

Application Number:	2015/0210	Application Type:	Outline
Proposal:	Outline application: Erection of 4 No. detached dwellings with associated infrastructure and car parking, and new access for Flaxmoss House onto Campion Drive (all matters reserved except for access and layout)	Location:	Flaxmoss House, Helmshore Road, Haslingden
Report of:	Planning Unit Manager	Status:	For Publication
Report to:	Development Control Committee	Date:	01 September 2015
Applicant:	Mr Andy Grayham	Determination Expiry Date:	07 August 2015
Agent:	IOM Design Ltd		

Contact Officer:		Telephone:	01706-238639
Email:	richardelliott@rossendalebc.gov.uk		

REASON FOR REPORTING	Tick Box
Outside Officer Scheme of Delegation	<input type="checkbox"/>
Member Call-In Name of Member: Reason for Call-In:	<input type="checkbox"/>
3 or more objections received	<input checked="" type="checkbox"/>
Other (please state):	

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:-

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

That the application be approved for the reasons set out in Section 9 of the Report subject to conditions and Completion of a S.106 Obligation to secure payment of £1,500 to fund the investigation of a Traffic Regulation Order to restrict parking and ensure sightlines are maintained on Helmshore Road.

2. SITE

Flaxmoss House is a large detached house of some character and is situated to the west side of Helmshore Road (B6214), within the Urban Boundary of Helmshore.

The property can be accessed from either Helmshore Road to the east or Campion Drive to the north. However, the main entrance is from Helmshore Road, through imposing gates, the drive then sweeps across an area of garden towards an area of hardstanding to the front of the house, adjacent to which is garaging. The (un-used) access from Campion Drive is bounded by high stone walls that give it poor visibility.

The property has a large number of protected trees both within and bounding it, including the Campion Drive side which is separated from the road by a grass verge and a stone wall with railings atop. With respect to the application site where the houses are proposed, besides the protected trees bounding it, there is a group of 4 unprotected mature sycamores to the west of the drive, behind which is a private tennis court extending into the south west corner. This area is approx 0.37 hectares.

By reason of the high frontage wall and mature trees on the Helmshore Road frontage the public and residents of houses on the opposite side of the road have little view into the site. Likewise, the residents of the large nursing home to the south and 2 detached houses (served off Flaxmoss Close) to the north east of the site have limited views over the site by reason of the mature planting/trees. The houses to the west (that front Moss Close) have rear gardens bounded by 2m high fencing, their windows having outlook over the application site as the trees here are well spaced out and have been crown-lifted.

3. RELEVANT PLANNING HISTORY

1986/122 – New Iron Gate and Boundary Fence
Approved

1989/632 - Erection of Four Dwellings (Outline)
Approved

1990/173 – Erection of Four Dwellings (Reserved Matters)
Approved

1994/221 – Change of House Type
Approved

2011/153 - Erection of Eleven, 2 and 3 Bedroom Apartments within three and a half storey building with Basement Parking, associated Landscaping and New Pedestrian Access Points from Helmshore Road.

The application was recommended for approval by Officers. However, it was refused by Committee for the following reasons :

1. The proposed development will detract to an unacceptable extent from highway safety, most particularly by reason of the intensification of the use of the vehicular access to Helmshore Road and the likelihood of parking on this classified road occurring, particularly in icy weather such is the gradient of the access-ramp to the basement car park. Furthermore, it has not been demonstrated that as a result of the proposed development Flaxmoss House will possess a safe and satisfactory vehicular access of its own to

Campion Drive (and avoids harm to trees that have been afforded the protection of the Borough of Rossendale (Flaxmoss House, Helmshore) Tree Preservation Order 1977.

2. By reason of the number of residential units and the size and height of the building, the scheme will result in a form of development overly large in relation to the size of the plot and will detract to an unacceptable extent from the character and appearance of Flaxmoss House and the amenities residents of properties fronting Moss Close could reasonably expect to enjoy.

2012/0158 Erection of 8 Apartments, in a three storey building with basement parking, and altered access to Helmshore Road & new access to Campion Drive

Consistent with the officer recommendation Members voted to approve the application for the following reason, and subject to the following conditions:

The proposed development is considered appropriate in principle within the Urban Boundary and, subject to the conditions, it is considered that the proposed development will not result in unacceptable detriment to visual & neighbour amenity or highway safety, having regard to the NPPF (March 2012), Policies DP1-9/RDF1/L2/L3/L4/EM1 of the Regional Spatial Strategy for the NW of England (2008), and Policies 1/8/9/17/18/23 and 24 of the Council's adopted Core Strategy DPD (2011).

Conditions

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
Reason: Required by Section 51 of the Planning and Compulsory Purchase 2004 Act.
2. The development shall be carried out in strict accordance with the drawings numbered Planning – 102 Rev D, Planning – 103 Rev D, Planning – 104 Rev D, Planning – 105 Rev B and the accompanying tree survey reports, plans and recommendations by TBA Landscape Architects and shall not be varied unless otherwise required by the conditions below or first agreed in writing by the Local Planning Authority.
Reason: To ensure that the development complies with the approved plans and for the avoidance of doubt.
3. Prior to commencement of development samples of the materials to be used in the elevations and roof of the apartment shall be submitted to the Local Planning Authority for their approval in writing. The scheme shall be carried out in accordance with those details approved and shall not be varied unless otherwise first agreed in writing by the Local Planning Authority.
Reason: To ensure a satisfactory appearance to the development and to accord with Policy 24 of the Rossendale Core Strategy DPD (2011).
4. Development of the apartment block hereby approved shall not commence until the proposed parking, access and turning areas to serve both the apartment block and Flaxmoss House have been constructed and made available for use in accordance with the submitted details. The parking

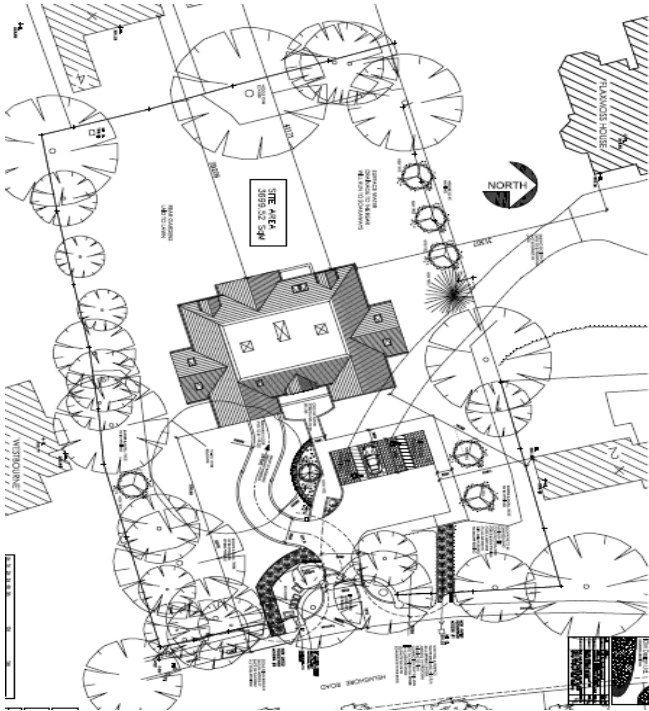
areas shall not be used for any purpose other than the parking of motor vehicles.

Reason: To ensure adequate off street parking, in the interests of amenity and highway safety, to accord with accord with_Policy 24 of the Rossendale Core Strategy DPD (2011).

5. Prior to commencement of the apartment block hereby permitted a scheme shall be submitted to show the existing access to Campion Drive to be permanently closed and a footway re-instated in accordance with the standards and specifications of LCC Highways for adopted highways. The new access to Flaxmoss House shall be constructed and made available for use in accordance with the submitted details prior to commencement of the apartment block and shall not be altered unless otherwise first agreed in writing by the Local Planning Authority.
Reason: In the interests of highway safety, to accord with accord with_Policy 24 of the Rossendale Core Strategy DPD (2011).
6. No development shall be started until all the trees within (or overhanging) the site, with the exception of those trees clearly shown to be felled on the submitted plans, have been surrounded by substantial fences which shall extend to the extreme circumference of the spread of the branches of the trees (or such positions as may be agreed in writing by the Local Planning Authority). Such fences shall be erected in accordance with a specification to be submitted to and approved in writing by the Local Planning Authority and shall remain until all development is completed and no work, including any form of drainage or storage of materials, earth or topsoil shall take place within the perimeter of such fencing.
Reason: In the interests of visual amenity and in accordance with Policy 24 of the Rossendale Core Strategy DPD (2011).
7. Notwithstanding what is shown on the approved plans surface water must not be discharged to foul/combined sewer. No development approved by this permission shall be commenced until a scheme for the provision and implementation, of a surface water management / regulation system has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be completed in accordance with the approved plans and shall not be varied unless otherwise first agreed in writing by the Local Planning Authority.
Reason: To reduce the increased risk of flooding in accordance with Policy 24 of the Rossendale Core Strategy DPD (2011).
8. All parking associated with the development hereby approved shall be constructed in accordance with the approved details, shall be used only for the parking of motor vehicles and not for any other purpose and shall be retained as such unless otherwise first agreed in writing by the Local Planning Authority.
Reason: To ensure adequate off-street parking is provided in the interests of highway safety and in accordance with Policy 24 of the Rossendale Core Strategy DPD (2011).
9. Prior to the commencement of development on site the applicant's shall submit details of a site compound to be used for the storage and working of materials and machinery on site. The scheme shall be carried out in

accordance with the approved details and shall not be varied unless otherwise first agreed in writing by the Local Planning Authority.
Reason: To protect trees/within and surrounding the site in accordance with Policy 24 of the Rossendale Core Strategy DPD (2011).

The plan below shows the approved layout of the scheme:



4. THE PROPOSAL

Outline planning permission is sought for four detached dwellings accessed from Helmshore Road, and the construction of a new access to Flaxmoss House itself from Campion Drive. The new access from Campion Drive is the same as was permitted under planning reference 2012/0158.

The application is submitted in outline, seeking approval for access and layout. Appearance, landscaping and scale are reserved matters.

As shown on the submitted layout plan, plots 1 and 4 would be to the north side of the site and plots 2 and 3 would be to the south. Each house has been set in from the boundaries such that they would not encroach on the root protection areas of the surrounding trees (less the five within the site to be felled as per the previous approval). The house on plot 1 would have its front facing south east, plot 2 would face north and plots 3 and 4 would face east.

The application forms and Design and Access Statement state that the houses would be two storeys high. The houses would be 'traditionally detailed using materials widely found in the local area, namely facing brickwork, render, tile hanging and stone detail under under tiles roofs, all to Local Authority Planning Approval'.

It goes on to say that "All of the clear glazed habitable room windows and doors to the new houses, are located in the eastern and western elevations to maximise the distances between the new homes and existing neighbouring properties. The distances between these windows exceeds the Planning guidelines which state the following:

- Min distance of 20m between habitable rooms.

- Min distance of 13m between habitable rooms and two storey blank gables.
- Min distance of 6.5m between habitable rooms and blank single storey gables.
- We have maximised the distances between the proposed habitable rooms and the existing properties of Moss Close in particular and it can be seen that we have in fact exceeded the required 20m distance by a further 8-9 meters.”

To make up for the loss of the four trees within the site it is also stated that new trees will be planted within the site to enhance the existing boundary and to provide additional screening and landscape features within the site.

5. POLICY CONTEXT

National Planning Guidance

National Planning Policy Framework (2012)

Section 4 Promoting Sustainable Transport

Section 6 Delivering a Wide Choice of High Quality Homes

Section 7 Requiring Good Design

Section 8 Promoting Healthy Communities

Section 11 Conserving and Enhancing the Natural Environment

Development Plan

Rossendale Core Strategy DPD (2011)

Policy 1 General Development Locations and Principles

Policy 2 Meeting Rossendale’s Housing Requirement

Policy 3 Distribution of Additional Housing

Policy 4 Affordable and Supporting Housing

Policy 8 Transport

Policy 9 Accessibility

Policy 17 Rossendale’s Green Infrastructure

Policy 18 Biodiversity, Geodiversity and Landscape Conservation

Policy 23 Promoting High Quality Designed Spaces

Policy 24 Planning Application Requirements

Other Material Planning Considerations

RBC Alterations & Extensions to Residential Properties SPD (2008)

6. CONSULTATION RESPONSES

LCC (Highways)

I would raise no objection to the proposed road layout which is sufficient to serve the proposed development, including the number of off street parking spaces and garage provision (double garages should measure 6 x 6m internally)

The access road should be built to adoptable standards to LCC specification and should be un-gated.

It is highly recommended that the developer enters into a S38 agreement with Lancashire County Council to have the access road formally adopted to ensure that the future maintenance is secured.

The existing access off Helmshore Road has sufficient sightlines to accommodate the development however on-street parking is a common occurrence which severely restricts the

sightline and I would recommend that a TRO is pursued to prevent this. A contribution of £1,500 would be requested in a 106 agreement.

I would request the following conditions:-

No development shall take place, including any works of demolition, until a construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. It shall provide for:

- i) The parking of vehicles of site operatives and visitors
- ii) The loading and unloading of plant and materials
- iii) The storage of plant and materials used in constructing the development
- iv) The erection and maintenance of security hoarding
- v) Wheel washing facilities
- vi) Measures to control the emission of dust and dirt during construction
- vii) A scheme for recycling/disposing of waste resulting from demolition and construction works
- viii) Details of working hours

The developer should undertake pre-commencement and post construction surveys including photographs of the existing highway access off Helmshore Road and any damage that occurs should be reinstated by the developer at their cost.

This consent requires the construction, improvement or alteration of the access on Campion Drive to the public highway. Under the Highways Act 1980 Section 184 the County Council as Highway Authority must specify the works to be carried out. Only the Highway Authority can carry out these works and therefore before any access works can start you must contact Lancashire County Council using the website link <http://new.lancashire.gov.uk/roads-parking-and-travel/roads/vehicle-crossings.aspx> to obtain a quotation and request the works.

RBC (Contaminated Land)

Council records do not show any issues with contaminated land in or around the site. However, in the event that any evidence of potential contamination is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with a methodology previously approved by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme, a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with the immediately above condition.

RBC (Environmental Health)

There is no history of contaminated land on this site, and standard double glazing within the new dwellings should be sufficient to protect residents from traffic noise from the main road as the houses do not face onto the main road.

Due to the proximity of residential buildings during the construction phase- (including site deliveries) ensure all work is carried out in normal working hours to protect nearby residents from excessive noise.

Rossendale Civic Trust

RCT sees the mature trees, many with Tree Preservation Orders, alongside Helmshore Road as an important "gateway" feature between Haslingden and Helmshore. RCT does not object to a residential use of part of this site. RCT does however object to this Outline Application's proposals to locate house and garden plots so close to these important trees.

The plot layout would suggest that houses and their gardens are very close and under tree

branches; and so future owners could well be asking for TPO's to be changed to allow them to replace with smaller suburban garden trees and so change the character of this mature tree frontage alongside Helmsshore Road.

Site area is stated as 0.37Ha for 4 houses = 10/Ha. Local Plan sets 30/Ha as minimum outside of the 50/Ha main areas. So it should be possible to produce a layout for 4 house and garden plots which does not encroach on the TPO areas.

Note the Tree Survey Report does not provide a plan to show how its conclusions relate to the proposed 4 house plot areas, nor do they appear to be referenced on the Existing Site Survey. On plan it shows only one area of RED to remove and large areas: the NW-SE diagonal hatching, for root protection. The locations of Plots 1 and 2 look challenging to avoid tree roots and overhanging branches. Their leaf fall suggests a need to have roofs with low enough gutters, no gutters, or even flat for ease of maintenance. Maybe the architect has aims for a tall grand design house, with a roof terrace above the trees for Plot 2. RCT see a need to either be more specific now, or to remove the plot locations from the application.

Views of Flaxmoss House if drive retained would be welcomed by RCT.

7. REPRESENTATIONS

To accord with the General Development Procedure Order two site notices were posted on 23/06/2015 and 59 neighbours were consulted by letter on the 18/06/2015.

Two objections have been received as summarised below:

- Traffic onto Helmsshore Road from Campion Drive is already significant. The scheme will cause no end of trouble
- The potential loss of amenity to No.1 Flaxmoss Close due to removal of trees affecting the setting and general amenity of the existing properties neighbouring the development site, potential overlooking, particularly from plot 1 and the adequacy of sight lines from the proposed new principle access to Flaxmoss House on Campian Drive
- The scheme is quite an intensive development of additional houses within this existing built up area.

8. ASSESSMENT

The main considerations of the application are: 1) Principle; 2) Housing Policy; 3) Visual Amenity; 4) Neighbour Amenity; and 5) Access/Parking

Principle

The site is within the Urban Boundary and is located within a reasonably sustainable location and there is an extant permission for residential development of the site. The scheme is considered acceptable in principle.

Housing Policy

Section 6 of the NPPF states that local planning authorities should consider the case for setting out policies to resist inappropriate development of residential gardens, for example, where development would cause harm to the local area.

The Council's Core Strategy states that housing development within the Urban Boundary of Helmshore is not inappropriate, with priority given to development on previously developed land. However, development of un-allocated previously developed land will be permitted where :

- i. It is for 100% affordable and/or supported housing schemes; or
- ii. It forms a minor part (up to 15% of the overall site size) of a larger mixed use scheme or a major housing proposal (10+ dwellings) on previously developed land or
- iii. It delivers a significant social, economic, or environmental benefit, or
- iv. The application is for a barn conversion and it can be demonstrated that the site has been marketed for economic uses for 12 months, to the satisfaction of the Council, and is not viable for these purposes

The application does not strictly conform with the above criteria. However, as discussed below, it is considered that the development would not harm the general character and appearance of the area, and as stated previously, there is an extant permission for residential development of the site which is a material planning consideration weighing in its favour. Furthermore, the Council's Strategic Land Availability Assessment (2010) highlights that the site is suitable, achievable and available for housing. There is no requirement for affordable housing on the site due to the number of houses proposed being less than 8.

The application is therefore considered acceptable in this instance with regards to Housing Policy.

Visual Amenity

Following comments received in respect of the proximity of the proposed houses to the trees the applicant has commissioned a further tree survey which will be provided in time for the Update Report, along with any necessary comments from the Council's arboricultural officer.

With the trees to the boundaries of the site being retained there would be limited views into the site from public vantage points. The area is characterised by a mixture of buildings in terms of size, design and appearance. I am satisfied that the proposed layout of the houses is acceptable, along with the indicative information on the materials and scale of the dwellings. Accordingly the scheme would not cause harm to the overall character and appearance of the area and a substantial curtilage would still remain for Flaxmoss House. It is apparent that the tennis court to the rear corner of the site is set lower than the rest of the land. As no information on finished levels of the site and the houses are provided, I consider it is necessary to condition such details, but I am satisfied that this can be achieved without having implications for the trees around the perimeter of the site.

The proposed access point from Helmshore Road will remain unchanged and this is welcomed as it is a positive feature in the area. The new access proposed for Flaxmoss House itself would be the same as the extant permission and therefore is acceptable in visual amenity terms subject to conditions.

Details of appearance, scale and landscaping would be dealt with under the relevant reserved matter applications. The applicant has confirmed, however, that the site would be divided up between the plots so that there would be no requirement for a management and maintenance plan for any areas outside of the property curtilages, and I am satisfied that replacement planting for the trees to be lost within the site can be provided on site. Previously it was proposed that this would take place within the existing hedge row to the northern boundary of the site, which defines the break between it and the resulting curtilage to Flaxmoss House.

The scheme is considered acceptable in terms of visual amenity.

Neighbour Amenity

The scheme proposes separation distances of 28 - 29m for plots 3 and 4 to the properties on Moss Close which is in excess of the minimum 20m required in the Council's Alterations and Extensions to Residential Properties SPD. Separation distances between plot 4 and Flaxmoss House would also be acceptable in accordance with the submitted details at 19m – 22m.

Plot 2 is located 17.6m from Westbourne to the south. The applicant has indicated that the southern elevation will either have no habitable room windows or would have obscure glazed windows facing southwards towards Westbourne at a distance of 17.6m away through the mature belt of trees. This will be addressed at reserved matters stage when elevation drawings are submitted. I am satisfied that this would not result in any significant detriment to amenity from occupiers of Westbourne.

Plot 1 would have its northern corner of its rear elevation approximately 5m from the boundary with No.2 Flaxmoss Close. Due to the orientation of both properties the proposed rear elevation would face a corner of the front garden, albeit separated by mature trees. This would result in a degree of overlooking, however, I am satisfied that the house could be designed so that this corner would not have first floor habitable room to that part of its rear elevation so that no direct overlooking could occur. Again, this will be addressed at reserved matters stage.

From the layout of the house on Plot 1 it is highly likely to have first floor habitable room window(s) in the rear elevation that would overlook a part of the front garden to the adjacent house on Flaxmoss Close, however, as the house would be offset, there are mature trees to that boundary and it would not in my opinion have an unduly detrimental impact on the amenities No.2 Flaxmoss Close could reasonably expect to enjoy.

Access/Parking

There has been no objection from the Highway Authority subject to conditions and a contribution of £1500 to pursue the investigation of TRO in the vicinity of the access to Helmsore Road. This is consistent with the previous permission that was granted on the site.

I have discussed the request by the Highway Authority for the road to be constructed to adoptable standards. They have further commented that they would support the adoption of the estate road for four dwellings, however, if the developer wishes to keep it private they would raise no objection due to the low number of dwellings. If the developer does decide to keep the development private then the following condition would be necessary:

“No development shall be commenced until details of the proposed arrangements for future management and maintenance of the proposed streets within the development have been submitted to and approved by the local planning authority. [The streets shall thereafter be maintained in accordance with the approved management and maintenance details until such time as an agreement has been entered into under section 38 of the Highways Act 1980 or a private management and maintenance company has been established].”

I have no reason to raise an objection to either the new access from Campion Drive for Flaxmoss House, or the use of the existing access from Helmsore Road to serve the four houses.

The scheme is considered acceptable in terms of highway safety.

9. SUMMARY REASONS FOR APPROVAL

The proposed development is considered appropriate in principle within the Urban Boundary and, subject to the conditions, it is considered that the proposed development will not result in unacceptable detriment to visual & neighbour amenity or highway safety, having regard to the NPPF (March 2012), Policies 1/8/9/17/18/23 and 24 of the Council's adopted Core Strategy DPD (2011) and the Council's Alterations and Extensions to Residential Properties SPD (2008).

10. CONDITIONS

1. The development hereby permitted shall be commenced either before the expiration of three years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters as defined by condition 3 below, whichever is the later.

Reason: Required by Section 92 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall not be carried out otherwise than in strict accordance with the submitted details below and any subsequently approved reserved matters unless otherwise required by the conditions below:

- Submitted application forms dated 20th May 2015
- Submitted Design and Access Statement dated 19th May 2015
- Planning numbers:
 - OP-01 (Site Location Plan)
 - OP-02 (Proposed Site Layout Plan)
 - OP-02 (Proposed Site Plan with Root Protection Plan)
 - OP-03 (Site Block Plan)
- The accompanying tree survey reports, plans and recommendations by TBA Landscape Architects

Reason: To ensure the development complies with the approved plans, in accordance with Policies 1 and 24 of the adopted Core Strategy DPD.

3. a) Details of the reserved matters set out below shall be submitted to the Local Planning Authority for approval within three years from the date of this permission:

- (i) scale;
- (ii) appearance; and
- (iii) landscaping.

b) The reserved matters shall be carried out as approved.

c) Approval of all reserved matters shall be obtained from the Local Planning Authority in writing before any development is commenced.

Reason: To enable the Local Planning Authority to control the development in detail and to comply with Section 92 (as amended) of the Town & Country Planning Act 1990.

4. The details submitted in pursuance of condition 3 of this consent shall include full details of the following:

- proposed internal floor and external ground levels within the site;
- a report to demonstrate that any proposed level changes do not adversely affect trees within or bounding the site; and

- cross section drawings.

Reason: To ensure the scheme is acceptable in terms of visual and neighbour amenity, in accordance with Policies 1, 23 and 24 of the Council's Core Strategy DPD.

5. No development shall commence until full details of proposed driveways / parking to serve the houses have been submitted to and approved in writing by the Local Planning Authority. The details shall be implemented as approved prior to first occupation of the dwellings hereby permitted.

Reason: To ensure adequate off street parking, in the interests of amenity and highway safety, to accord with accord with_Policy 24 of the Rossendale Core Strategy DPD (2011).

6. Prior to commencement of development, a scheme shall be submitted to and approved in writing by the Local Planning Authority to show the existing access to Campion Drive to be permanently closed and a footway re-instated in accordance with the standards and specifications of LCC Highways for adopted highways. The new access to Flaxmoss House hereby approved, shall be completed prior to the commencement of development of the dwellings hereby approved.

Reason: In the interests of highway safety, to accord with accord with_Policy 24 of the Rossendale Core Strategy DPD (2011).

7. Notwithstanding what is shown on the approved plans surface water must not be discharged to foul/combined sewer. No development approved by this permission shall be commenced until a scheme for the provision and implementation, of a surface water management / regulation system has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be completed in accordance with the approved plans and shall not be varied unless otherwise first agreed in writing by the Local Planning Authority.

Reason: To reduce the increased risk of flooding in accordance with Policy 24 of the Rossendale Core Strategy DPD (2011).

8. Prior to the commencement of development the applicant shall submit details of a site compound to be used for the storage and working of materials and machinery on site. The scheme shall be carried out in accordance with the approved details and shall not be varied unless otherwise first agreed in writing by the Local Planning Authority.

Reason: To protect trees/within and surrounding the site in accordance with Policy 24 of the Rossendale Core Strategy DPD (2011).

9. No development shall take place, including any works of demolition, until a construction method statement, which shall have regard to the root protection zones of protected trees, has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. It shall provide for:

- i) The parking of vehicles of site operatives and visitors
- ii) The loading and unloading of plant and materials
- iii) The storage of plant and materials used in constructing the development
- iv) The erection and maintenance of security hoarding
- v) Wheel washing facilities
- vi) Measures to control the emission of dust and dirt during construction
- vii) A scheme for recycling/disposing of waste resulting from demolition and construction works
- viii) Details of working hours

Reason: In the interests of highway safety, to ensure that protected trees are not harmed

during the construction period and in the interests of neighbour amenity, in accordance with Policies 1, 23 and 24 of the Rossendale Core Strategy DPD (2011).

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that order with or without modification), no development as specified in Part 1 Classes A - H other than those expressly authorised by this permission, shall be carried out without express planning permission first being obtained from the Local Planning Authority.

Reason: In order that the Local Planning Authority may exercise control over any proposed future extensions and in the interests of visual amenity and neighbor amenity, in accordance with Policies 1, 23 and 24 of the Council's Core Strategy DPD.

11. Any construction works associated with the development hereby approved shall not take place except between the hours of 7:00 am and 7:00 pm Monday to Friday and 8:00 am and 1:00 pm on Saturdays. No construction shall take place on Sundays, Good Friday, Christmas Day or Bank Holidays.

Reason: To safeguard the amenities of neighbours, in accordance with Policy 24 of the Council's adopted Core Strategy DPD.