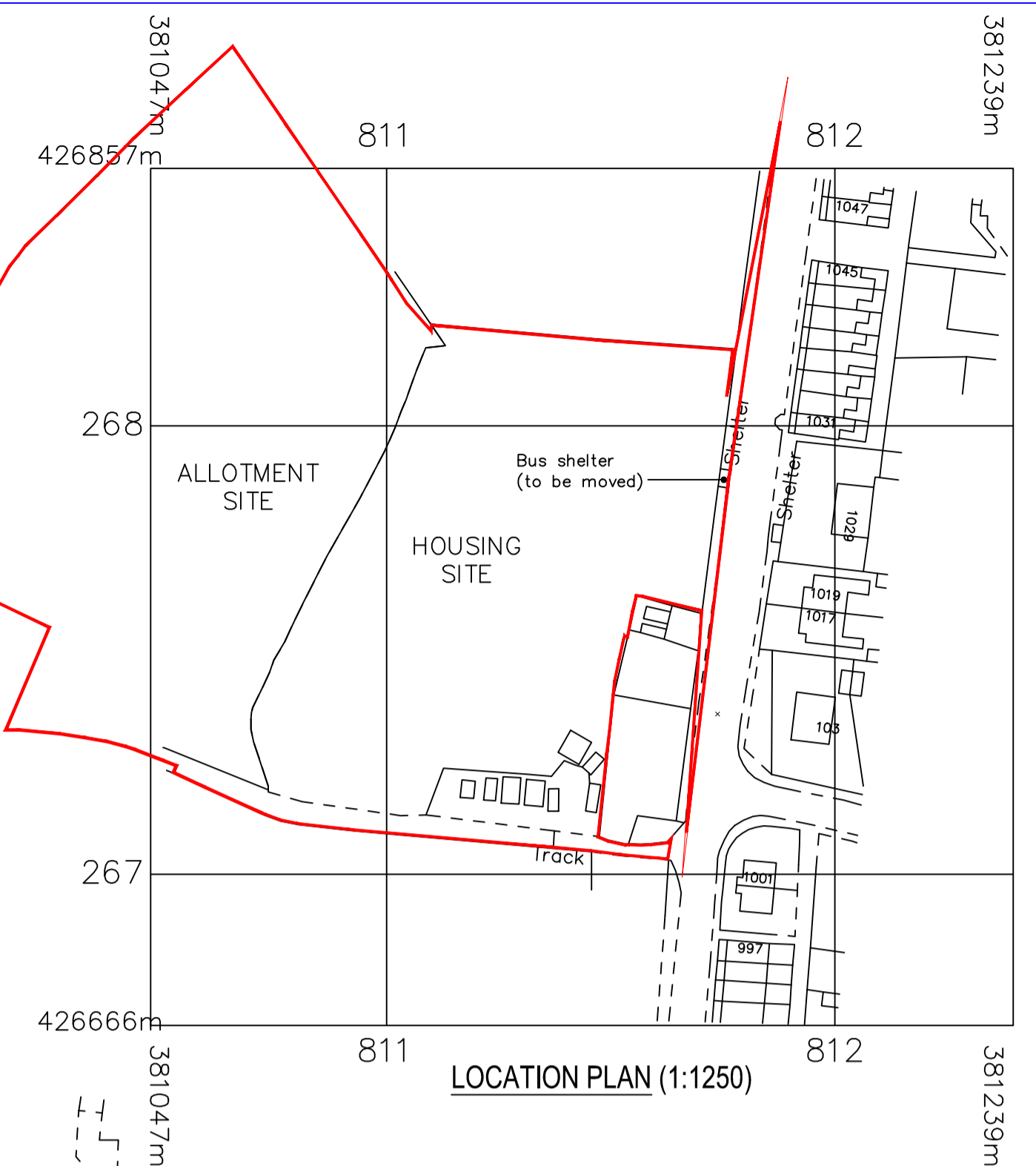
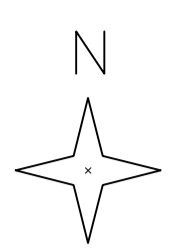
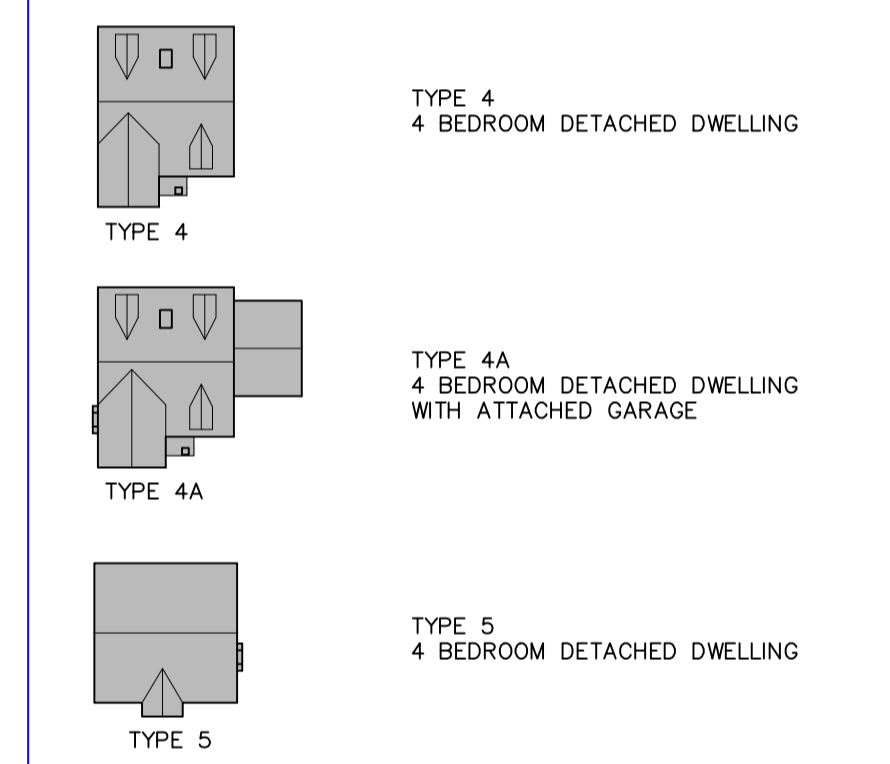


PROPOSED SITE PLAN FOR RESIDENTIAL DEVELOPMENT TO LAND TO THE WEST OF BURNLEY ROAD, LOVECLOUGH, ROSSENDALE  
(SITE ID 652 TO ROSSENDALE STRATEGIC HOUSING LAND AVAILABILITY ASSESSMENT 2010) ~



**SCHEDULE OF UNITS:**  
15 UNITS COMPRISING;  
6No TYPE 4  
3No TYPE 4A  
6No TYPE 5



**NOTES~**

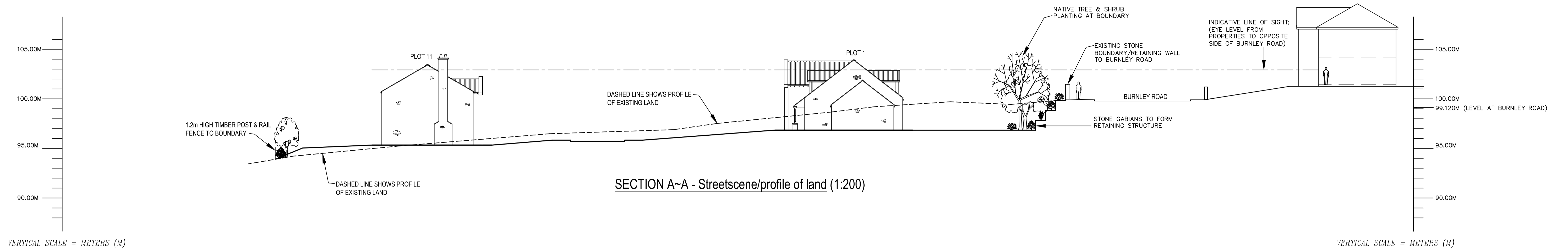
- KEY TO LANDSCAPING & EXTERNAL SURFACES**
- NATIVE LANDSCAPE PLANTING: TO BE NATIVE SPECIES & SPECIES WHICH ARE BENEFICIAL TO WILDLIFE. SPECIES TO INCLUDE: HOLLY, CRAB APPLE, WILD CHERRY, BLACKTHORN, DOG ROSE, ELDER, ROWAN, WYCH ELM.
  - PROPOSED RESIDENTIAL ACCESS TO BE TEGULA PAVING BLOCKS - FLUSH FINISH WITH NO KERB UPSTAND.
  - PROPOSED RESIDENTIAL PATHS TO BE NATURAL STONE FLAGS TO COMPLEMENT BUILDINGS.
  - EXISTING STONE WALLS TO EAST BOUNDARIES TO BE REPAIRED & RETAINED.
  - PROPOSED FENCING: 1.2m HIGH TIMBER POST & RAIL FENCE.
  - FOUL DRAINAGE TO CONNECT TO PUBLIC SEWERS IN BURNLEY ROAD (BY GRAVITY OR PUMPED CONNECTION).
  - SURFACE WATER & STORM WATER ATTENUATION SYSTEM TO CONNECT TO ALLOTMENT IRRIGATION SYSTEM.

**Amendments**

A	06.06.2013	FINISHED FLOOR LEVELS SHOWN TO DWELLINGS.
B	18.06.2013	ALLOTMENT SCHEME INCLUDED WITHIN APPLICATION SITE & FURTHER DETAILS OF ALLOTMENT SCHEME SHOWN TO DRAWING.
C	03.08.2013	FURTHER DETAILS OF ALLOTMENT SCHEME & COMMUNITY GARDEN FACILITY SHOWN TO DRAWING INCLUDING EDUCATION BUILDING, COMPOST TOILET, HORTICULTURAL GROWING HOUSES & STORM WATER STORAGE SYSTEM.

<b>Title</b>			
PROPOSED SITE PLAN FOR RESIDENTIAL DEVELOPMENT OF LAND TO THE WEST OF BURNLEY ROAD, LOVECLOUGH, ROSSENDALE~			
<b>Client</b>			
CL CONSULTANCY			
<b>Dwg. No.</b>			
12/1002/200C/SITE PLAN			
<b>Date</b>	<b>Drawing Scale</b>	<b>Drawn by</b>	<b>Status</b>
02.11.12	A1@1:500	JPE	ISSUE

PROPOSED SITE PLAN (1:500)



**NOTES~**

LEVELS SHOWN RELATE TO SURVEY STATIONS IDENTIFIED TO TOPOGRAPHICAL SURVEY PLAN REF:12/1002/101/TOPOGRHICAL SURVEY PLAN.

*Amendments*

*Title*  
RESIDENTIAL DEVELOPMENT OF LAND TO THE WEST OF BURNLEY ROAD, LOVECLOUGH, ROSSENDALE~

*Client*  
GL CONSULTANCY

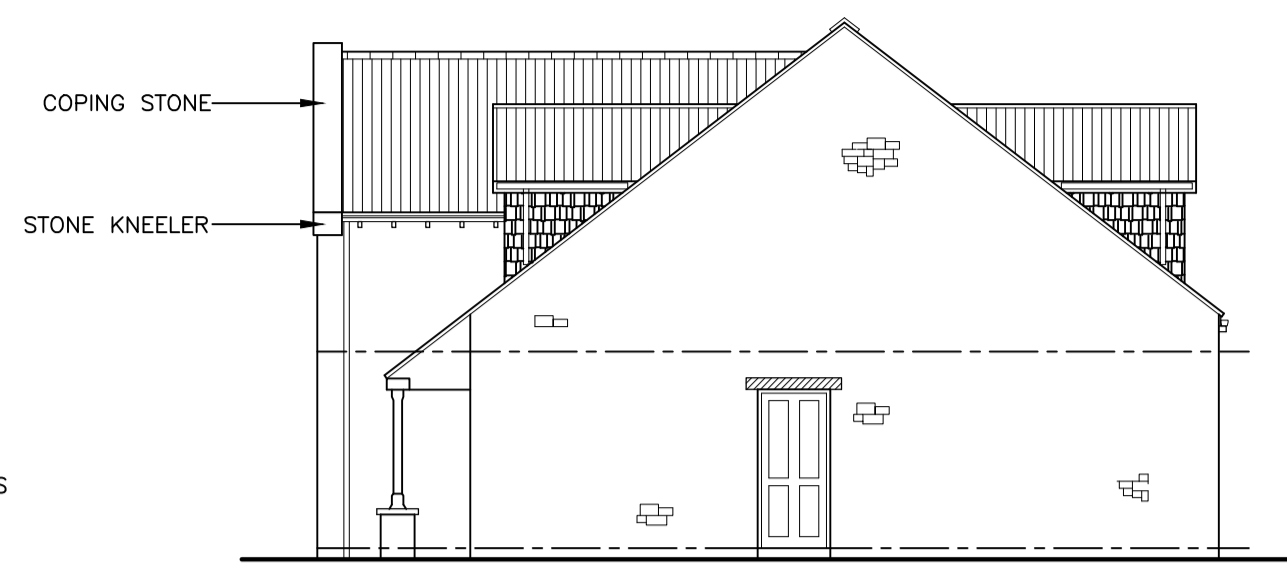
*Dwg. No.*  
12/1002/204/DESIGN SECTIONS

<i>Date</i>	<i>Drawing Scale</i>	<i>Drawn by</i>	<i>Status</i>
04.06.13	A1@1:200	JPE	ISSUE

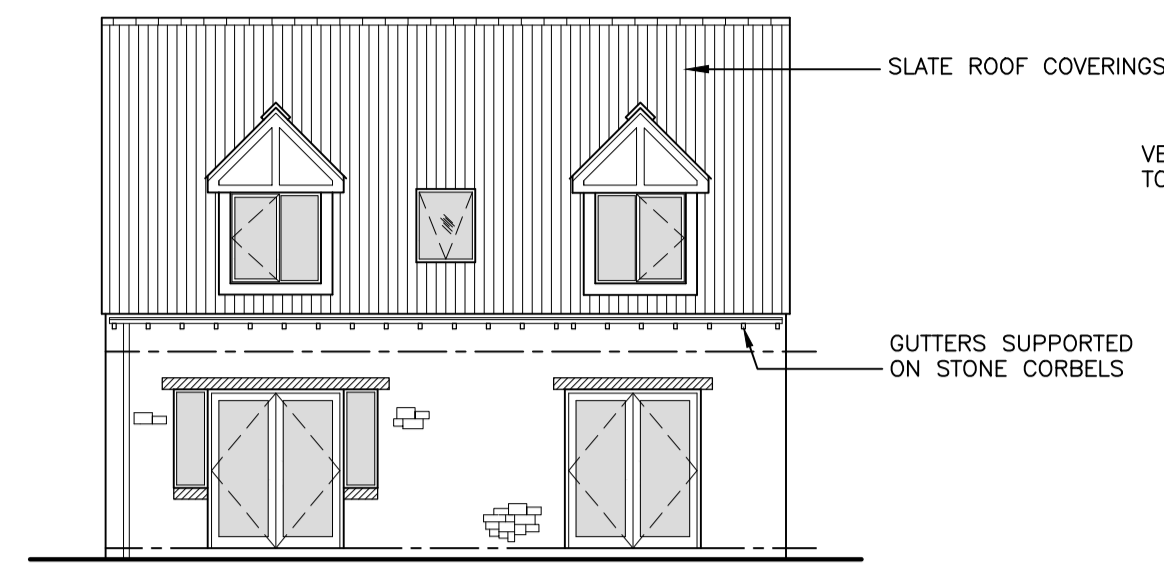
**JPE CONSULTANCY**  
ARCHITECTURAL DESIGN & PLANNING  
9 Woodend Drive, Stalybridge, Cheshire, SK15 2SF  
Telephone 01875 627 888 jim@jpeconsultancy.com



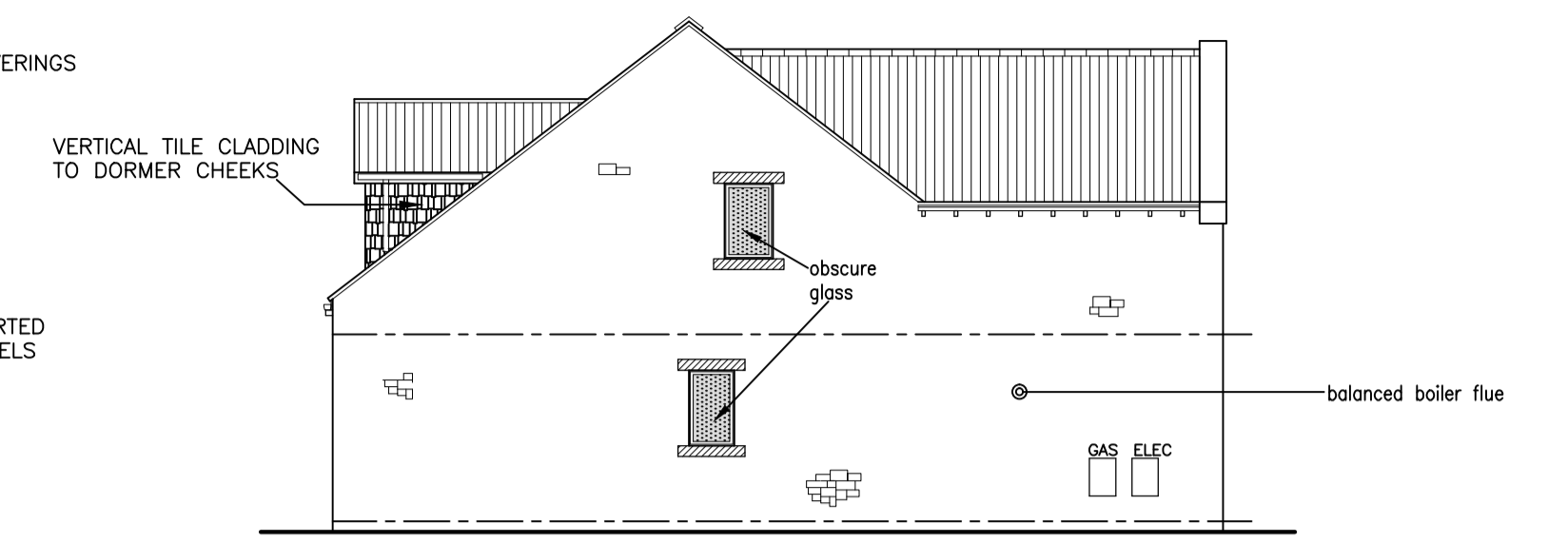
FRONT ELEVATION (1:100)



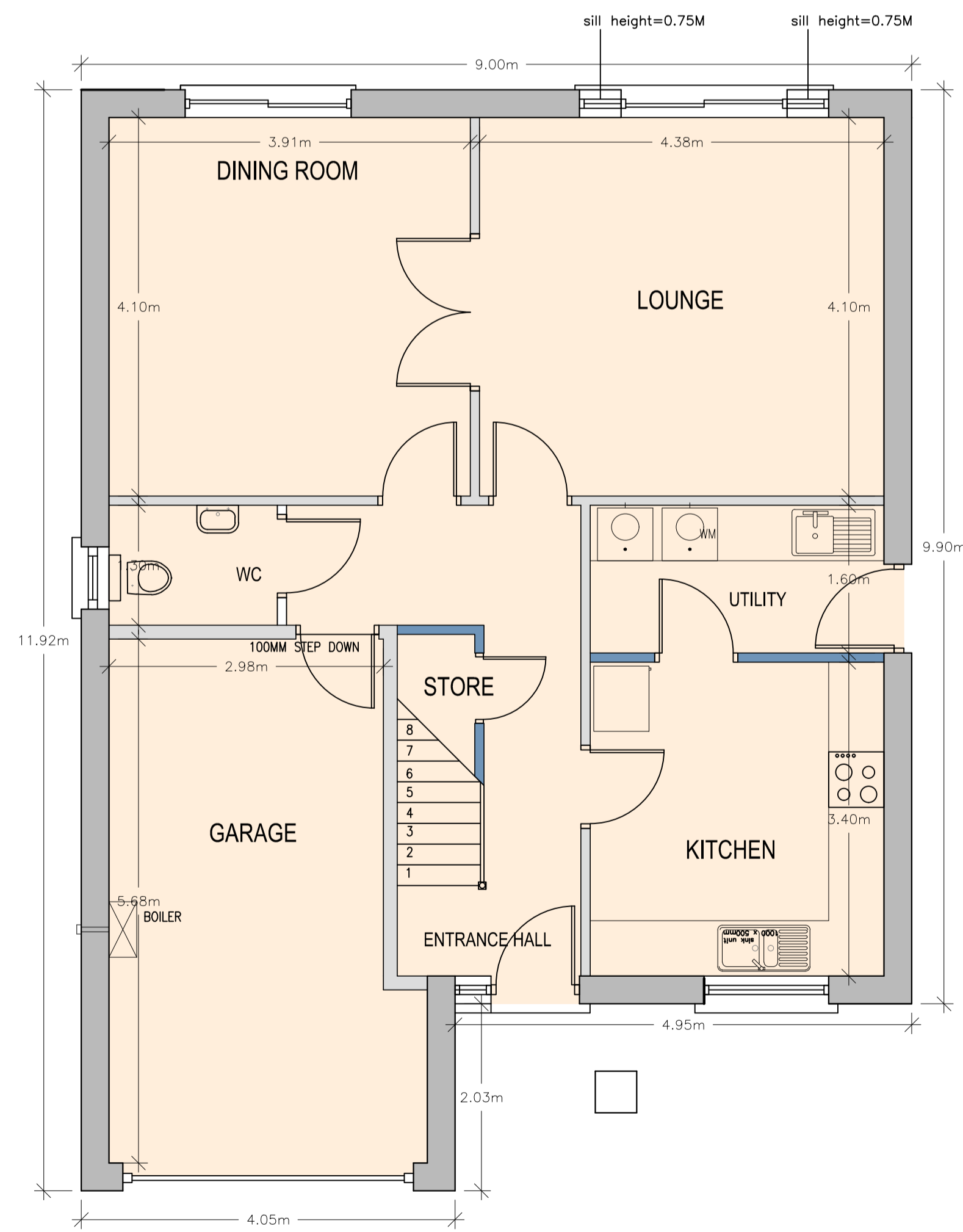
SIDE ELEVATION (1:100)



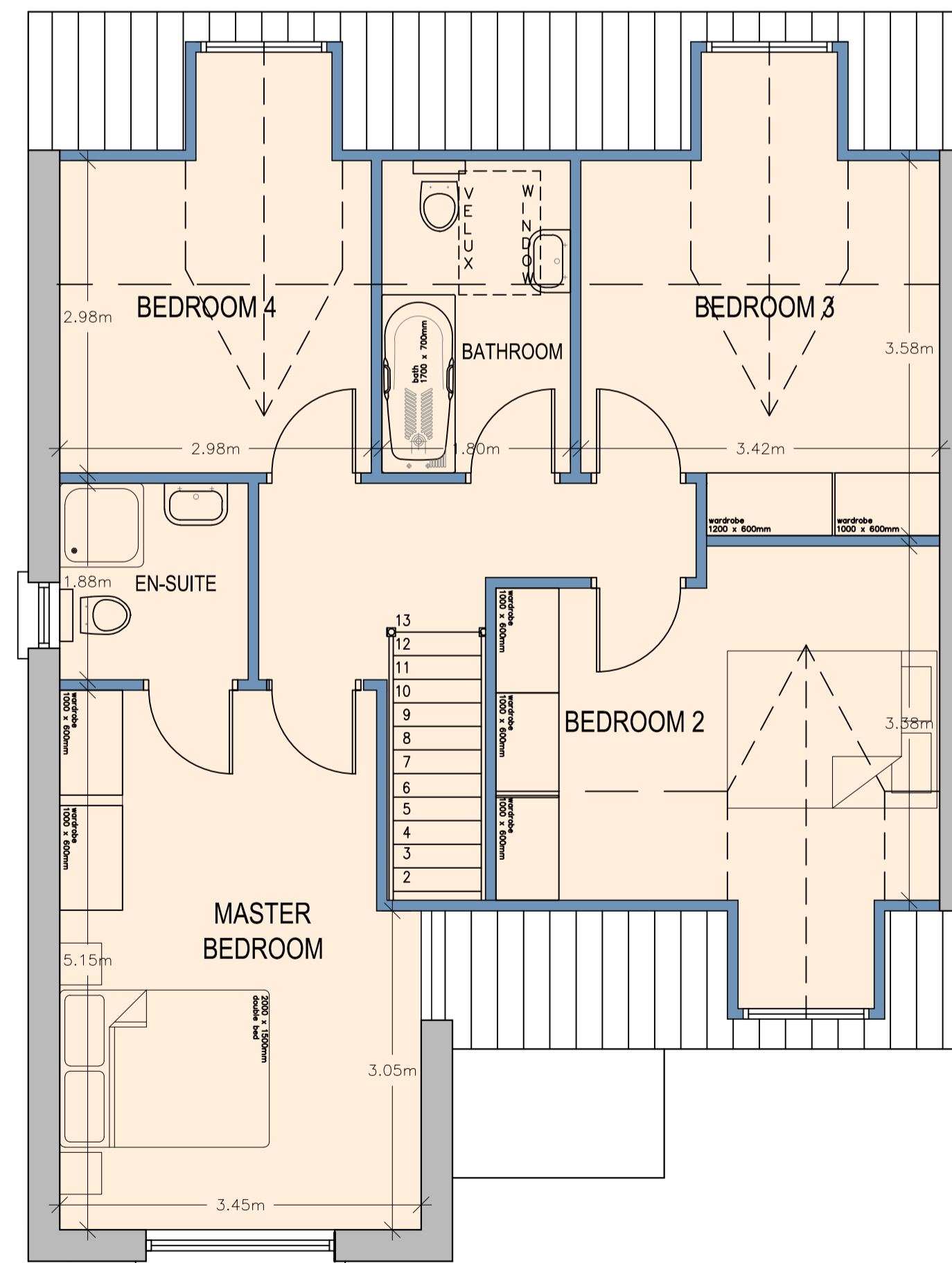
REAR ELEVATION (1:100)



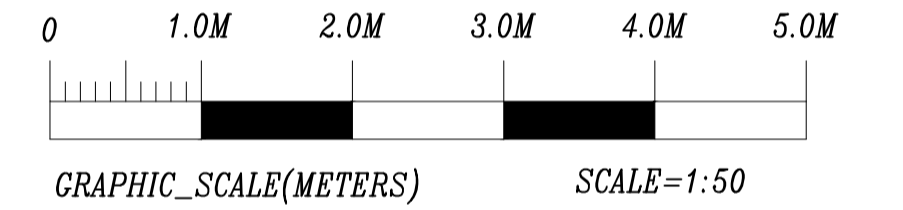
SIDE ELEVATION (1:100)



PROPOSED GROUND FLOOR PLAN (1:50)



PROPOSED FIRST FLOOR PLAN (1:50)

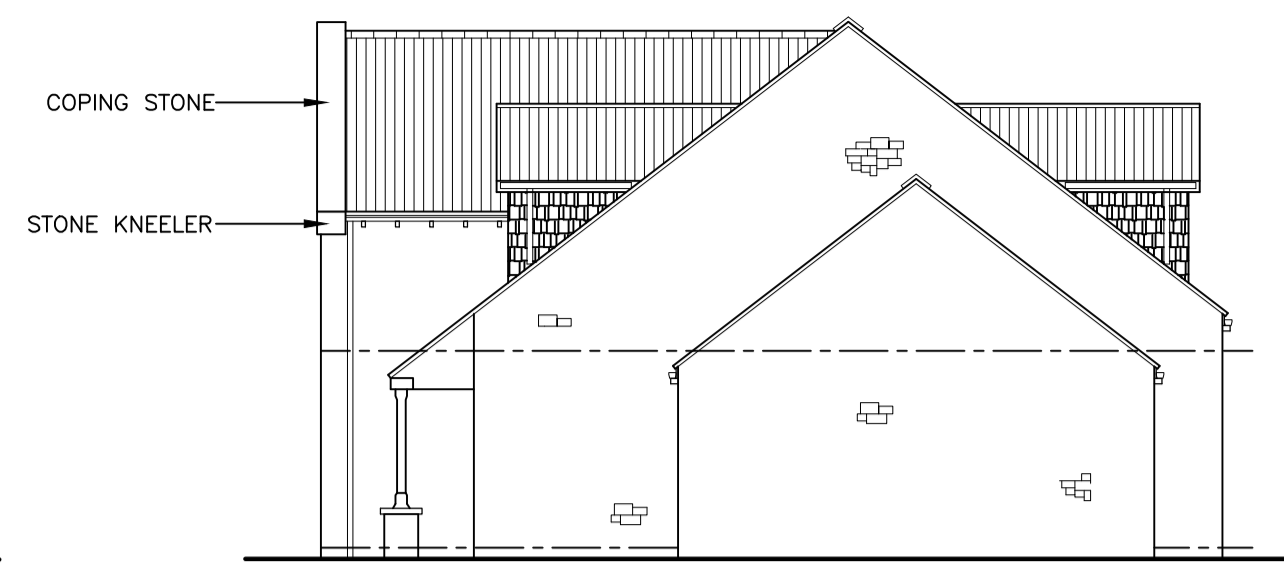


NOTES~

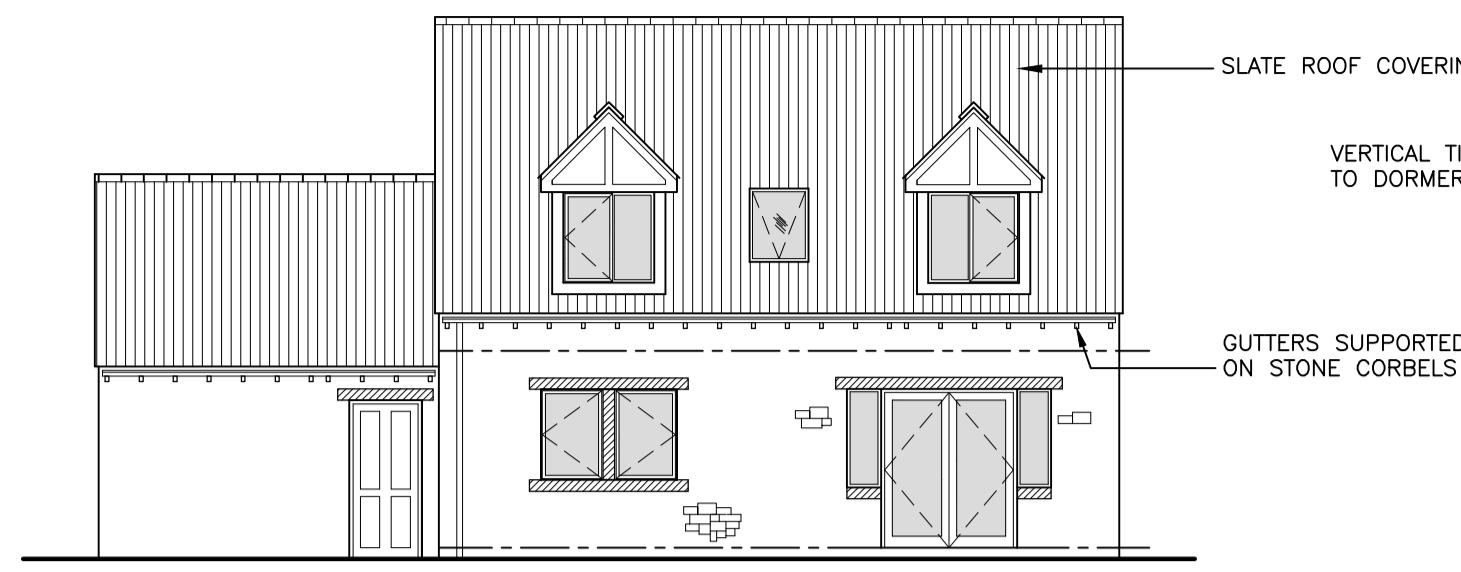
Amendments			
Title			
PROPOSED PLANS FOR HOUSE TYPE 4 TO RESIDENTIAL DEVELOPMENT AT BURNLEY ROAD, LOVECLOUGH~			
Client			
GL CONSULTANCY			
Dwg. No.			
12/1002/201/TYPE 4			
Date	Plot Scale	Drawn by	Status
15.04.2013	A1@1:50	JPE	DRAFT
JPE CONSULTANCY ARCHITECTURAL DESIGN & PLANNING 9 Woodend Drive, Stalybridge, Cheshire, SK15 2SF Telephone: 017875 627 988 jim@jpeconsultancy.co.uk			



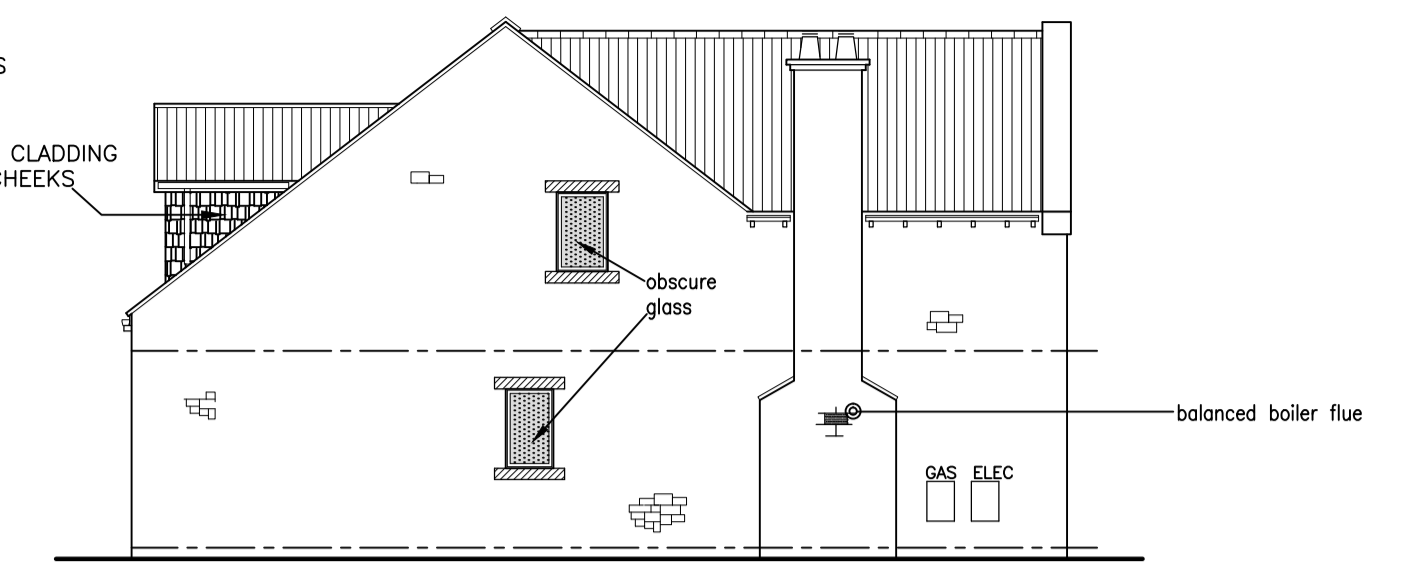
FRONT ELEVATION (1:100)



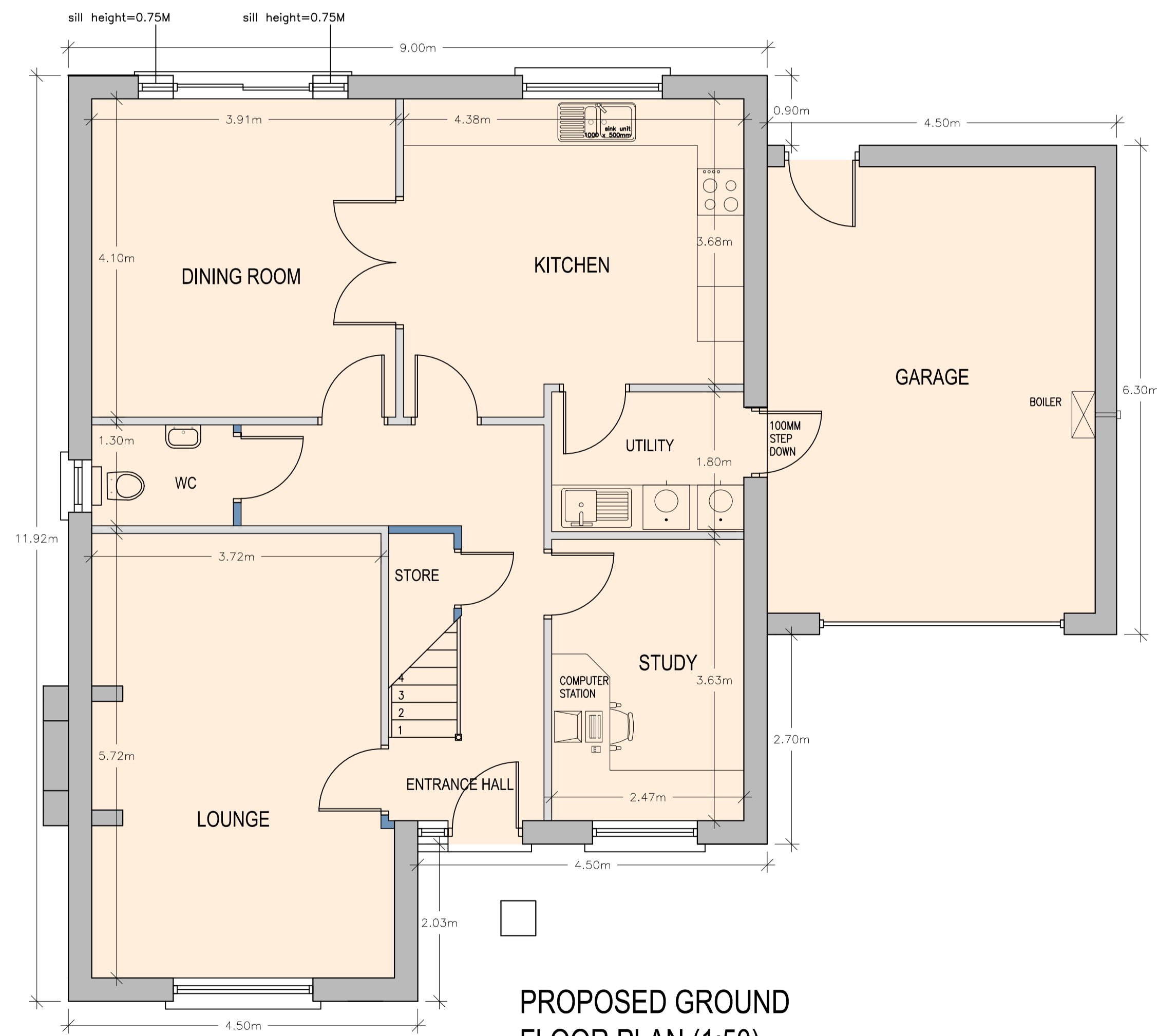
SIDE ELEVATION (1:100)



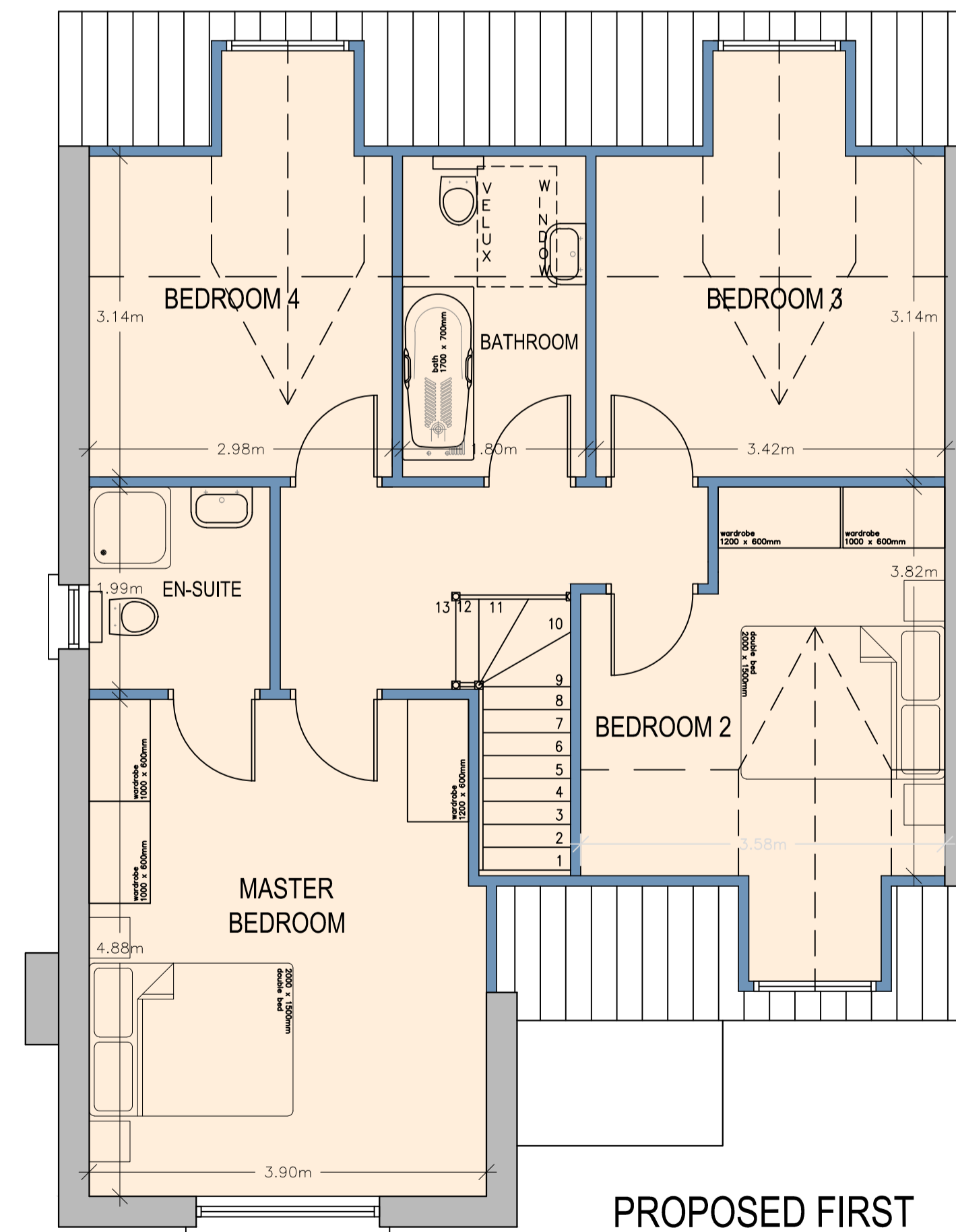
REAR ELEVATION (1:100)



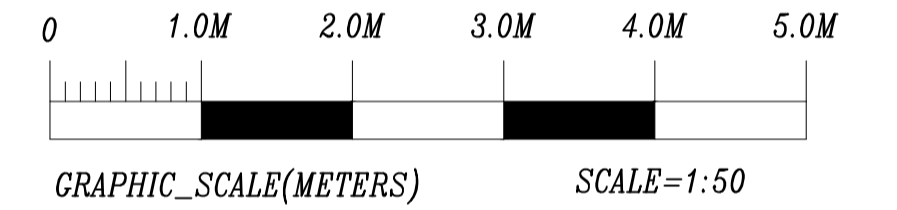
SIDE ELEVATION (1:100)



PROPOSED GROUND FLOOR PLAN (1:50)



PROPOSED FIRST FLOOR PLAN (1:50)



LINE OF DIMINISHING HEADROOM (below 2M)

NOTES~

Amendments

Title

PROPOSED PLANS FOR HOUSE TYPE 4A TO RESIDENTIAL DEVELOPMENT AT BURNLEY ROAD, LOVECLOUGH~

Client

GL CONSULTANCY

Dwg. No.

12/1002/201/TYPE 4A

Date

15.04.2013

Plot Scale

A1@1:50

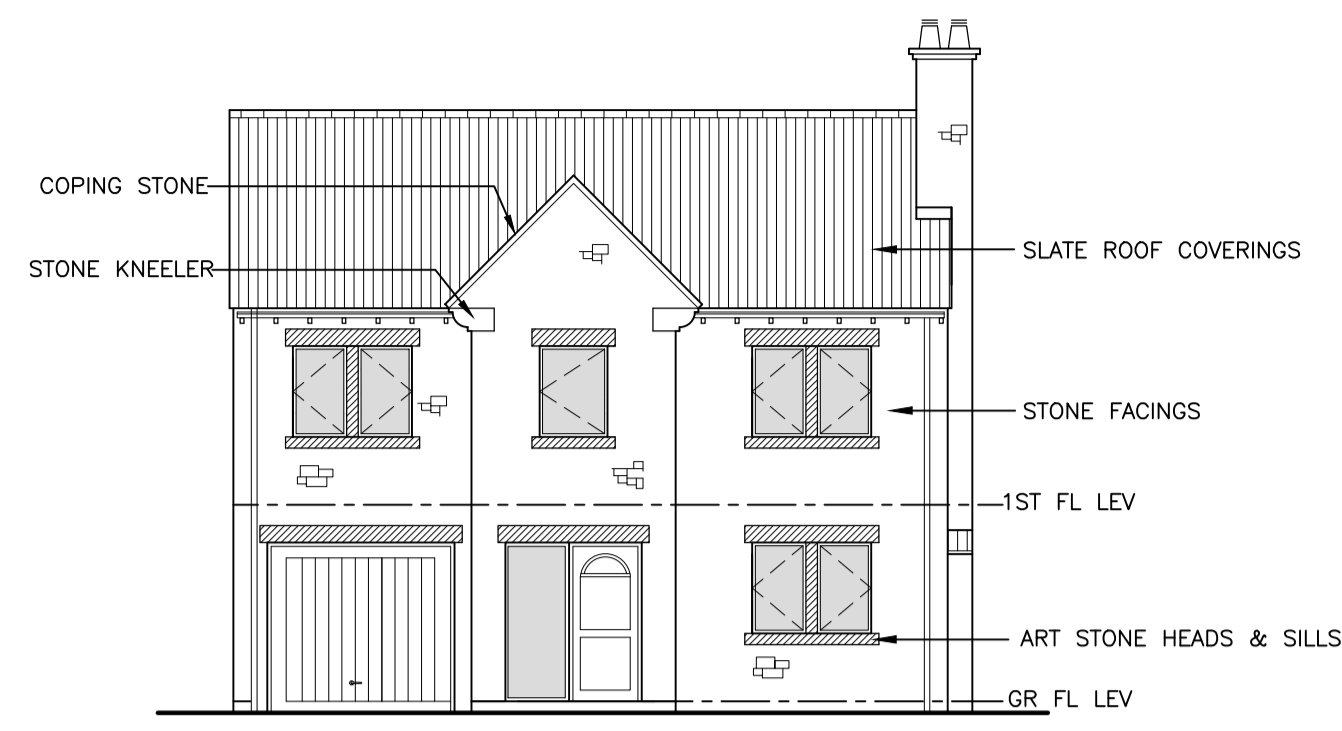
Drawn by

JPE

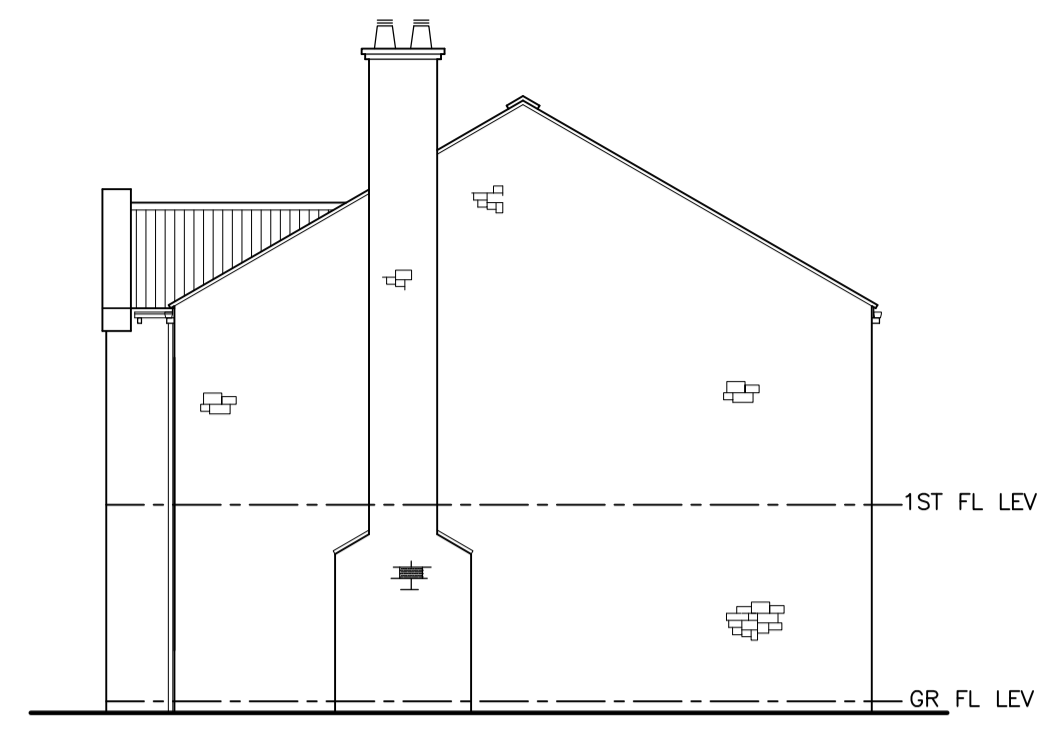
Status

DRAFT

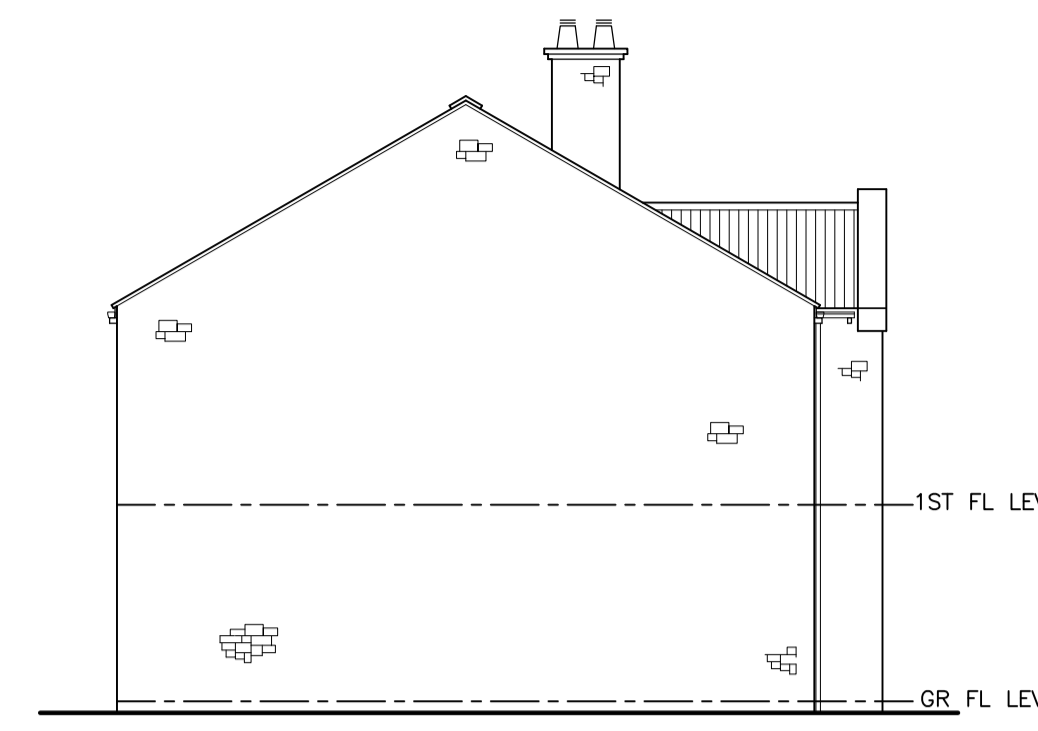
JPE CONSULTANCY  
ARCHITECTURAL DESIGN & PLANNING  
9 Woodend Drive, Stalybridge, Cheshire, SK15 2SF  
Telephone: 017875 627 988 jim@jpeconsultancy.co.uk



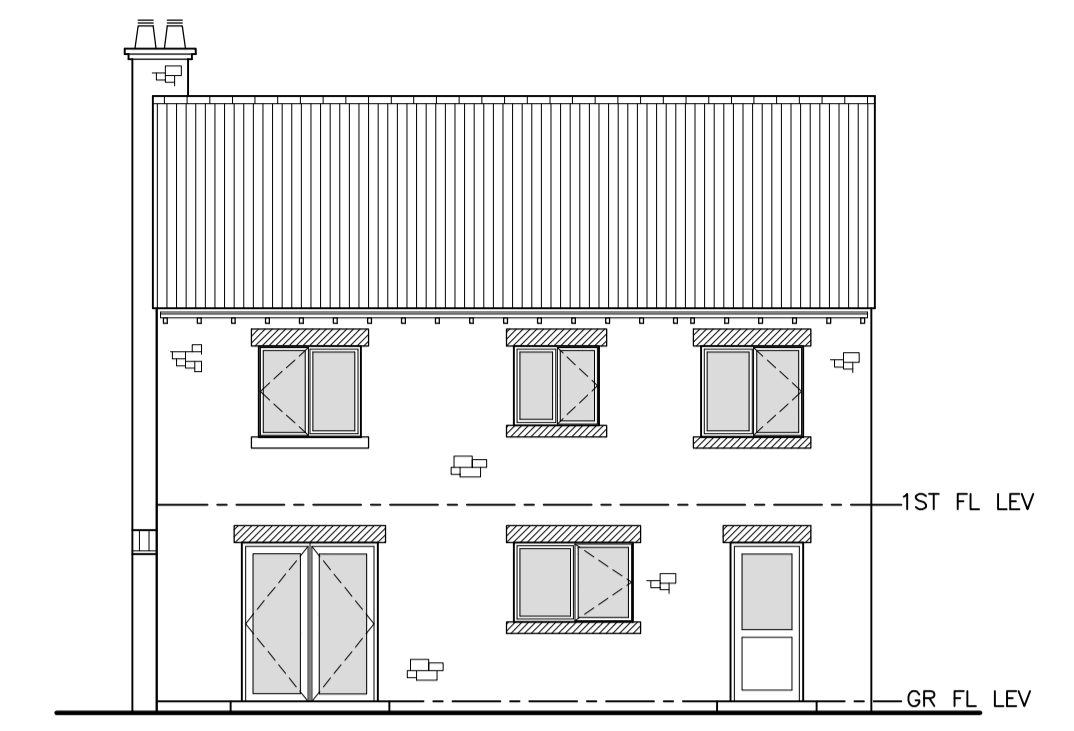
FRONT ELEVATION (1:100)



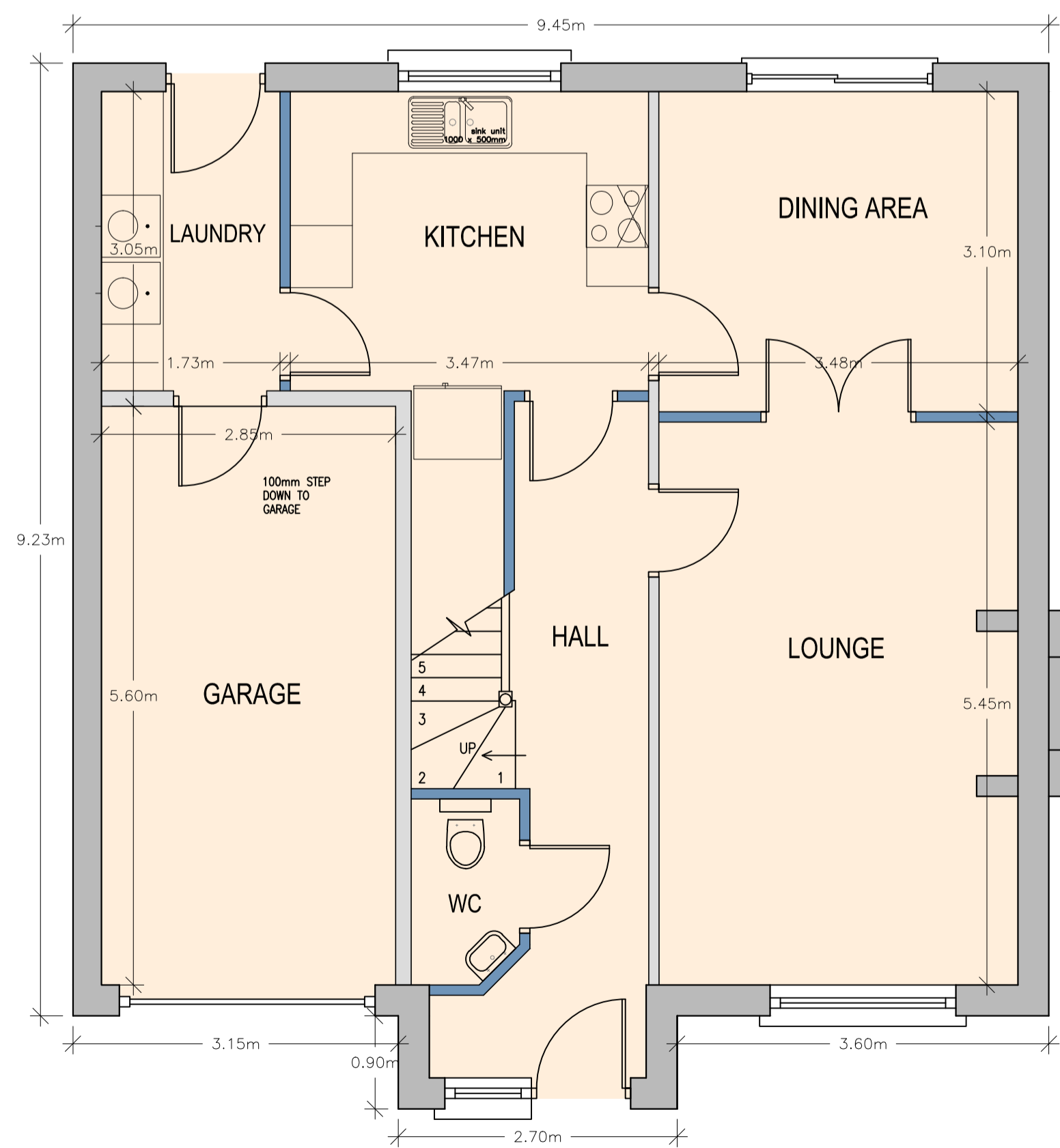
SIDE ELEVATION (1:100)



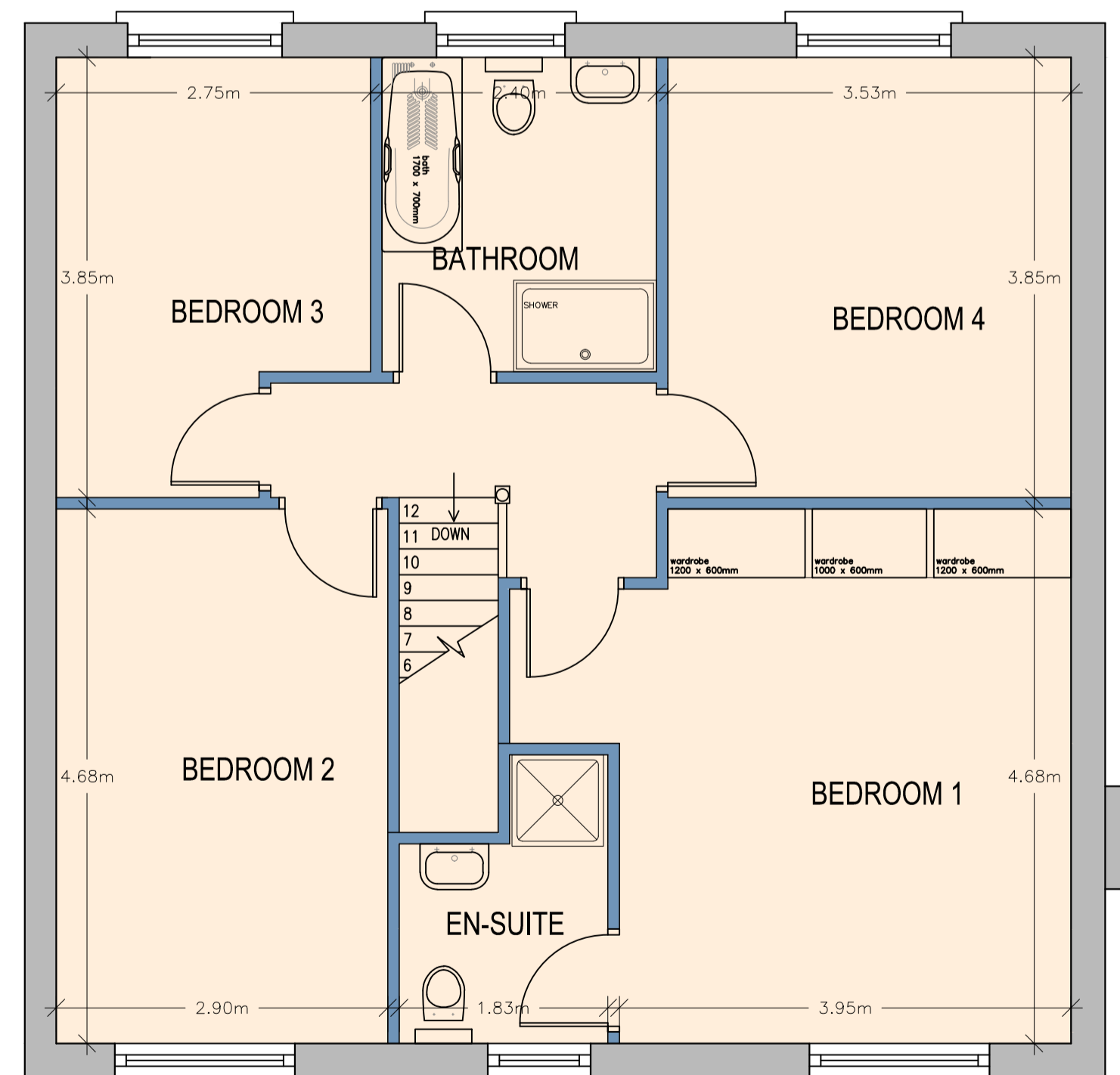
SIDE ELEVATION (1:100)



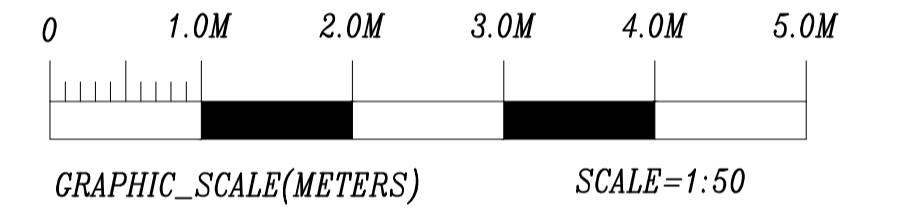
REAR ELEVATION (1:100)



GROUND FLOOR PLAN (1:50)



FIRST FLOOR PLAN (1:50)



NOTES~

Amendments

Title

PROPOSED PLANS FOR HOUSE TYPE 5 TO RESIDENTIAL DEVELOPMENT AT BURNLEY ROAD, LOVECLOUGH~

Client

GL CONSULTANCY

Dwg. No.

12/1002/203/TYPE 5

Date

15.04.2013

Plot Scale

A1@1:50

Drawn by

JPE

Status

DRAFT

JPE CONSULTANCY  
 ARCHITECTURAL DESIGN & PLANNING  
 9 Woodend Drive, Stalybridge, Cheshire, SK15 2ST  
 Telephone: 0161 751 627 988 jim@jpeconsultancy.co.uk

SATELLITE PLAN TO SHOW PROPOSED SITE IN CONTEXT WITH DEVELOPED AREAS AND LOCAL AMENITIES:  
SHLAA 2010 REF - SITE 1D 652 'LAND 1376 OFF BURMLEY ROAD' LOVE CLOUGH, ROSSENDALE

