

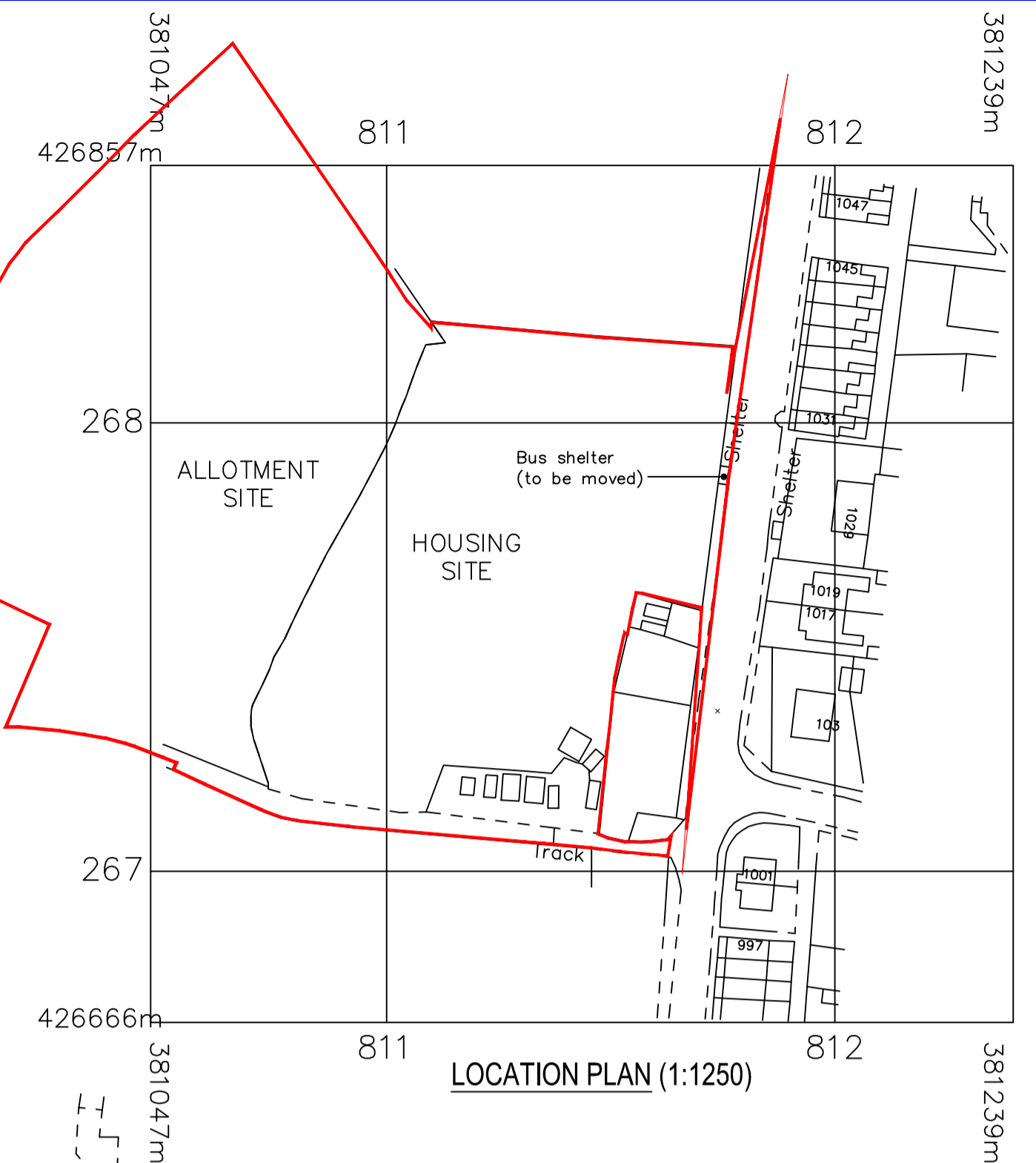
PROPOSED SITE PLAN FOR RESIDENTIAL DEVELOPMENT TO LAND TO THE WEST OF BURNLEY ROAD, LOVECLOUGH, ROSSENDALE
(SITE ID 652 TO ROSSENDALE STRATEGIC HOUSING LAND AVAILABILITY ASSESSMENT 2010) ~

AREA OF ADDITIONAL LANDSCAPING & RECREATION FACILITIES IN ASSOCIATION WITH BADGERCOTE ALLOTMENT DEVELOPMENT (BY OTHERS, PLANNING APPLICATION ref:2013/0461), INCLUDING WILDFLOWER MEADOW & PICNIC AREA, ORCHARD, PATHS FOR WALKING & PUBLIC ACCESS, INCREDIBLE EDIBLE AREA, WATER SETTLEMENT POND, & NATIVE TREE & HEDGEROW PLANTING TO BOUNDARY TO ENCOURAGE WILDLIFE.

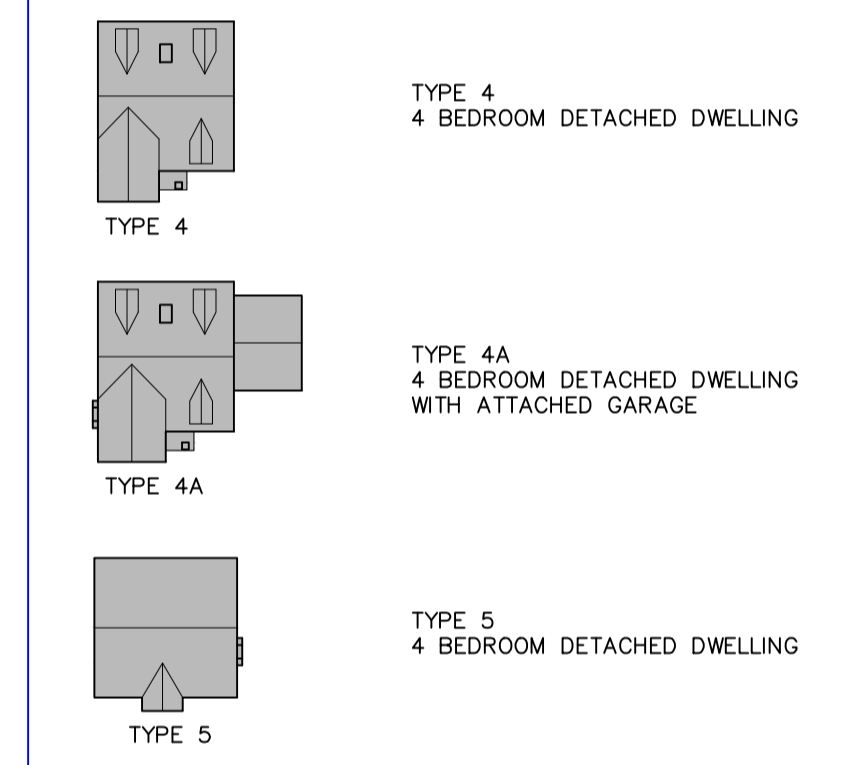
AREA OF ADDITIONAL LANDSCAPING & RECREATION FACILITIES IN ASSOCIATION WITH BADGERCOTE ALLOTMENT DEVELOPMENT (BY OTHERS, PLANNING APPLICATION ref:2013/0461).

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BADGERCOTE ALLOTMENT DEVELOPMENT BY OTHERS (ref:2013/0461)



SCHEDULE OF UNITS:
15 UNITS COMPRISING:
6No TYPE 4
3No TYPE 4A
6No TYPE 5

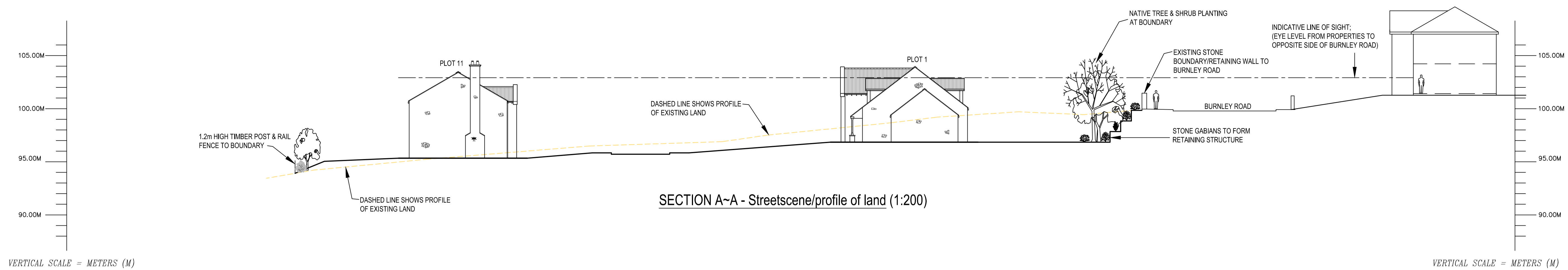


NOTES~
KEY TO LANDSCAPING & EXTERNAL SURFACES
NATIVE LANDSCAPE PLANTING: TO BE NATIVE SPECIES & SPECIES WHICH ARE BENEFICIAL TO WILDLIFE. SPECIES TO INCLUDE: HOLLY, CRAB APPLE, WILD CHERRY, BLACKTHORN, DOG ROSE, ELDER, ROWAN, WYCH ELM.
PROPOSED RESIDENTIAL ACCESS TO BE TEGULA PAVING BLOCKS - FLUSH FINISH WITH NO KERB UPSTAND.
PROPOSED RESIDENTIAL PATHS TO BE NATURAL STONE FLAGS TO COMPLEMENT BUILDINGS.
EXISTING STONE WALLS TO EAST BOUNDARIES TO BE REPAIRED & RETAINED.
PROPOSED FENCING: 1.2m HIGH TIMBER POST & RAIL FENCE.
FOUL DRAINAGE TO CONNECT TO PUBLIC SEWERS IN BURNLEY ROAD (BY GRAVITY OR PUMPED CONNECTION).
SURFACE WATER & STORM WATER ATTENUATION SYSTEM TO CONNECT TO ALLOTMENT IRRIGATION SYSTEM.

A	06.06.2013	FINISHED FLOOR LEVELS SHOWN TO DWELLINGS.
B	18.06.2013	ALLOTMENT SCHEME INCLUDED WITHIN APPLICATION SITE & FURTHER DETAILS OF ALLOTMENT SCHEME SHOWN TO DRAWING.
C	03.08.2013	FURTHER DETAILS OF ALLOTMENT SCHEME & COMMUNITY GARDEN FACILITY SHOWN TO DRAWING INCLUDING EDUCATION BUILDING, COMPOST TOILET, HORTICULTURAL GROWING HOUSES & STORM WATER STORAGE SYSTEM.
D	07.11.2013	COMMUNITY GARDEN FACILITY AMENDED & ACCESS ROAD FOR COMMUNITY FACILITY BROUGHT THROUGH HOUSING DEVELOPMENT. SITING OF PLOTS 13, 14 & 15 AMENDED.
E	23.12.2013	FINISHED FLOOR LEVELS AMENDED TO PLOTS 13, 14 & 15. SECTION LINE B-B SHOWN TO SITE PLAN.

Amendments			
Title			
PROPOSED SITE PLAN FOR RESIDENTIAL DEVELOPMENT OF LAND TO THE WEST OF BURNLEY ROAD, LOVECLOUGH, ROSSENDALE~			
Client			
GL CONSULTANCY			
Dwg. No.			
12/1002/200E/SITE PLAN			
Date	Drawing Scale	Drawn by	Status
02.11.12	A1@1:500	JPE	ISSUE

PROPOSED SITE PLAN (1:500)



NOTES~

LEVELS SHOWN RELATE TO SURVEY STATIONS IDENTIFIED TO TOPOGRAPHICAL SURVEY PLAN REF:12/1002/101/TOPOGRHICAL SURVEY PLAN.

A 23.12.2013 SECTION D~D AMENDED & SECTION B~B ADDED.
B 24.12.2013 SECTION D~D CORRECTED.

Amendments

Title

RESIDENTIAL DEVELOPMENT OF LAND TO THE WEST OF BURNLEY ROAD, LOVECLOUGH, ROSSENDALE~

Client

GL CONSULTANCY

Dwg. No.

12/1002/204B/DESIGN SECTIONS

Date

04.06.13

Drawing Scale

A1@1:200

Drawn by

JPE

Status

ISSUE

JPE CONSULTANCY

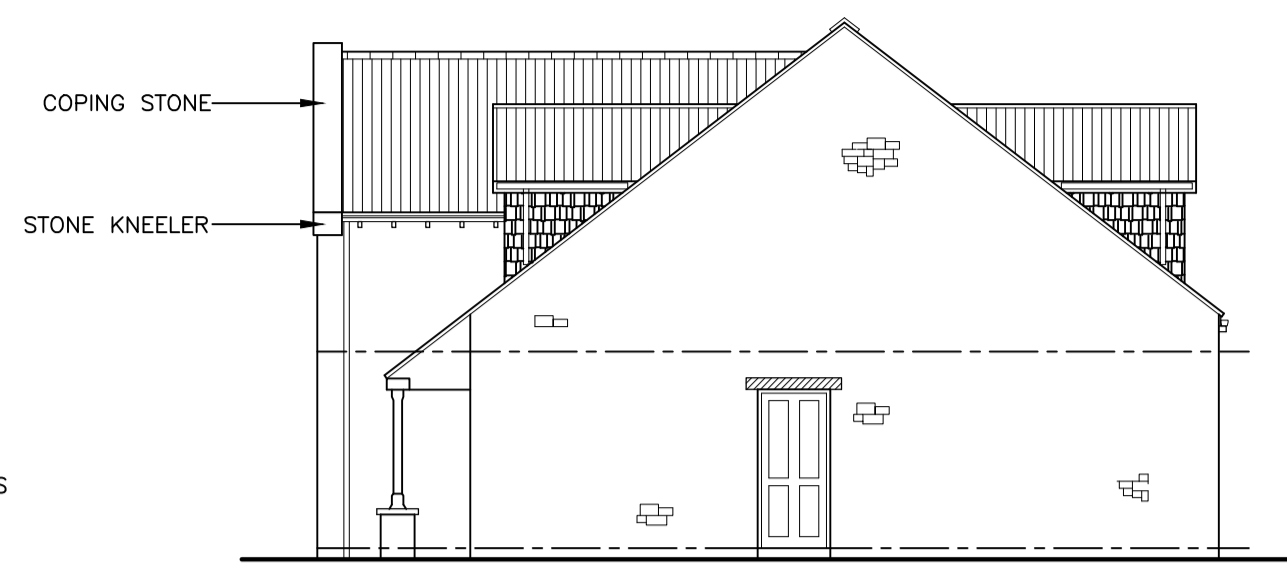
ARCHITECTURAL DESIGN & PLANNING

9 Woodend Drive, Stalybridge, Cheshire, SK15 2SF

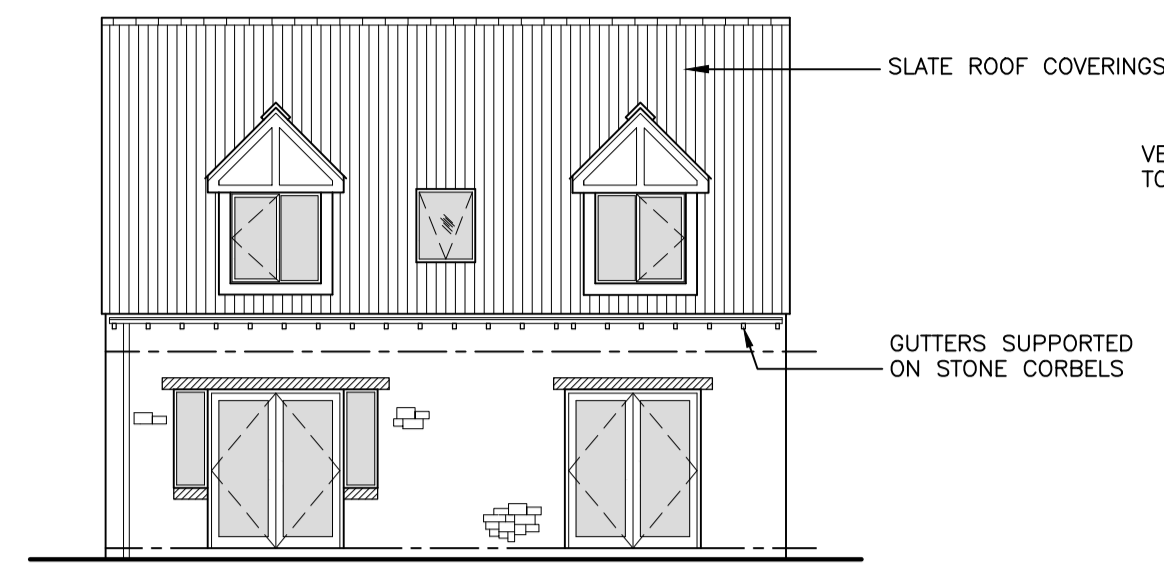
Telephone 01675 627 988 jim@jpeconsultancy.com



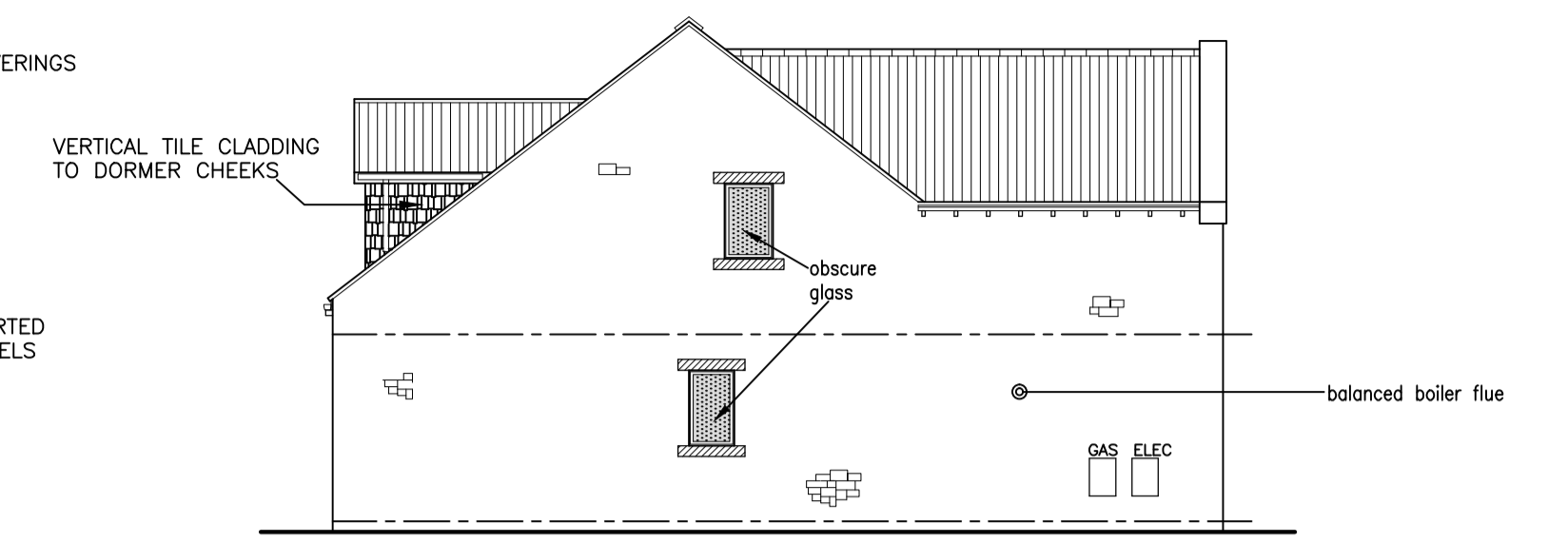
FRONT ELEVATION (1:100)



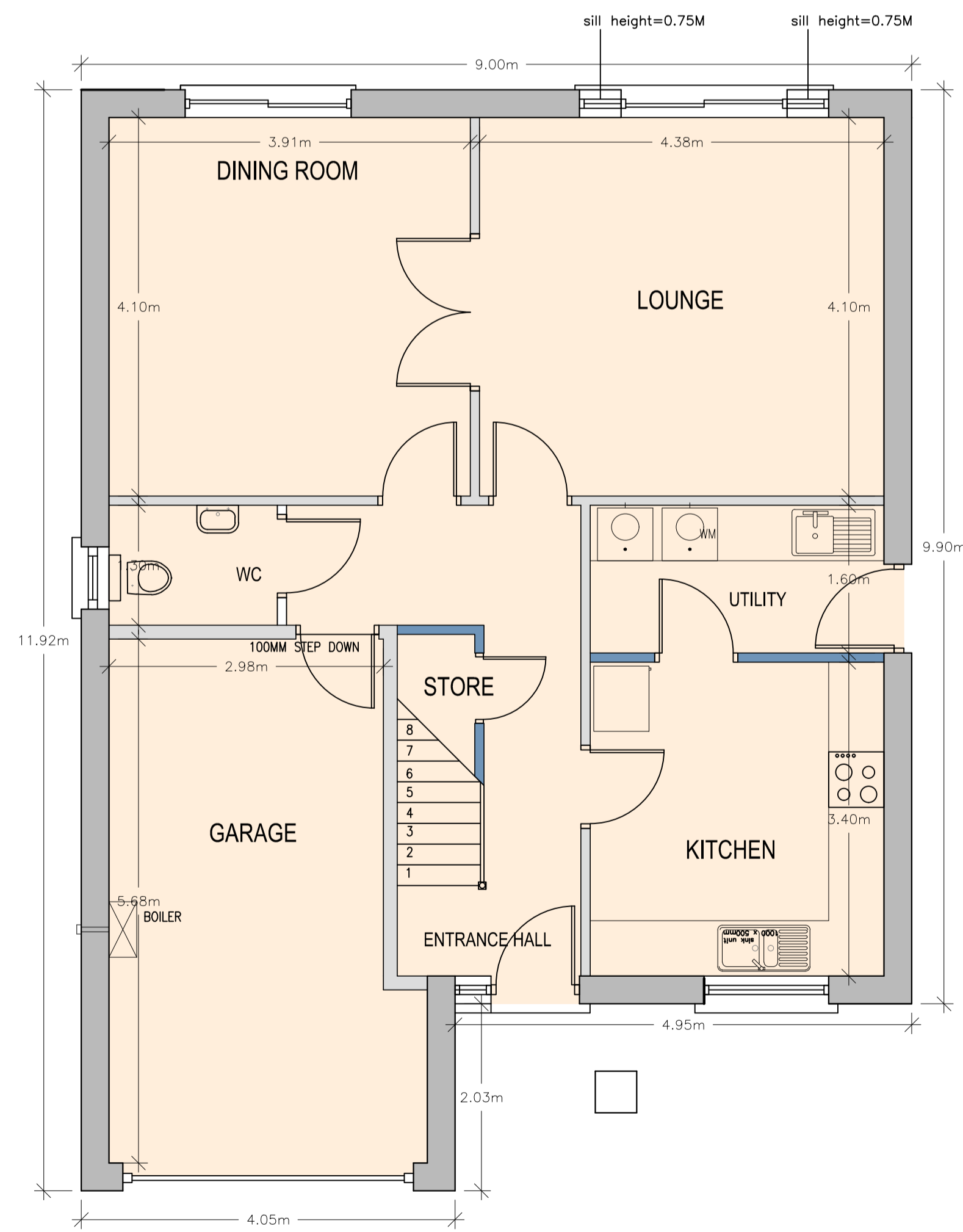
SIDE ELEVATION (1:100)



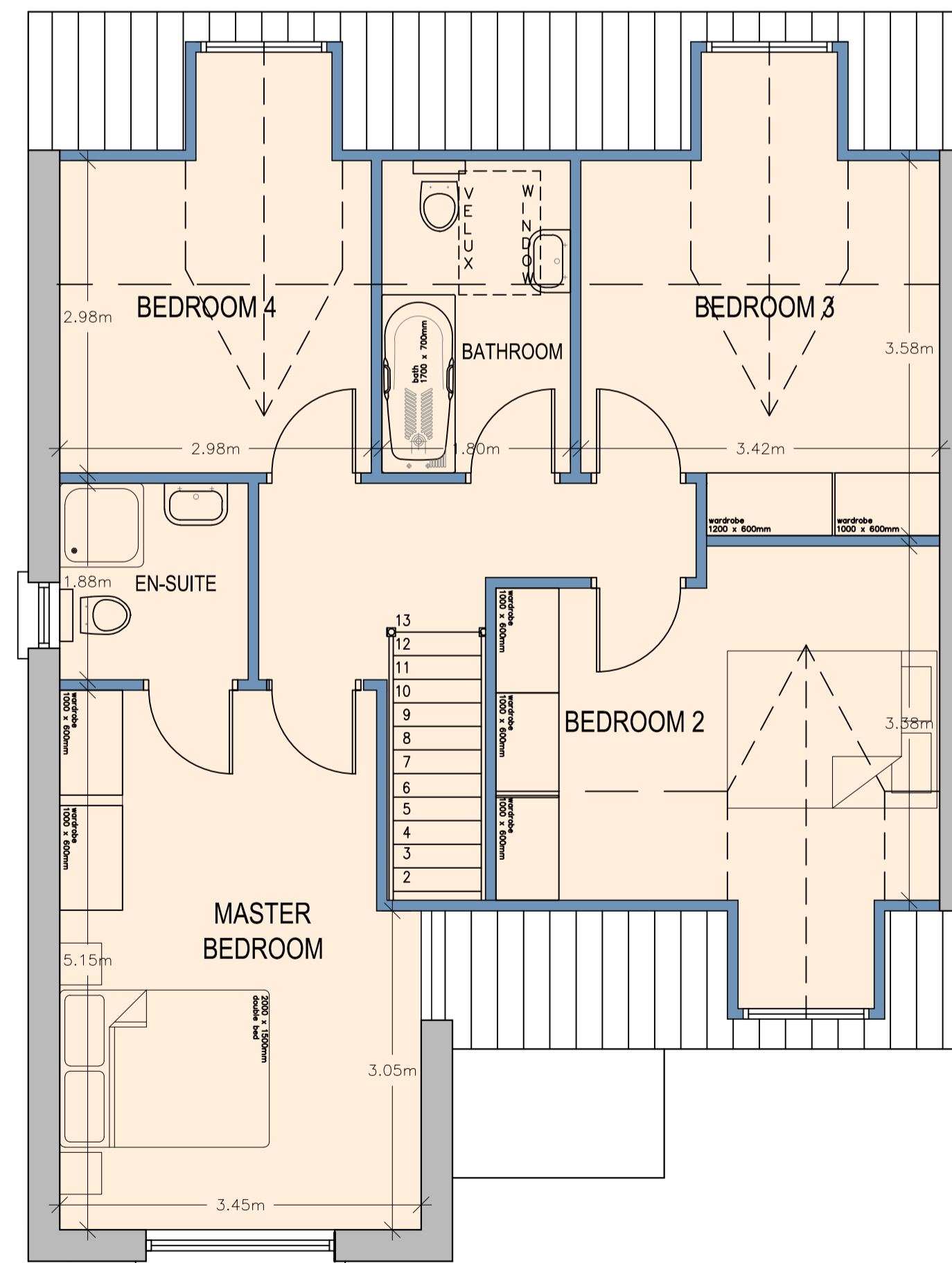
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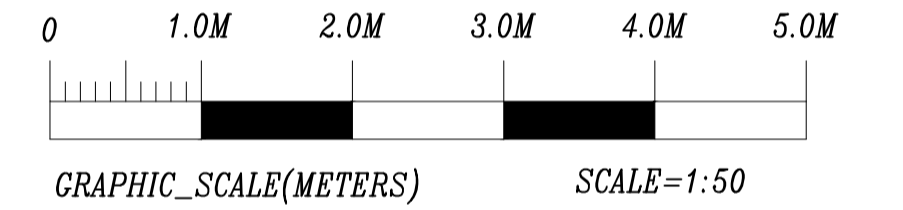
SIDE ELEVATION (1:100)



PROPOSED GROUND FLOOR PLAN (1:50)



PROPOSED FIRST FLOOR PLAN (1:50)

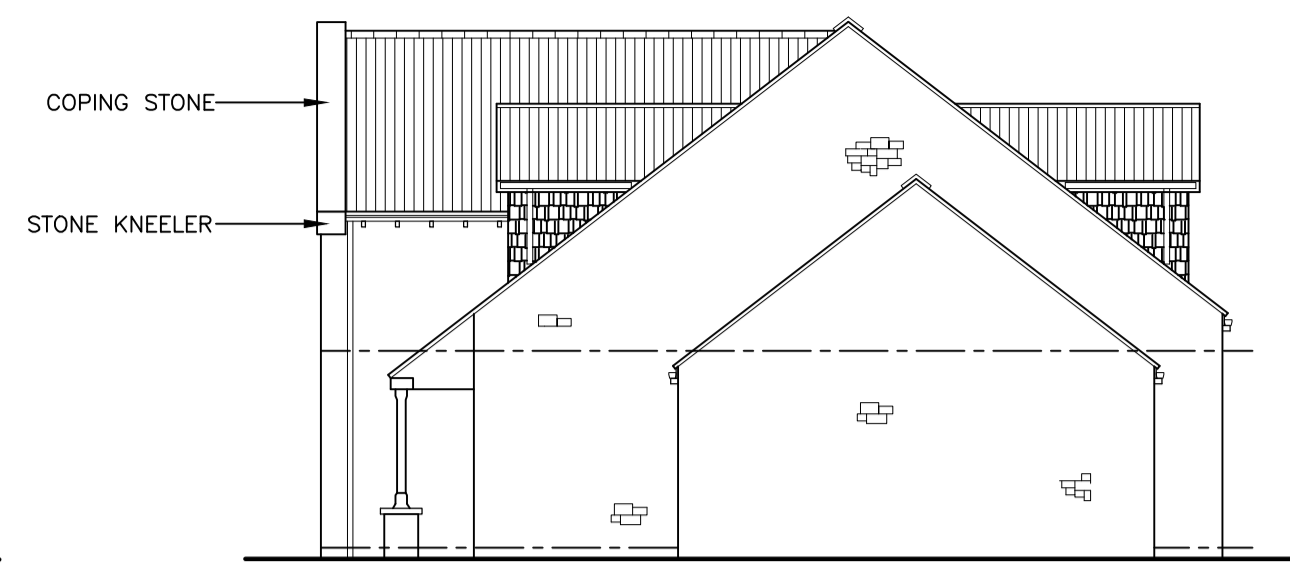


NOTES~

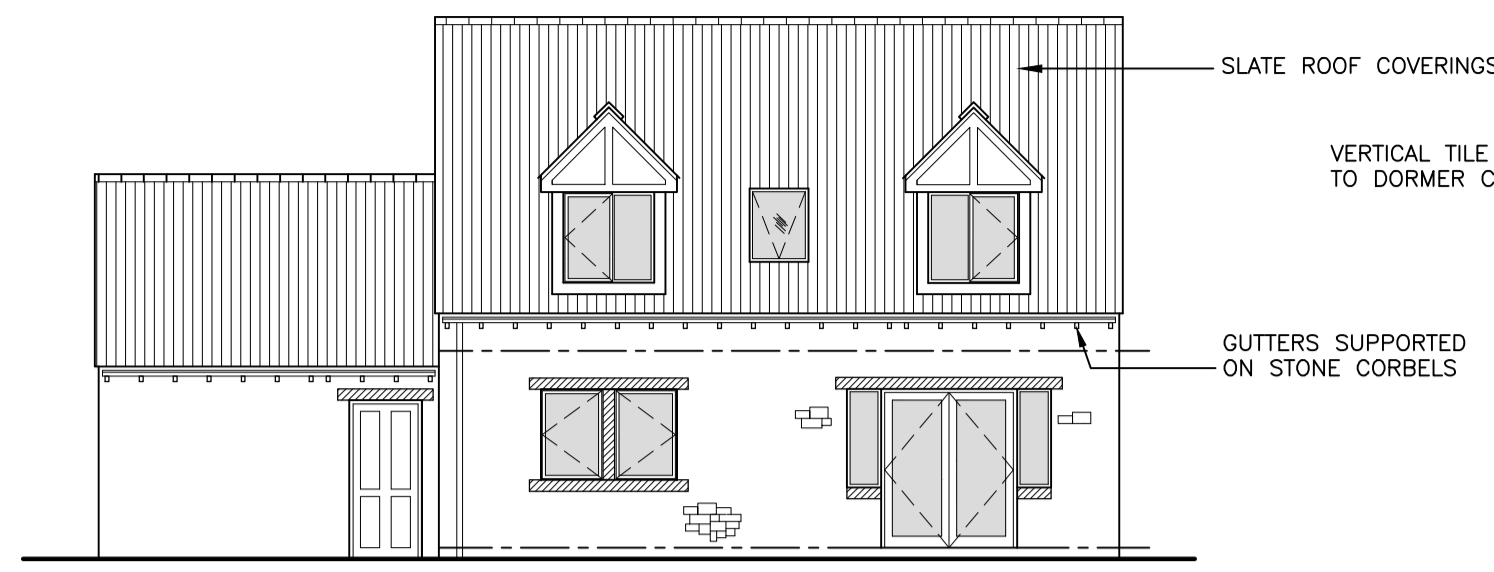
Amendments			
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PROPOSED PLANS FOR HOUSE TYPE 4 TO RESIDENTIAL DEVELOPMENT AT BURNLEY ROAD, LOVECLOUGH~			
Client			
GL CONSULTANCY			
Dwg. No.			
12/1002/201/TYPE 4			
Date	Plot Scale	Drawn by	Status
15.04.2013	A1@1:50	JPE	DRAFT
JPE CONSULTANCY ARCHITECTURAL DESIGN & PLANNING 9 Woodend Drive, Stalybridge, Cheshire, SK15 2SF Telephone: 017875 627 988 jim@jpeconsultancy.co.uk			



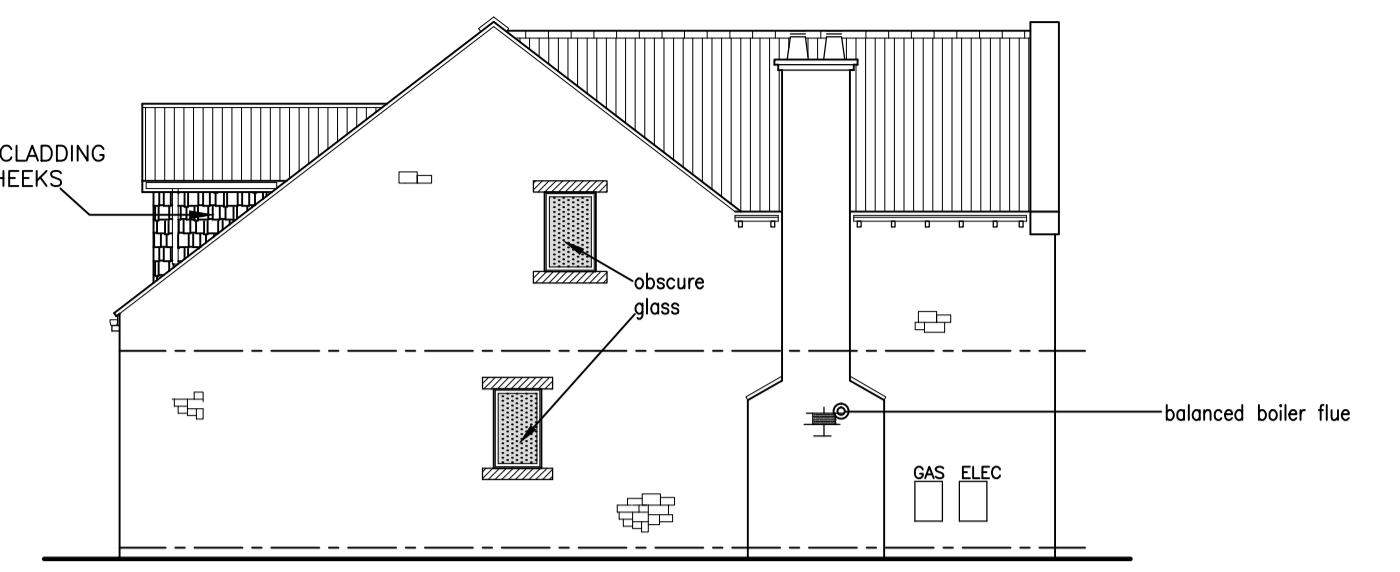
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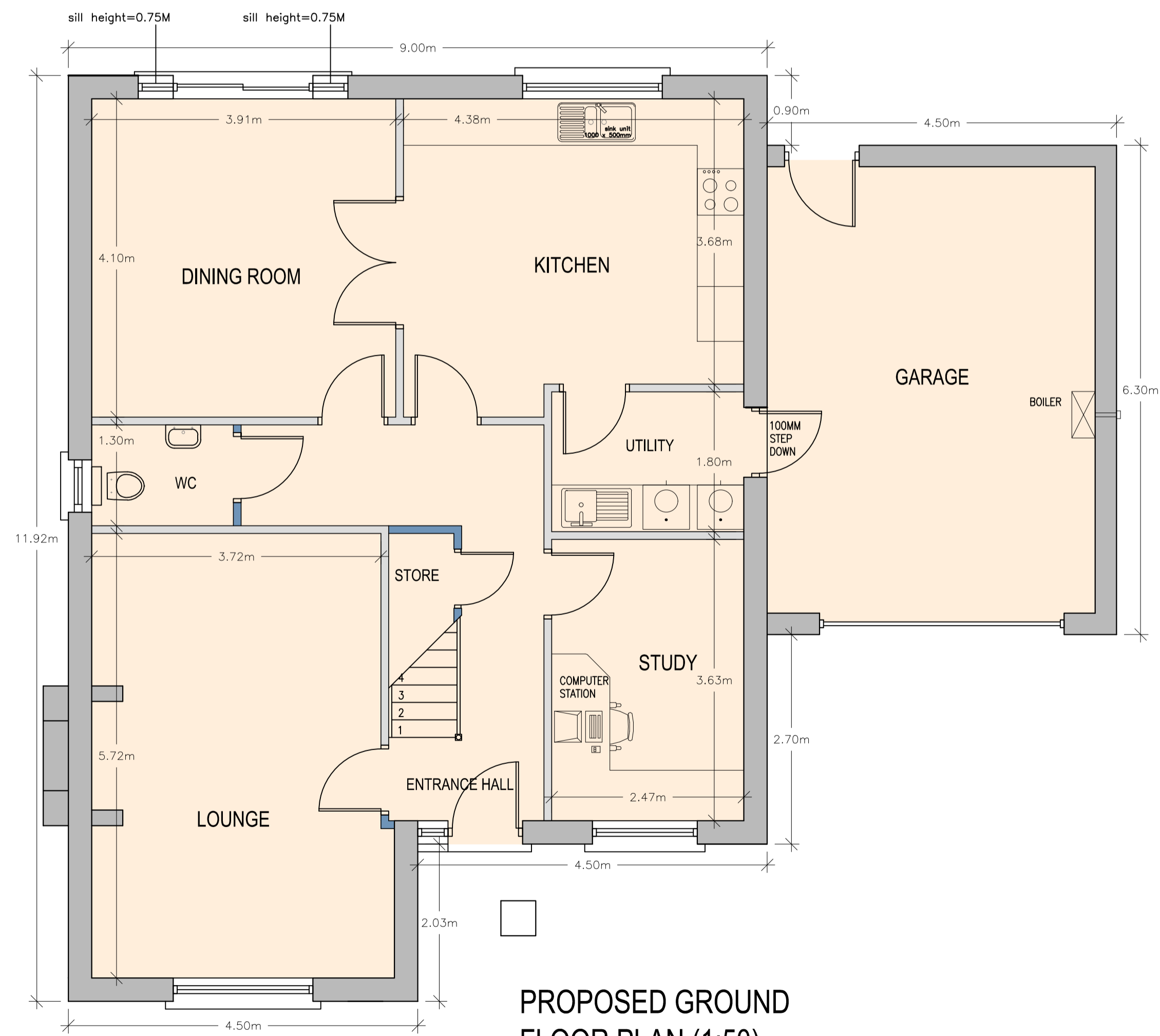
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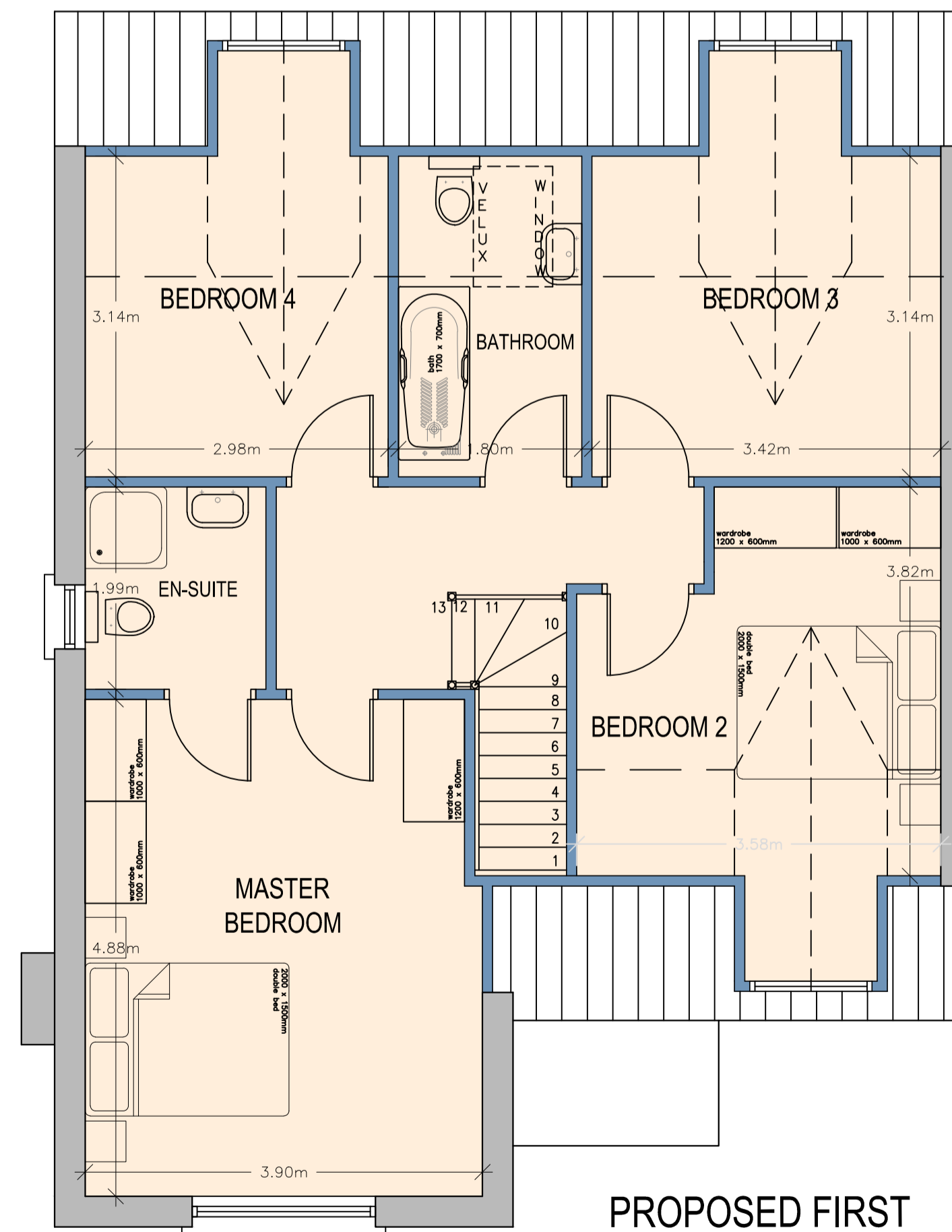
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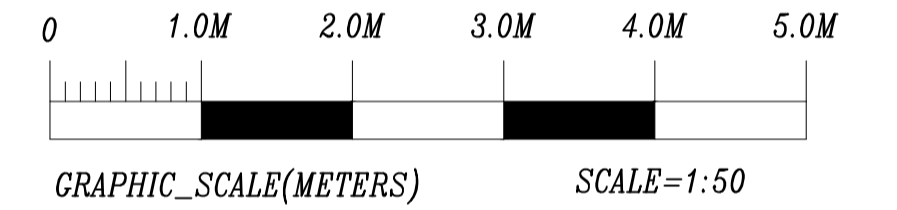
SIDE ELEVATION (1:100)



PROPOSED GROUND FLOOR PLAN (1:50)



PROPOSED FIRST FLOOR PLAN (1:50)



LINE OF DIMINISHING HEADROOM (below 2M)

NOTES~

Amendments

Title

PROPOSED PLANS FOR HOUSE TYPE 4A TO RESIDENTIAL DEVELOPMENT AT BURNLEY ROAD, LOVECLOUGH~

Client

GL CONSULTANCY

Dwg. No.

12/1002/201/TYPE 4A

Date

15.04.2013

Plot Scale

A1@1:50

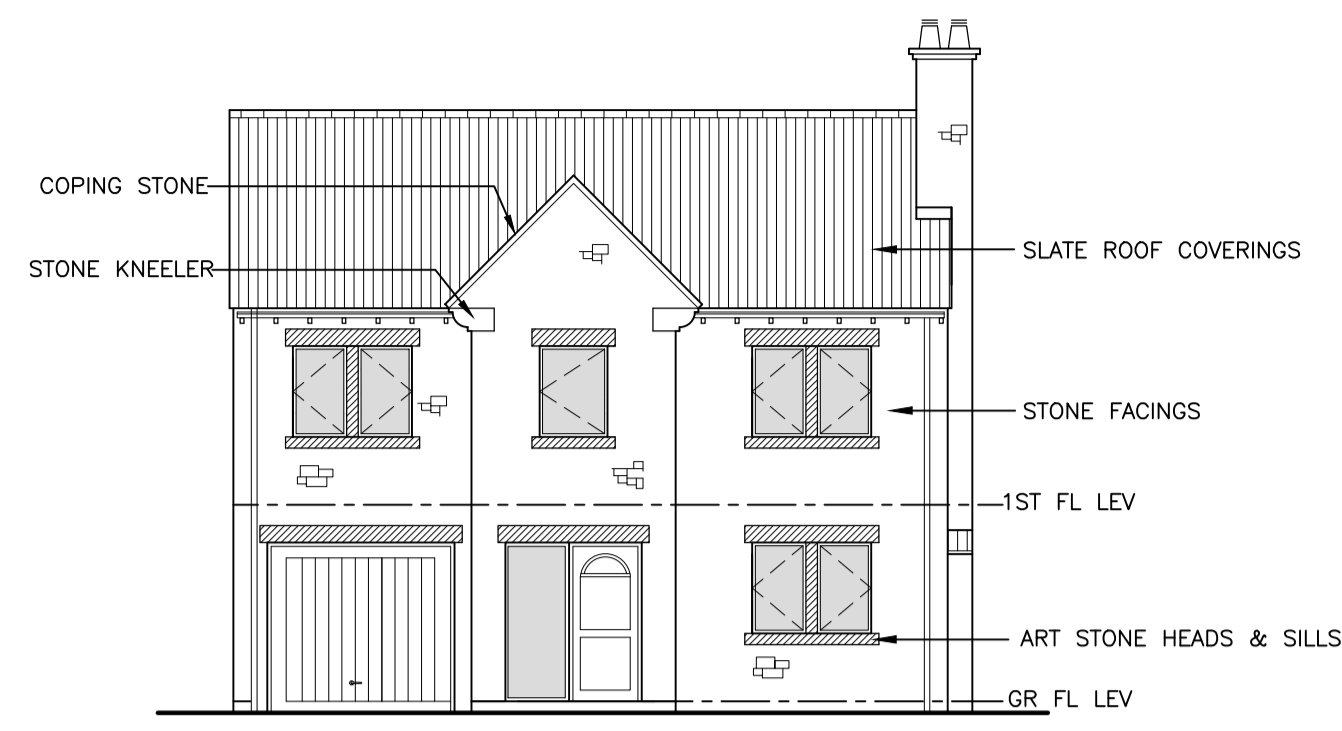
Drawn by

JPE

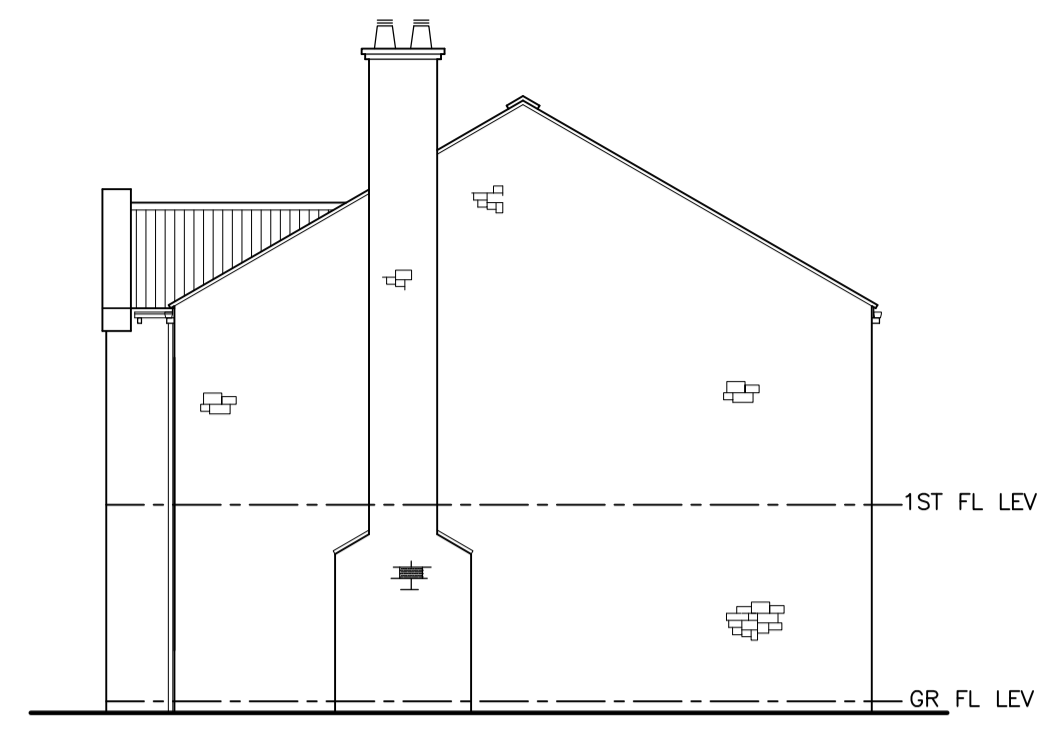
Status

DRAFT

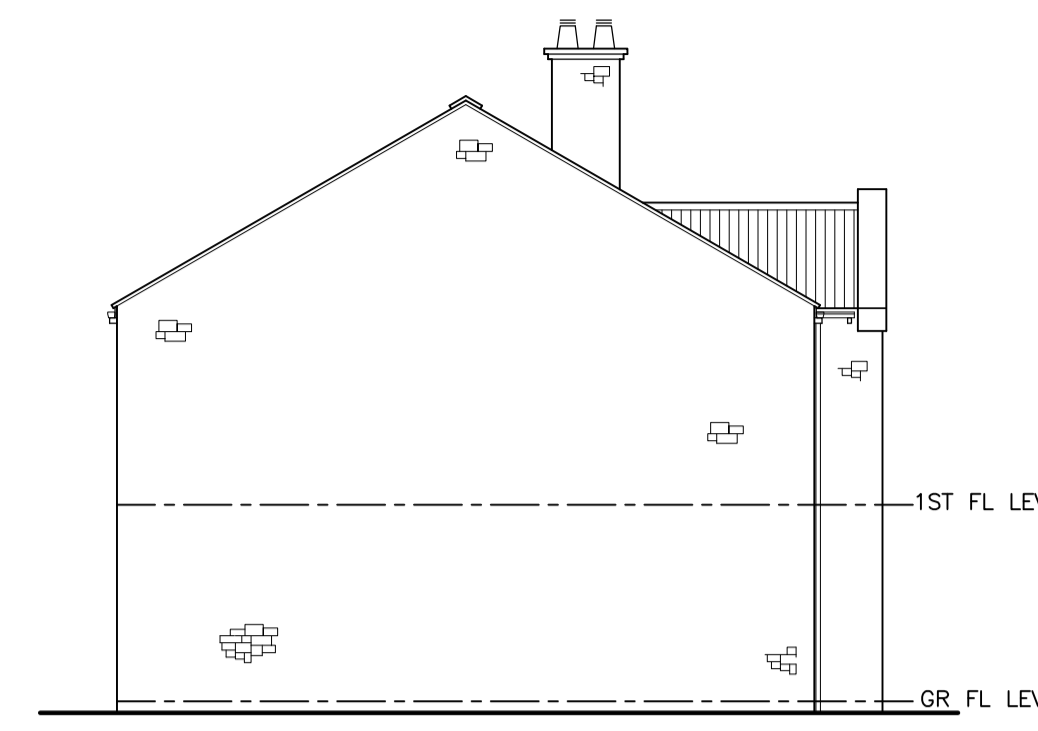
JPE CONSULTANCY
ARCHITECTURAL DESIGN & PLANNING
9 Woodend Drive, Stalybridge, Cheshire, SK15 2SF
Telephone: 07875 627 988 jim@jpeconsultancy.co.uk



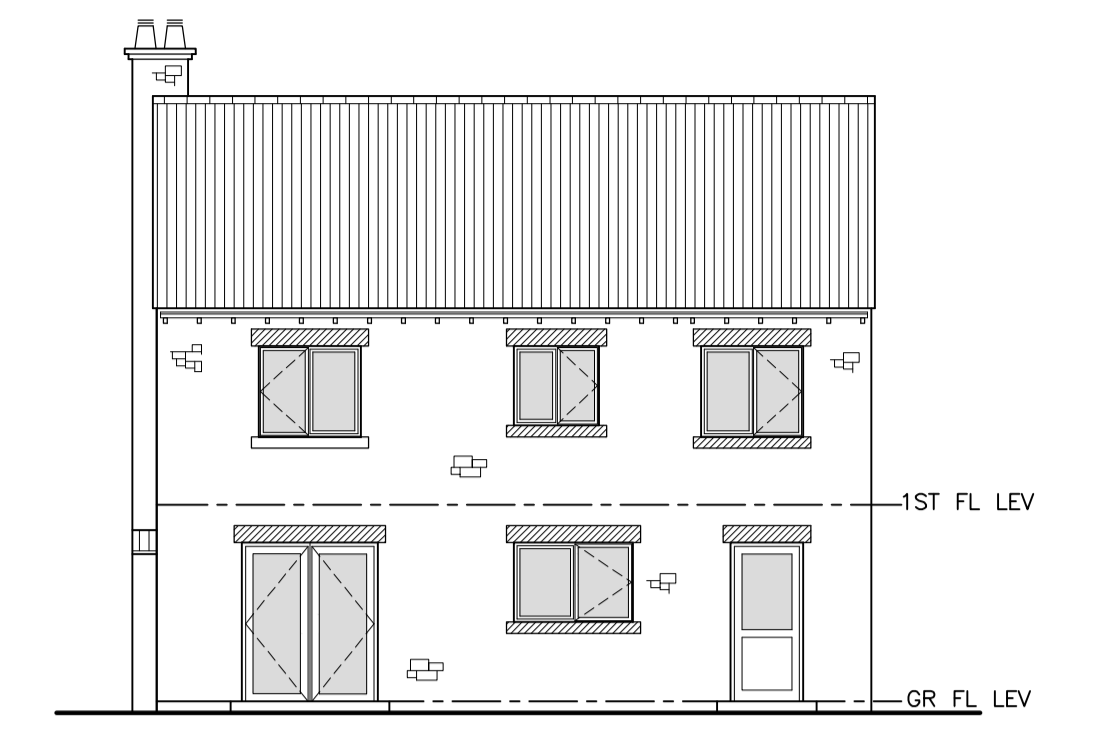
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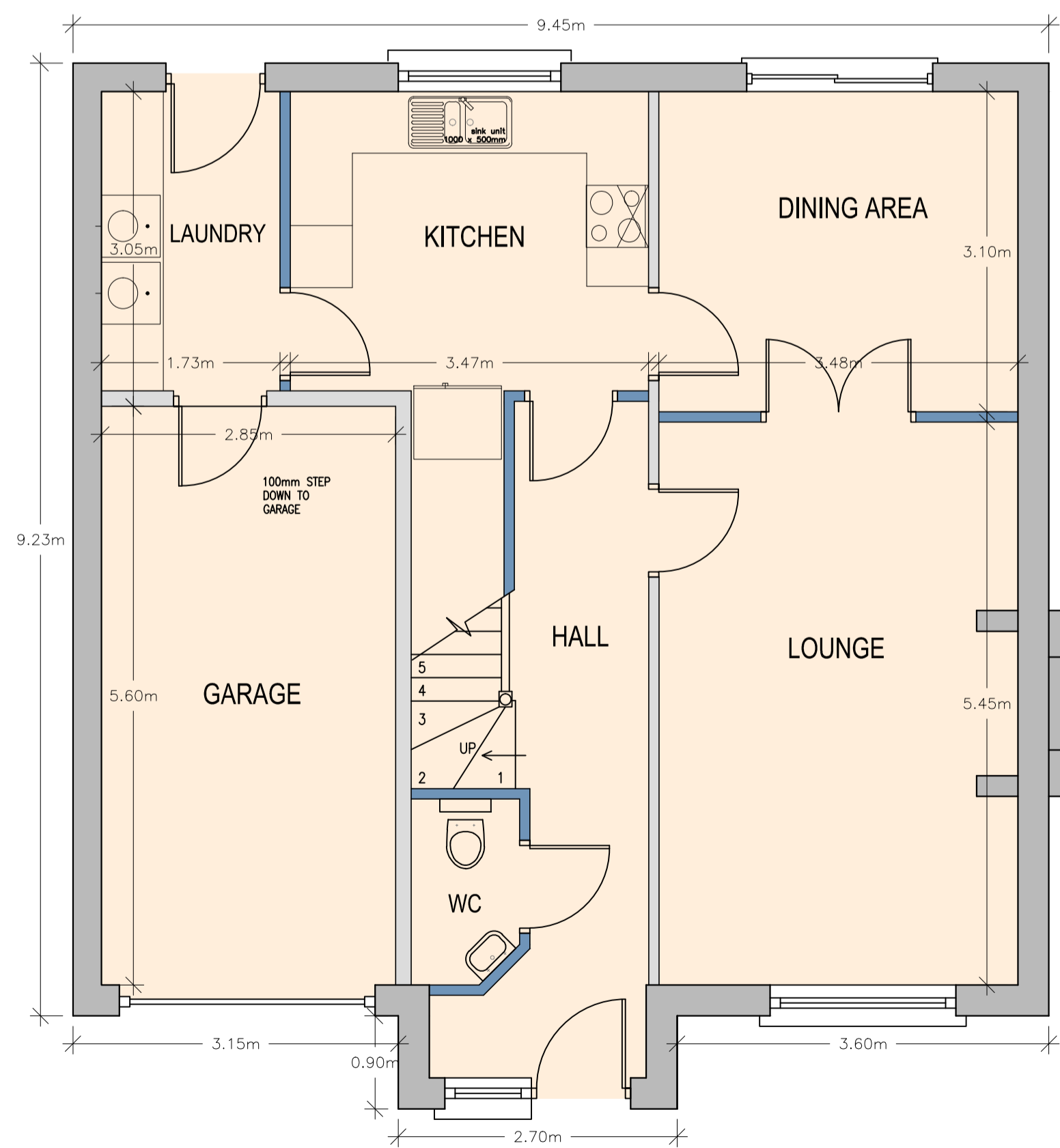
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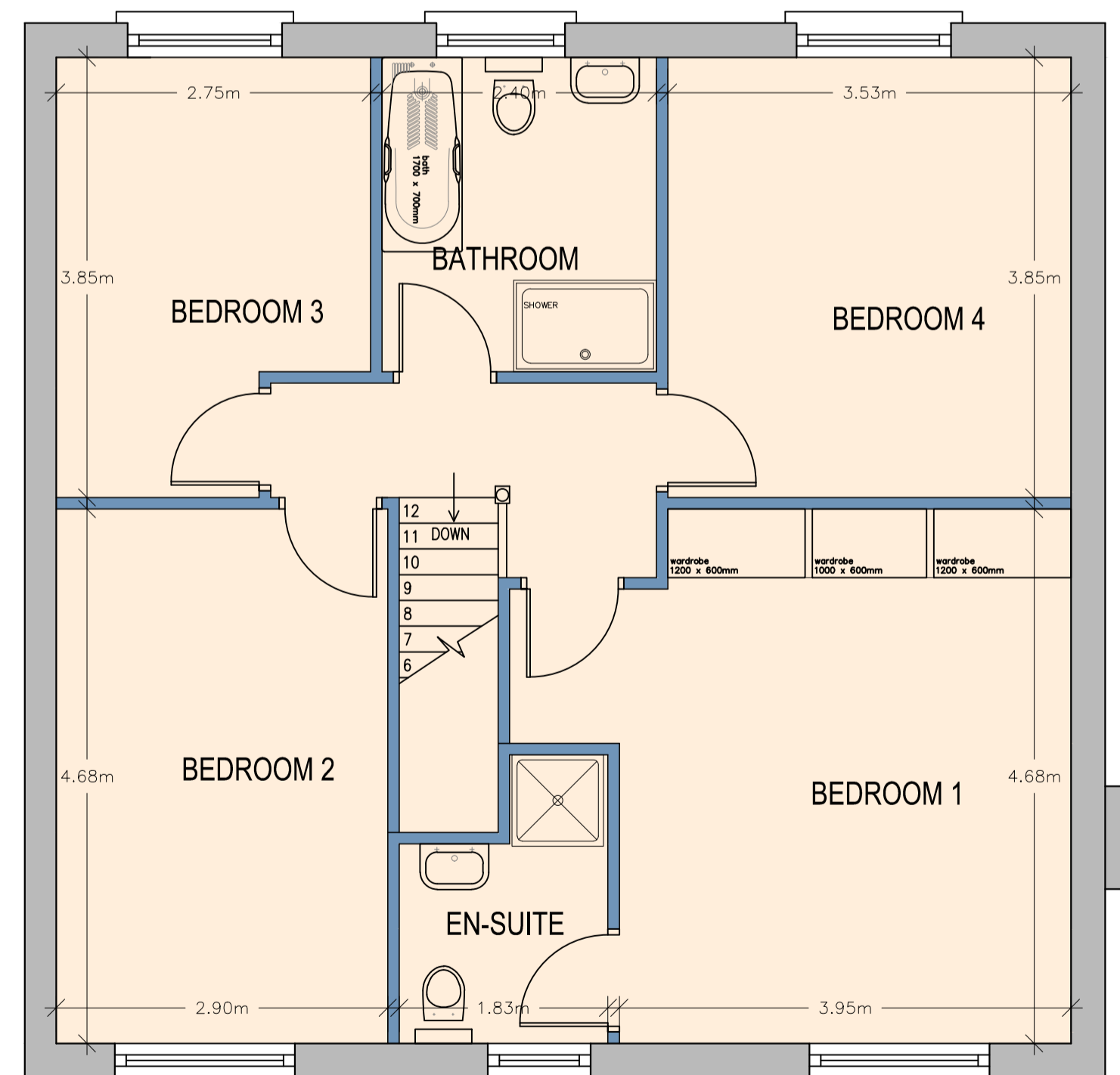
SIDE ELEVATION (1:100)



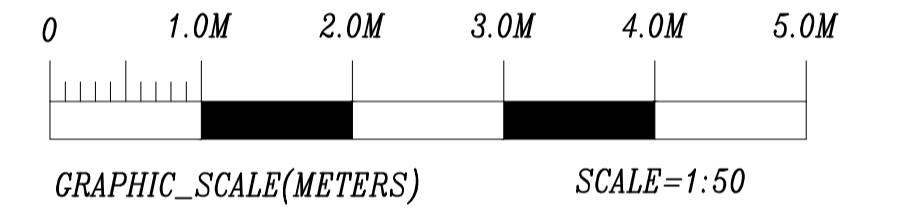
REAR ELEVATION (1:100)



GROUND FLOOR PLAN (1:50)



FIRST FLOOR PLAN (1:50)



NOTES~

Amendments

Title

PROPOSED PLANS FOR HOUSE TYPE 5 TO RESIDENTIAL DEVELOPMENT AT BURNLEY ROAD, LOVECLOUGH~

Client

GL CONSULTANCY

Dwg. No.

12/1002/203/TYPE 5

Date

15.04.2013

Plot Scale

A1@1:50

Drawn by

JPE

Status

DRAFT

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