised drawings	KWJ	AW	14.03.13
5	Revised drawings	KWJ	AW	14.03.13
6	Revised drawings	KWJ	AW	14.03.13
7	Revised drawings	KWJ	AW	14.03.13
8	Revised drawings	KWJ	AW	14.03.13
9	Revised drawings	KWJ	AW	14.03.13

1. Please read in conjunction with application drawings, documents and conditions of offer.

2. Proposals are subject to Building Regulations approval.

3. All construction materials and finishes are to be approved under contract (for others).

4. All construction material details are indicative only and subject to detailed design.

5. Drawings to be used on site must be the latest issue.

6. All party wall and B.O. matters are subject to agreement.

7. Boundary treatments are subject to A.O. approval.

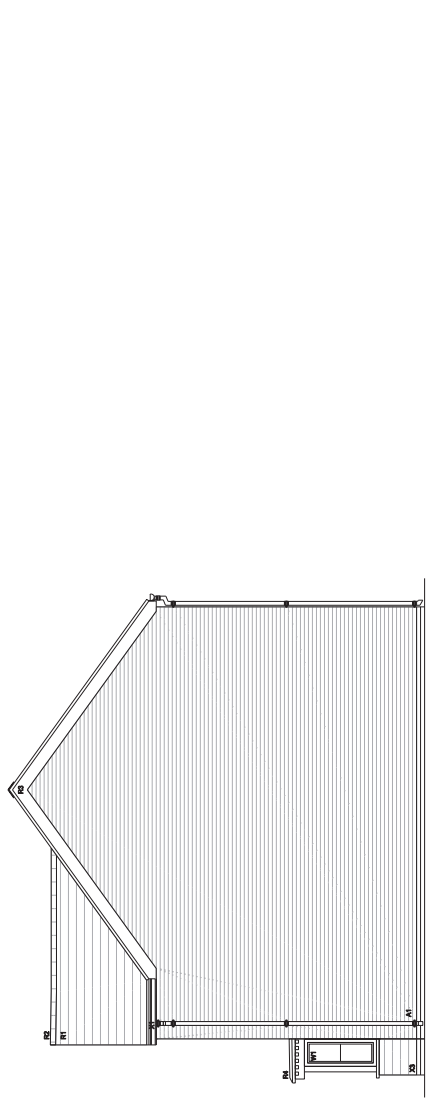
8. External lighting is subject to detail design approved under condition (for others).

MATERIALS LEGEND:

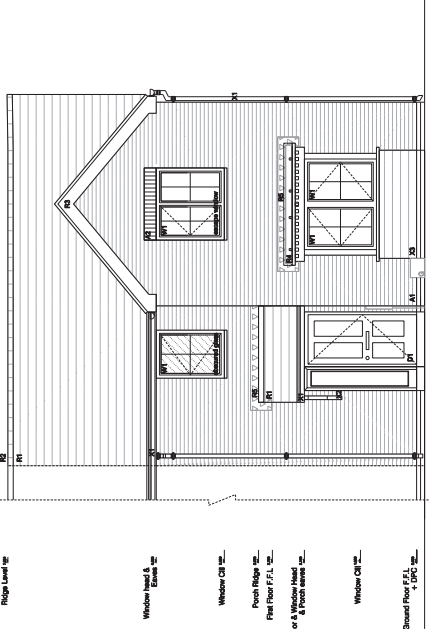
A1 Brickwork, Colour: Chamber Bluff
 A2 Boulder course to window and door heads.
 BF Boiler Flue
 D1 Composite front door with fully glazed upper sashlight.
 D2 Composite front door.
 D3 Fully glazed upper French window.
 D4 Composite back door.
 R1 Interlocking roof tile - Marley Duo Edgepiece or similar approved.
 R2 Ridge tile to match roof.
 R3 UPVC weatherboard board. Colour: white
 R4 GFI to lay window.
 R5 Code 4 lined finishing & cavity trays
 W1 Upper window with glazing bars 1200mm high. Colour: White.
 W2 Lower window with glazing bars 1200mm high. Colour: White.
 X1 Roundwater goods. Half round profile. Colour: black
 X2 Timber gutters/brackets. Painted colour: white
 X3 Downward facing louvers to lay window. Painted colour: dark oak
 □ Details to be checked for compliance. Note: All elements are to be installed in accordance with the manufacturer's instructions. Ensure that the slope and provision are as indicated here and on block (not for general reference purposes)

Project
 Land Adjacent to Bays Leisure Centre
 BURNLEY ROAD, BACUP
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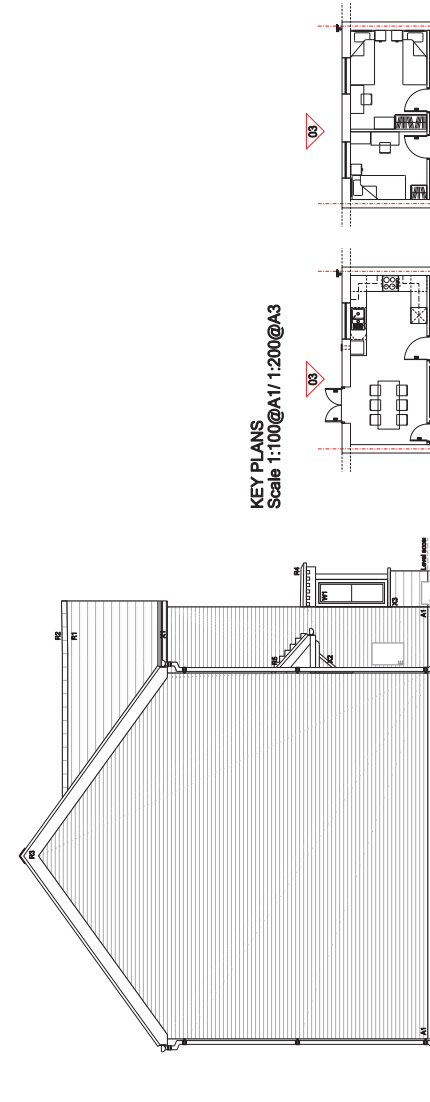
Project
 HOUSE TYPE B1 - 3 BED
 Typical Elevations
 Drawn: KWJ Date: 02.02.2015
 Checked: AW Date: 02.02.2015
 Approved: B
 B1 L/03/10
 ISSUED FOR PLANNING



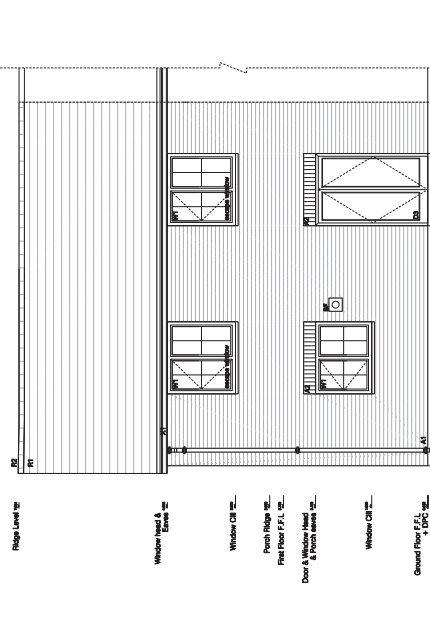
ELEVATION 01
Front Elevation



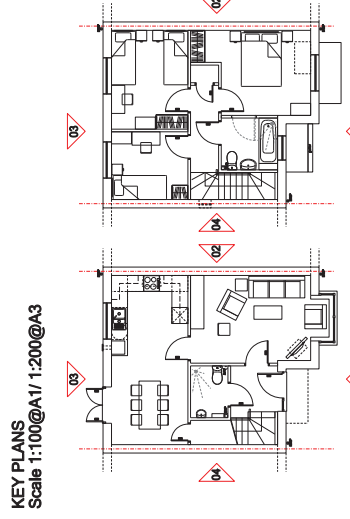
ELEVATION 02
Gable Elevation



ELEVATION 03
Rear Elevation



ELEVATION 04
Gable Elevation



KEY PLANS
Scale 1:100 @ A1/1:200 @ A3

Project
 Land Adjacent to Bays Leisure Centre
 BURNLEY ROAD, BACUP
 for RTB Partnership and Greenvale Homes

Project
 HOUSE TYPE B1 - 3 BED
 Typical Elevations
 Drawn: KWJ Date: 02.02.2015
 Checked: AW Date: 02.02.2015
 Approved: B
 B1 L/03/10
 ISSUED FOR PLANNING