

Rev	Description	By	Chk	Date
-	ISSUED FOR PLANNING	KHW	IG	22.03.13



- PLANNING NOTES:**
1. Please read in conjunction with application drawings, documents and other supporting information.
  2. Proposals are subject to Building Regulations approval.
  3. Landscape proposals indicative only and subject to detail design approved under condition (by others).
  4. All construction section/ details are indicative only and subject to detailed design.
  5. Drawings based on existing measured data provided by TriCAD Solutions Ltd, 28th January 2013.
  6. All party wall and ROL matters are subject to agreement.
  7. Boundary treatments are subject to ALO approval.
  8. External lighting is subject to detail design approved under condition (by others).



**Project**  
 Land Adjacent to Bacup Leisure Centre  
 BURNLEY ROAD, BACUP  
 for RTB Partnership and Greenvale Homes

**Title**  
 LOCATION PLAN

**Drawn:** KHW      **Checked:** IG      **Approved:** .  
**Scale:** 1:1250@A3      **Date:** 06.03.2013      **Project No:** M7591

**Drawing No:** L(00)00      **Revision:** -

**ISSUED FOR PLANNING**

**hurd/rolland**  
 ARCHITECTS  
 37/38 Park  
 44 Park Street  
 Manchester M2 5SP  
 Tel: 0161 832 5321  
 Fax: 0161 832 5242

All dimensions to be noted. Do not scale from this drawing. Report any discrepancies to the Architect / CA immediately. All Areas are approximate and use of these Areas for commercial purposes should include due allowance for variations inherent in design development and building processes. This drawing is the copyright and property of Hurd/rolland Partnership and must not be reproduced without prior written permission.

Rev	Description	By	Chk	Date
-	Initial Issue	KHW	IG	11.02.13
A	Minor updates following Civil Engineer's comments	KHW	IG	05.03.13
B	Turning heads added. Semi-buried gas meter boxes indicated and footpaths adjusted to suit. Retaining wall indicated to western boundary.	KHW	SD	19.03.13
C	ISSUED FOR PLANNING	KHW	IG	22.03.13
D	Additional site levels added. ISSUED FOR PLANNING	KHW	IG	09.04.13
E	Junction revisions to suit electricity connections - ISSUED FOR PLANNING	KHW	GC	17.04.13
F	Plots 14-20 adjusted to provide additional distance from northern boundary/mound. Turning head added to front of Plot 14	KHW	GC	13.05.22
G	Levels updated to suit maximum 1:12 gradient to roads. ISSUED FOR PLANNING.	KHW	IG	31.05.13
H	Plot no's 14-20 revised. ISSUED FOR PLANNING.	KHW	IG	24.06.13
J	Plot no's 14-20 revised. ISSUED FOR PLANNING.	KHW	IG	25.06.13



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  - All construction section/ details are indicative only and subject to detailed design.
  - Drawings based on existing measured data provided by TriCAD Solutions Ltd, 28th January 2013.
  - All party wall and ROL matters are subject to agreement.
  - Boundary treatments are subject to ALO approval.
  - External lighting is subject to detail design approved under condition (by others).

- LEGEND:**
- Access Road
  - Raised block paving traffic calming to access road
  - Block paving to driveways
  - Proposed trees.
  - (Existing trees to be retained where possible).
  - Indicative garden shed
  - Indicative rotary washing line
  - Site Boundary
  - House plot boundary

**Project**  
Land Adjacent to Bacup Leisure Centre  
BURNLEY ROAD, BACUP  
for RTB Partnership and Greenvale Homes

**Title**  
PROPOSED SITE PLAN

**Drawn:** KHW      **Checked:** GTC      **Approved:**  
**Scale:** 1:500@A3      **Date:** 11.02.2013      **Project No:** M7591

**Drawing No:** L(01)10      **Revision:** J

**ISSUED FOR PLANNING**

**hurd/rolland**  
Architects  
311 Park  
44 Park Street  
Manchester M2 5PQ  
Tel: 0161 832 5321  
Fax: 0161 832 5242

Rev	Description	By	Chk	Date
1	Initial Issue	KWJ	LD	14.03.19
2	Revised to include comments	KWJ	LD	14.03.19
3	Revised to include comments	KWJ	LD	14.03.19
4	Revised to include comments	KWJ	LD	14.03.19
5	Revised to include comments	KWJ	LD	14.03.19
6	Revised to include comments	KWJ	LD	14.03.19
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46	Revised to include comments	KWJ	LD	14.03.19
47	Revised to include comments	KWJ	LD	14.03.19
48	Revised to include comments	KWJ	LD	14.03.19
49	Revised to include comments	KWJ	LD	14.03.19
50	Revised to include comments	KWJ	LD	14.03.19

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 4. All dimensions are in millimetres unless otherwise stated.  
 5. Drawings based on existing measured data provided by TICAD Solutions Ltd, 28th January 2019.  
 6. All party wall and RCH matters are subject to agreement.  
 7. Boundary treatments are subject to A.L.D approval.  
 8. External lighting is subject to detail design approved under condition (B) others.  
 9. External lighting is subject to detail design approved under condition (B) others.

**MATERIALS LEGEND:**  
 A1 Brickwork, Colour: Chamber Bluff  
 A2 Solder course to window and door heads.  
 BF Boiler Flue  
 D1 Composite front door with fully glazed upvc sashlight.  
 D2 Composite front door.  
 D3 Fully glazed upvc french doorset.  
 D4 Composite back door.  
 F1 Insulating roof tile - Minsky Duo Edgework or similar approval.  
 F2 Ridge tiles to match roof.  
 F3 UPVC fascias/ridge board. Colour: white  
 F4 GPR to bay window.  
 F5 Code 4 lead flashing & cavity trays  
 W1 UPVC windows with white being operating lights. Colour: White.  
 W2 UPVC windows with black being operating lights. Colour: Black.  
 W3 UPVC windows with grey being operating lights. Colour: Grey.  
 X1 Hammer goods. Half round profile. Colour: black  
 X2 Timber gables/bracket. Painted colour: white  
 X3 Shownood timber boarding to bay window. Stained colour: dark oak

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 7. Boundary treatments are subject to A.L.D approval.  
 8. External lighting is subject to detail design approved under condition (B) others.  
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**MATERIALS LEGEND:**  
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 BF Boiler Flue  
 D1 Composite front door with fully glazed upvc sashlight.  
 D2 Composite front door.  
 D3 Fully glazed upvc french doorset.  
 D4 Composite back door.  
 F1 Insulating roof tile - Minsky Duo Edgework or similar approval.  
 F2 Ridge tiles to match roof.  
 F3 UPVC fascias/ridge board. Colour: white  
 F4 GPR to bay window.  
 F5 Code 4 lead flashing & cavity trays  
 W1 UPVC windows with white being operating lights. Colour: White.  
 W2 UPVC windows with black being operating lights. Colour: Black.  
 W3 UPVC windows with grey being operating lights. Colour: Grey.  
 X1 Hammer goods. Half round profile. Colour: black  
 X2 Timber gables/bracket. Painted colour: white  
 X3 Shownood timber boarding to bay window. Stained colour: dark oak

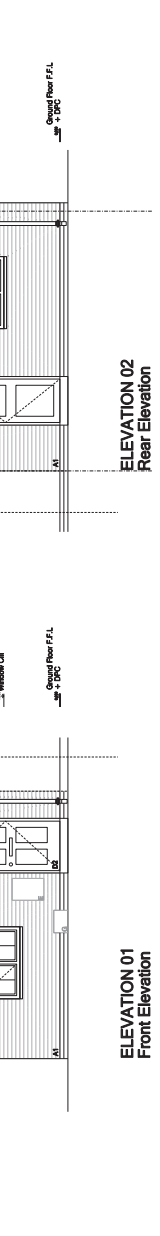
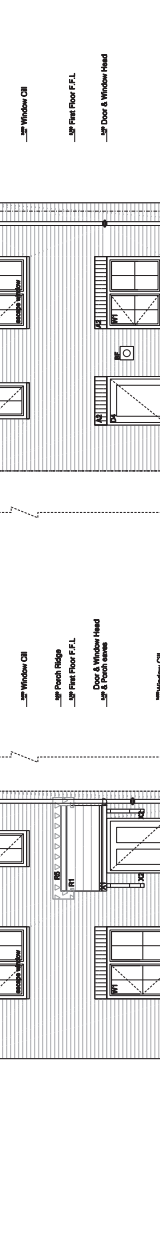
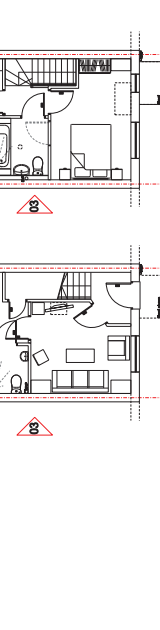
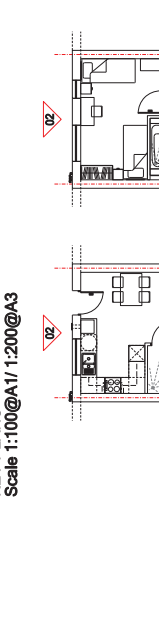
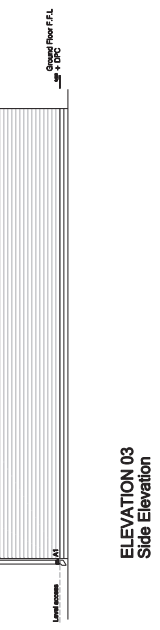
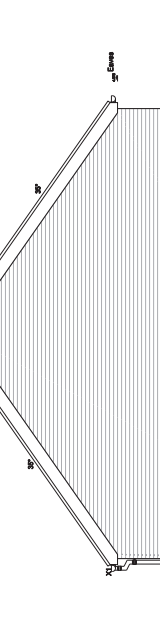
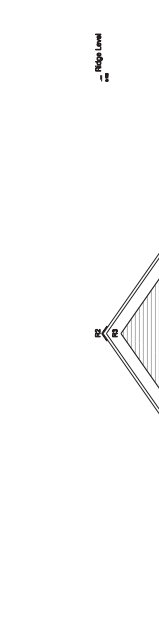
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 7. Boundary treatments are subject to A.L.D approval.  
 8. External lighting is subject to detail design approved under condition (B) others.  
 9. External lighting is subject to detail design approved under condition (B) others.

**MATERIALS LEGEND:**  
 A1 Brickwork, Colour: Chamber Bluff  
 A2 Solder course to window and door heads.  
 BF Boiler Flue  
 D1 Composite front door with fully glazed upvc sashlight.  
 D2 Composite front door.  
 D3 Fully glazed upvc french doorset.  
 D4 Composite back door.  
 F1 Insulating roof tile - Minsky Duo Edgework or similar approval.  
 F2 Ridge tiles to match roof.  
 F3 UPVC fascias/ridge board. Colour: white  
 F4 GPR to bay window.  
 F5 Code 4 lead flashing & cavity trays  
 W1 UPVC windows with white being operating lights. Colour: White.  
 W2 UPVC windows with black being operating lights. Colour: Black.  
 W3 UPVC windows with grey being operating lights. Colour: Grey.  
 X1 Hammer goods. Half round profile. Colour: black  
 X2 Timber gables/bracket. Painted colour: white  
 X3 Shownood timber boarding to bay window. Stained colour: dark oak

**PLANNING NOTES:**  
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**MATERIALS LEGEND:**  
 A1 Brickwork, Colour: Chamber Bluff  
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 D2 Composite front door.  
 D3 Fully glazed upvc french doorset.  
 D4 Composite back door.  
 F1 Insulating roof tile - Minsky Duo Edgework or similar approval.  
 F2 Ridge tiles to match roof.  
 F3 UPVC fascias/ridge board. Colour: white  
 F4 GPR to bay window.  
 F5 Code 4 lead flashing & cavity trays  
 W1 UPVC windows with white being operating lights. Colour: White.  
 W2 UPVC windows with black being operating lights. Colour: Black.  
 W3 UPVC windows with grey being operating lights. Colour: Grey.  
 X1 Hammer goods. Half round profile. Colour: black  
 X2 Timber gables/bracket. Painted colour: white  
 X3 Shownood timber boarding to bay window. Stained colour: dark oak

**PLANNING NOTES:**  
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 7. Boundary treatments are subject to A.L.D approval.  
 8. External lighting is subject to detail design approved under condition (B) others.  
 9. External lighting is subject to detail design approved under condition (B) others.



**ELEVATION 01**  
Front Elevation

**ELEVATION 02**  
Rear Elevation

**ELEVATION 03**  
Side Elevation

**ELEVATION 04**  
Side Elevation

**ELEVATION 05**  
Side Elevation

**ELEVATION 06**  
Side Elevation

**ELEVATION 07**  
Side Elevation

**ELEVATION 08**  
Side Elevation

**ELEVATION 09**  
Side Elevation

**ELEVATION 10**  
Side Elevation

**KEY PLANS**  
Scale 1:100@A1/ 1:200@A3

**KEY PLANS**  
Scale 1:100@A1/ 1:200@A3

**KEY PLANS**  
Scale 1:100@A1/ 1:200@A3

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Scale 1:100@A1/ 1:200@A3

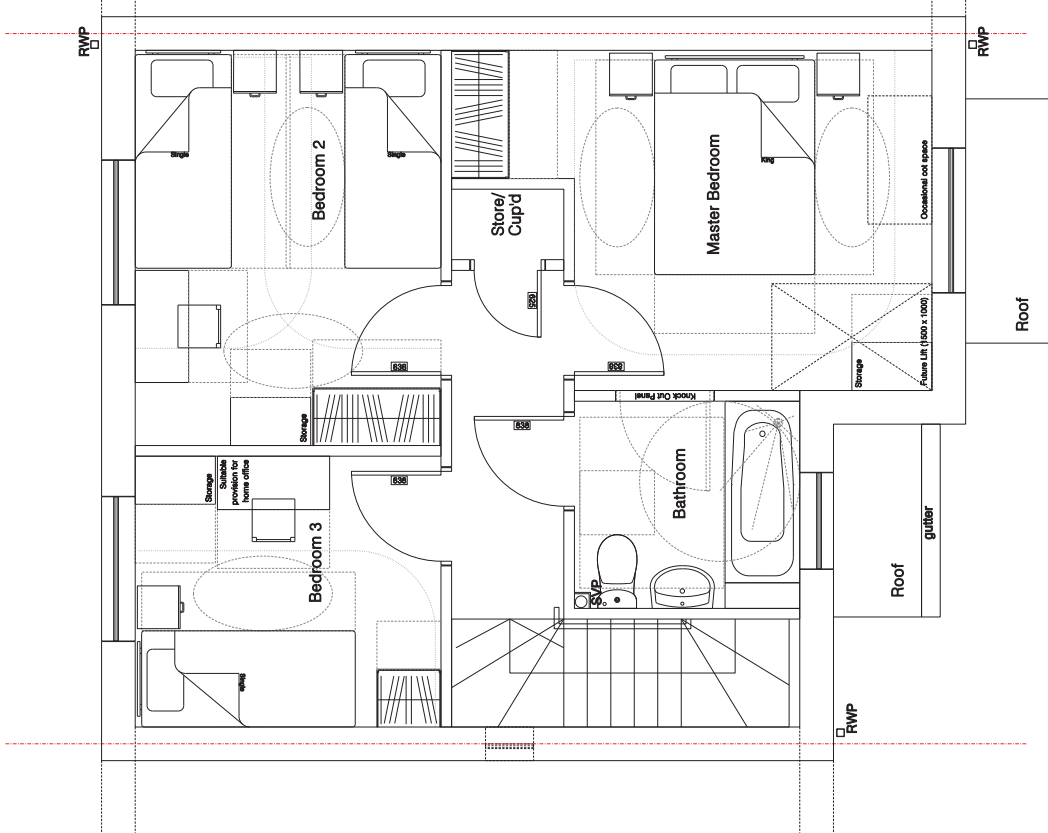
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Scale 1:100@A1/ 1:200@A3

**KEY PLANS**  
Scale 1:100@A1/ 1:200@A3

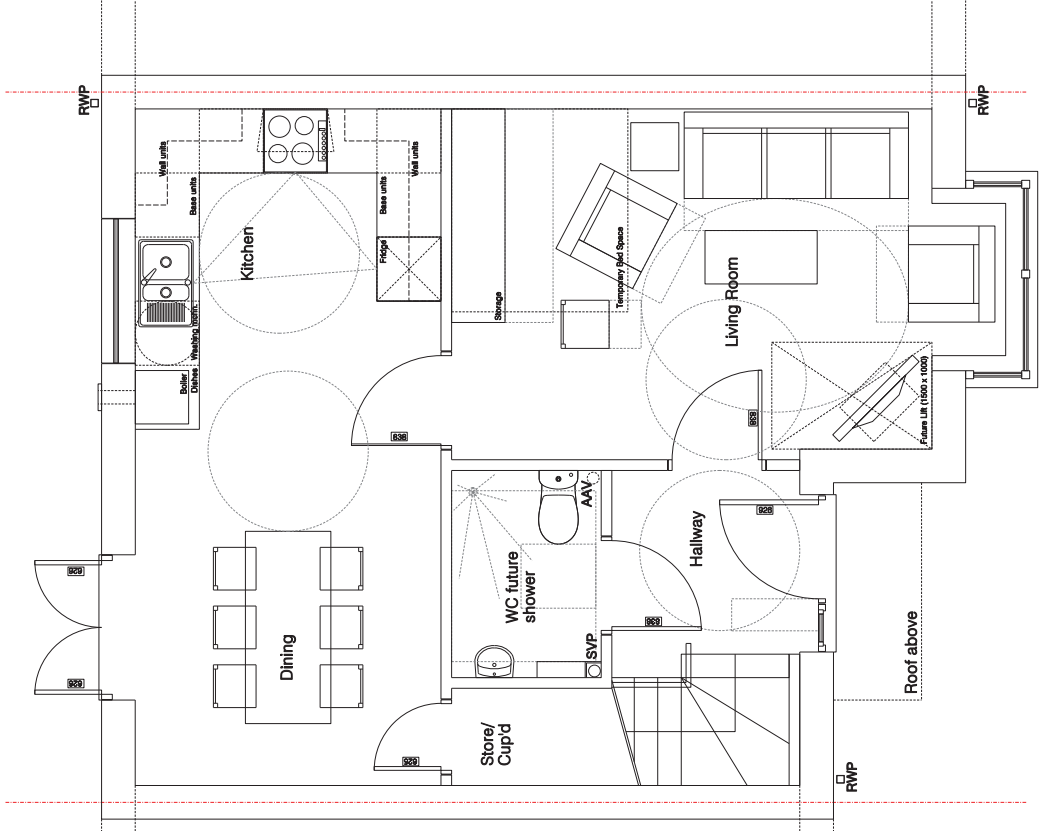
Date	Description	By	Check	Issue
	Issue Plans			07/05/13
	Issue Plans with HCC and Libinia House details			07/05/13
	Issue amended Planning Consent			22/01/13
	ISSUED FOR PLANNING			

As the architect I do not warrant that the drawings are complete or that they conform to the Building Regulations or any other applicable legislation. I do not warrant that the drawings are free from errors or omissions. I do not warrant that the drawings are suitable for construction or that they will be accepted by the relevant authorities. I do not warrant that the drawings are suitable for use in any other way. I do not warrant that the drawings are suitable for use in any other way. I do not warrant that the drawings are suitable for use in any other way.

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 4. Dimensions and section details are indicative only and subject to detailed design.  
 5. Drawings based on existing measured data provided by TICAD Solutions Ltd, 28th January 2013.  
 6. All party walls and RCP matters are subject to agreement.  
 7. Boundary treatments are subject to ALO approval.  
 8. External lighting is subject to detail design approved under condition (for details).



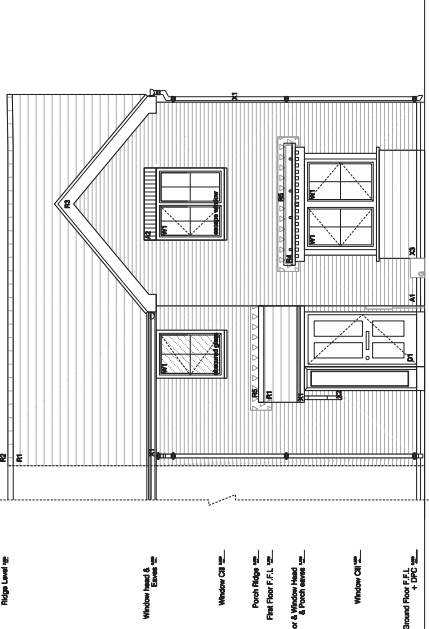
First Floor Plan



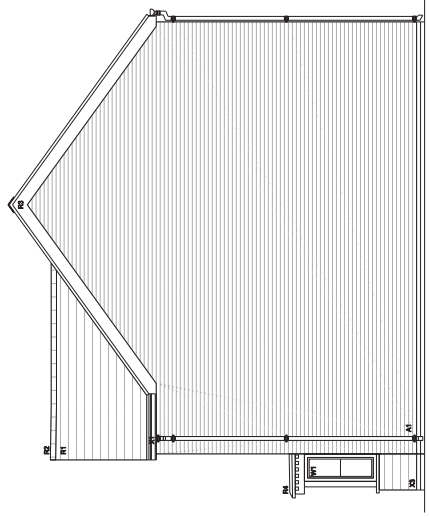
Ground Floor Plan

Rev	Description	By	Chk	Date
1	Issue for planning	MM	MM	14.03.13
2	Issue for planning	KW	MM	08.05.13
3	Issue for planning	KW	MM	08.05.13
4	Issue for planning	KW	MM	22.05.13

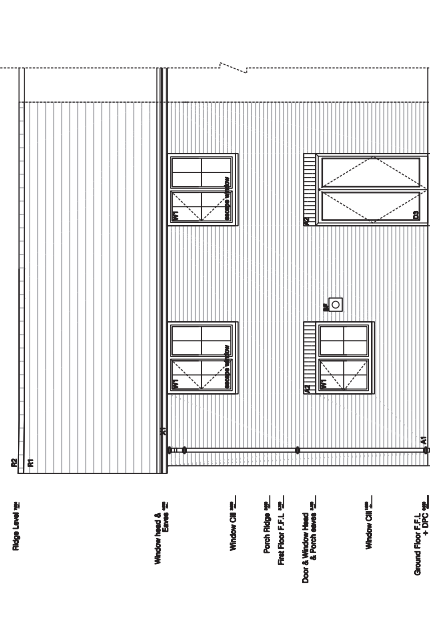
These drawings are the property of Hurdland Partnership and are not to be used for any other project without the written consent of Hurdland Partnership. All drawings are subject to the terms and conditions of the contract. The drawings are issued for the purpose of planning and are not to be used for construction. The drawings are issued for the purpose of planning and are not to be used for construction. The drawings are issued for the purpose of planning and are not to be used for construction.



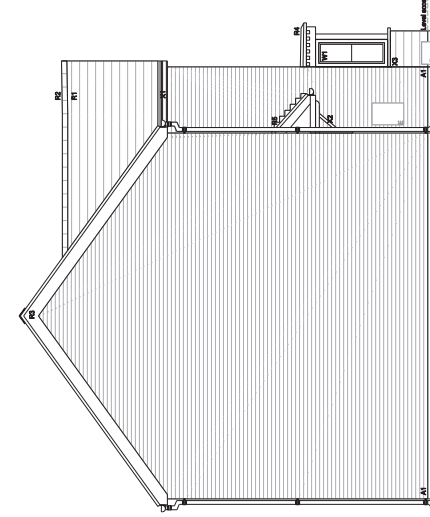
**ELEVATION 01**  
Front Elevation



**ELEVATION 02**  
Gable Elevation

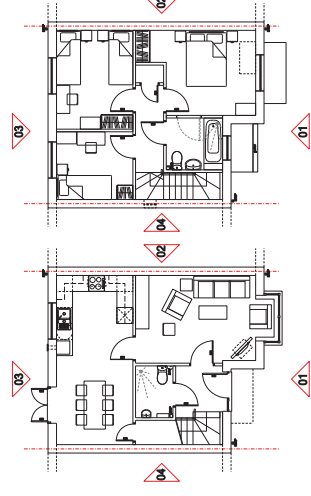


**ELEVATION 03**  
Rear Elevation



**ELEVATION 04**  
Gable Elevation

**KEY PLANS**  
Scale 1:100@A1/1:200@A3



**PLANNING NOTES:**

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- Materials and finishes are to be specified and subject to detailed design approved under condition (for others).
- All construction work/detailed details are indicative only and subject to detailed design.
- Drawings are based on existing information.
- All party wall and B.O. matters are subject to agreement.
- Boundary treatments are subject to A.O. approval.
- External lighting is subject to detail design approved under condition (for others).

**MATERIALS LEGEND:**

- A1 Brickwork. Colour: Chamber Bluff
- A2 Boulder course to window and door heads.
- BF Boiler Flue
- D1 Composite front door with fully glazed upvc sidelight.
- D2 Composite front door.
- D3 Fully glazed upvc french doorset.
- D4 Composite back door.
- R1 Interlocking roof tile - Marley Duo Edge/stone or similar approved.
- R2 Ridge tile to match roof.
- R3 UPVC weatherboard board. Colour: white
- R4 GFI to lay window.
- R5 Code 4 lined finishing & cavity trays
- W1 Upvc window with fully glazed upvc side light. Colour: White.
- W2 UPVC window with fully glazed upvc side light. Colour: black.
- X1 Rainwater goods. Half round profile. Colour: black
- X2 Timber gutters/brackets. Painted colour: white
- X3 Solidwood front boarding to lay window. Painted colour: dark oak

**Project**  
Land Adjacent to Bays Leisure Centre  
BURNLEY ROAD, BACUP  
for RTB Partnership and Greenvale Homes

**Typical Elevations**  
House Type B1 - 3 Bed  
B1 L/03/10

**Issue for Planning**  
Drawn: MM  
Checked: JS  
Date: 08.05.13  
Project: B

**Hurdland**  
Hurdland Partnership  
100 Burnley Road, Bacup, Lancashire, B64 6JH  
Tel: 0161 251 1111  
Fax: 0161 251 1112  
www.hurdland.co.uk