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Rev	Description	By	CHK	DATE
1				

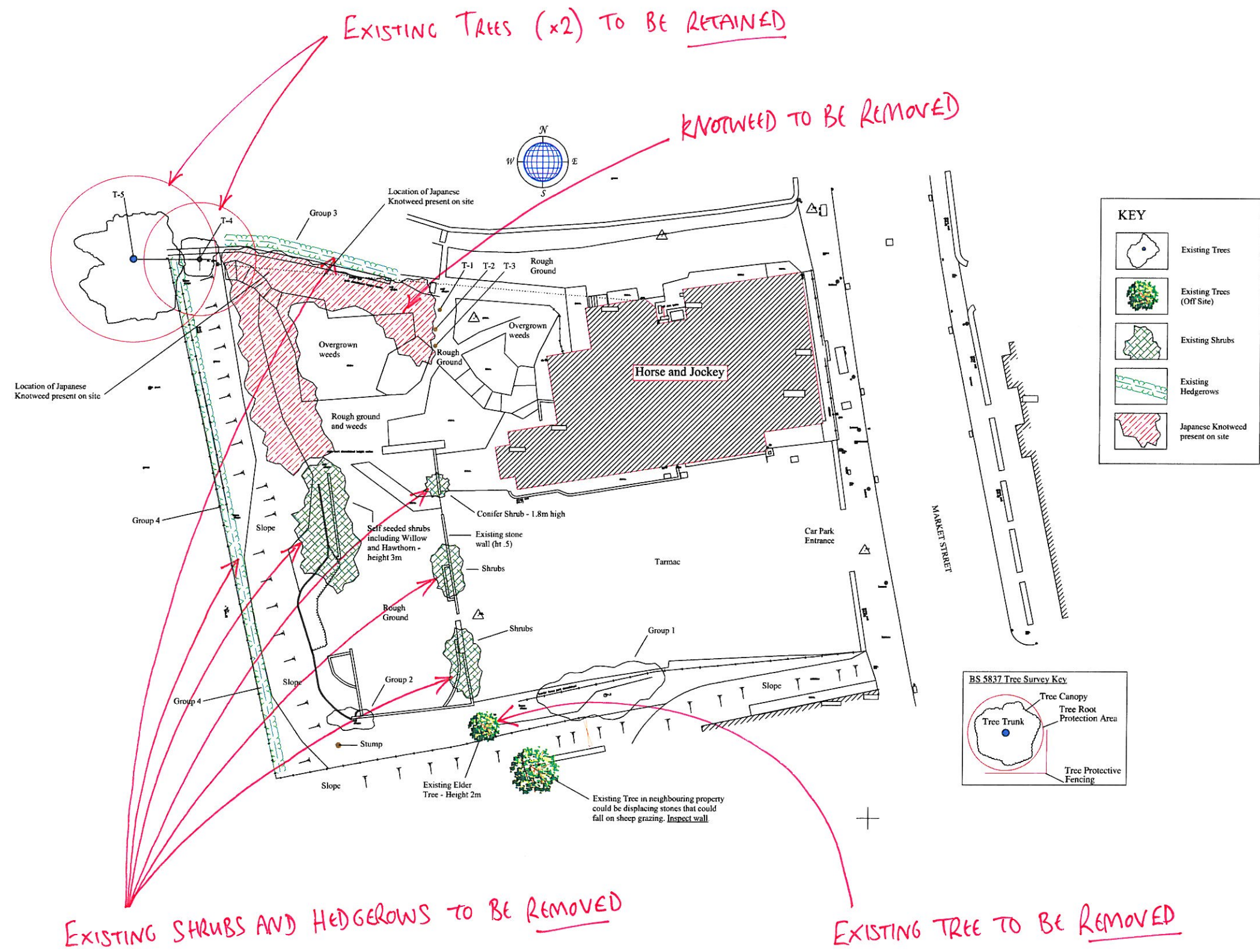
**NORTHMILL ASSOCIATES**  
 1 North Mill, Edenfield, Greater Manchester, M23 9LH  
 Tel: 0161 275 1111  
 Fax: 0161 275 1112  
 Email: info@northmill.co.uk

Project  
**85 MARKET STREET, EDENFIELD**

Client  
**MR M. SKILLIN**

Drawing  
**Site Location Plan**

Project No: 2340    Scale: A1 A3  
 Drawn: DA    Checked: MW    Date: 17/02/2015  
 Drawing No: L000/01    Status: PLANNING    Revision: -



**NOTES-LEGEND**

**Landscape Review**

THIS LANDSCAPE DESIGN HAS BEEN PRODUCED BY THE BUSINESS FROM SITE CONDITIONS AT THE TIME OF VIEWING AND THE SITE PLANS PROVIDED. IT IS UNDERSTOOD THAT THERE ARE LIKELY TO BE DIFFERENCES IN THE DESIGN LAYOUT AND THE ACTUAL ON SITE LAYOUT. THE DESIGN IS CONCEPTUAL AND IS TO BE AGREED IN PRINCIPLE WITH THE ARCHITECTS CLIENT. ONCE AGREEMENT HAS BEEN REACHED THE CONTRACTOR IS RESPONSIBLE FOR HEALTH & SAFETY AND SHOULD BRING TO ATTENTION ANY SITUATION THAT POTENTIALLY THREATENS PERSONS AND PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR ERRORS AND OMISSIONS ON THEIR DOCUMENTS AND FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCEMENT OF ANY WORK. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL WORK IS UNDERTAKEN CORRECTLY AND TO THE RELEVANT STANDARDS.

REVIEWED BY:

DATE:

COMMENTS:

**MARK-UP.**  
**14/09/15**

REVISIONS:

REV:	DESCRIPTION:	DATE:
0	BS: 5837 TREE SURVEY	06/July/15

**BS: 5837 - 2012 TREE SURVEY SITE PLAN**

**KEY PLAN:**

PLEASE REFER TO THE ATTACHED DOCUMENTS BS: 5837 - 2012.

- TREE SURVEY SPREADSHEET DATA. DATED: 06th JULY 15
- TABLE 1 - CASCADE CHART FOR CATEGORY GRADING.

THE RED CIRCLES AROUND THE TREES REPRESENT THE POSITION OF THE TREE ROOT PROTECTION AREAS.  
THE BROWN LINES AROUND THE TREES REPRESENT THE POSITION OF THE TREE PROTECTIVE FENCING.

**Urban Forestry Group**  
*What we do Works!*

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Website: [www.urbanforestry.co.uk](http://www.urbanforestry.co.uk)  
Email: [office@urbanforestry.co.uk](mailto:office@urbanforestry.co.uk)

CLIENT:  
Mr. Mark Whitfield / Northmill Associates Limited

SITE ADDRESS:  
Land Surrounding the Horse and Jockey,  
Market Street,  
Eden field,  
Lancashire.

SCALE:  
1:200 @ A1

CAD DWG NUMBER:  
DW/SD/MR/MG/BSTS

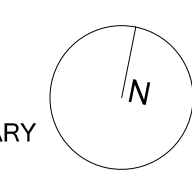
EXTRACTED FROM DRAWING:  
Location plan  
Site Surveying Services  
Drawing no: sss-3837-horseandjockey-MPI  
Revision: A  
Dated: 08-04-11



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THIS DRAWING IS FOR PLANNING PURPOSES ONLY



- LANDSCAPE & BOUNDARY TREATMENT KEY:
- New c.1200mm high close-boarded timber fence
  - Existing coursed stone wall retained & repointed where required.
  - New c.1200mm high random coursed stone wall to match adjacent existing stone walls (coping, coursing etc).
  - New c.1200mm high close boarded timber gate to match fence.
  - New painted timber front gate. Colour to be agreed. Height to match adjacent
  - Tarmac with concrete kerb to edges, in accordance with adoptable standards.
  - Tarmac to car parking spaces
  - Pre Cast Concrete (PCC) paving. Colour: Natural/ grey
  - Asphalt + resin bonded pathway. Colour: Buff / Brown
  - Granite sets - traffic calming rumble strip, in accordance with adoptable standards.
  - Heritage Street lighting 6m column. Colour: Black
  - Soft landscaping - by owner.

Rev	Description	By	Chk	Date
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Project  
**85 MARKET STREET**

Client  
**MR M. SKILLIN**

Drawing  
**PROPOSED BOUNDARY TREATMENTS**

Project No: 2340    Scale @ A1 1:100    Date: 20/07/2015  
 Drawn: DL    Checked: MW    Status: PLANNING G  
 Drawing No:    Revision:  
**L(02)14**    **P2**



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HOUSE TYPE 3 (DETACHED) SOUTH ELEVATION EAST ELEVATION (TO MARKET STREET) NORTH ELEVATION WEST ELEVATION



HOUSE TYPE 1 (3 HOUSE TERRACE) SOUTH ELEVATION EAST ELEVATION (TO MARKET STREET) NORTH ELEVATION WEST ELEVATION




HOUSE TYPE 3 (SEMI DETACHED PAIR) SOUTH ELEVATION EAST ELEVATION NORTH ELEVATION WEST ELEVATION



HOUSE TYPE 1 (SEMI DETACHED PAIR) SOUTH ELEVATION EAST ELEVATION NORTH ELEVATION WEST ELEVATION

- MATERIALS LEGEND:**
- A Coursed local stone (type, coursing & mortar to be agreed)
  - B Engineering brickwork (colour: charcoal)
  - C Through render (colour: light cream / natural white)
  - D Clay roof tiles with fascia / barge board (colour: dark grey)
  - E Front / rear door (colour: indicative only and to be agreed)
  - F Sliding / opening double glazed patio / balcony door
  - G Double glazed windows (frame colour: dark grey)
  - H Polyester powder coated rainwater goods (colour: dark grey)
  - J Second floor rooflight
  - K Timber cladding (type to be confirmed)
  - L Cast stone quoins, features, lintols & sills
- Note: window & door opening direction indicative only.

Rev	Description	By	CHK	Date
-	-	-	-	--/--



**NORTHMILL**  
associates

Project  
**85 MARKET STREET, EDENFIELD**

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Client  
**MR M. SKILLIN**

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Drawing  
**Proposed Elevations**

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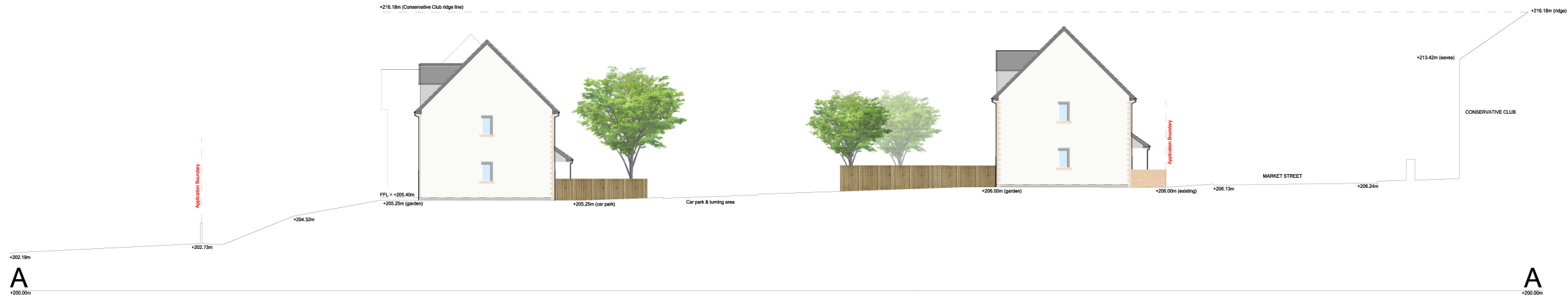
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Drawn: TBH	Checked: MW	Status: PLANNING
Drawing No: L(03)01		Revision: P1





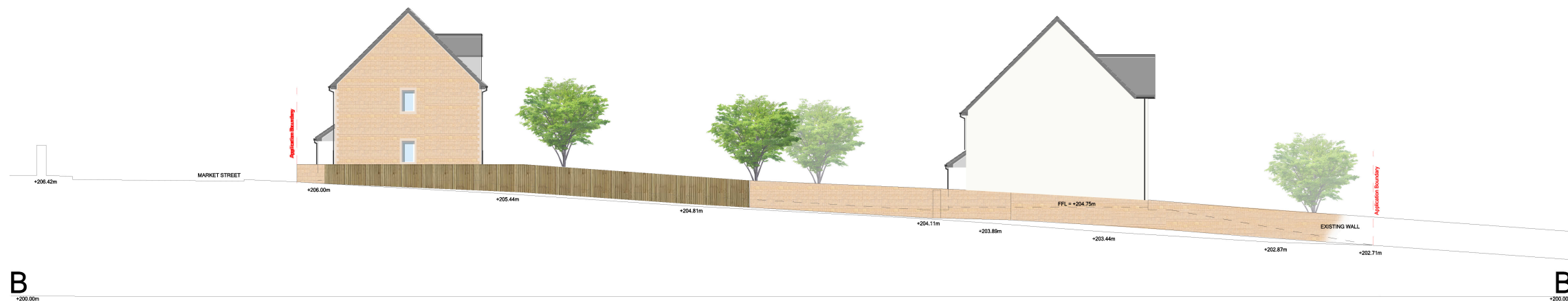


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A

A



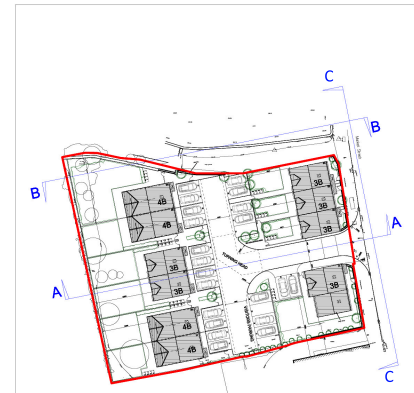
B

B



C

C



Rev	Description	By	CHK	Date

**NORTHMILL ASSOCIATES**

Project: 85 MARKET STREET, EDENFIELD

Client: MR M. SKILLIN

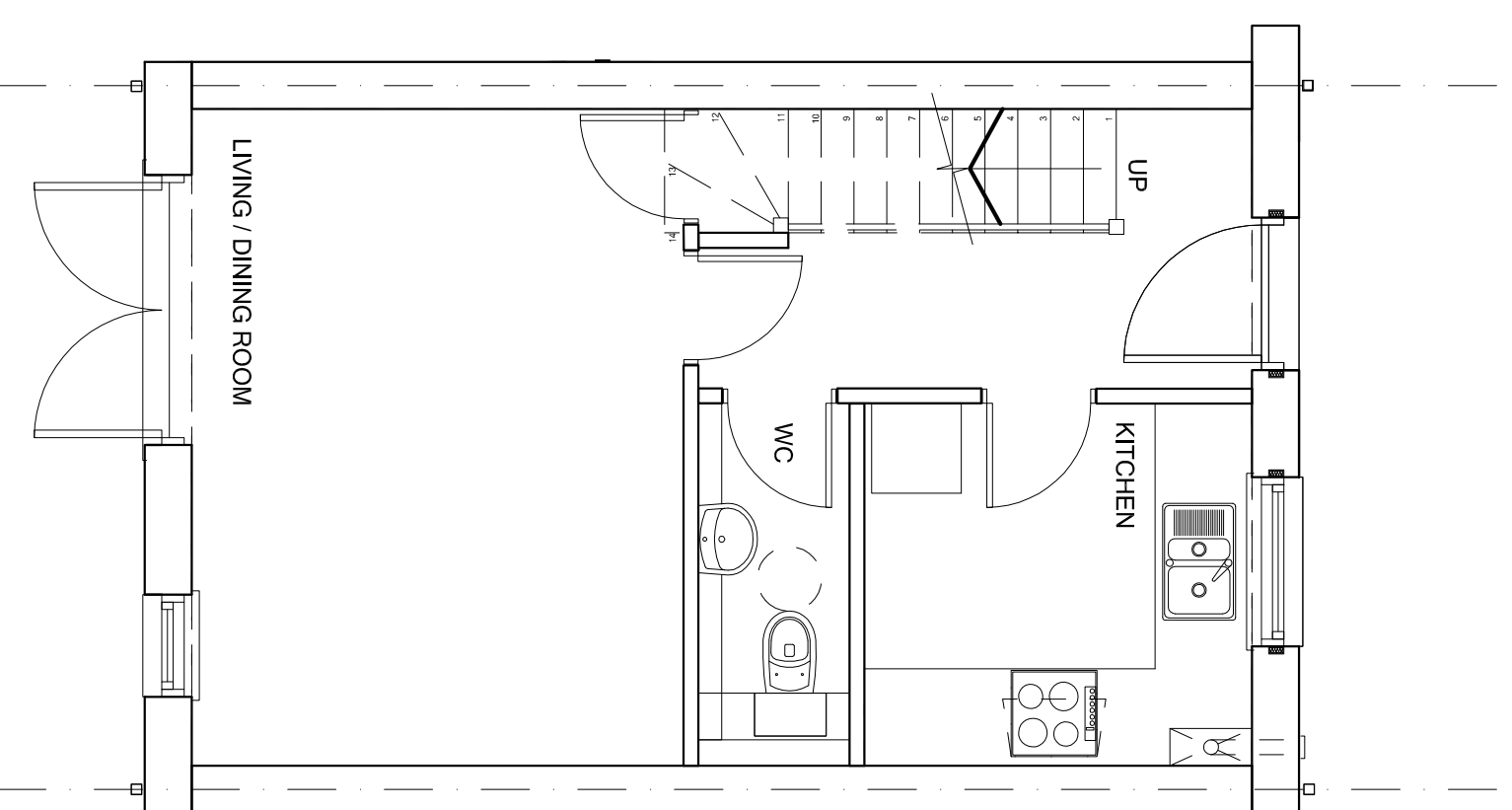
Drawing: Proposed Site Sections & Elevations

Project No: 2340    Scale @ A3: 1:100    Date: 17/07/2015

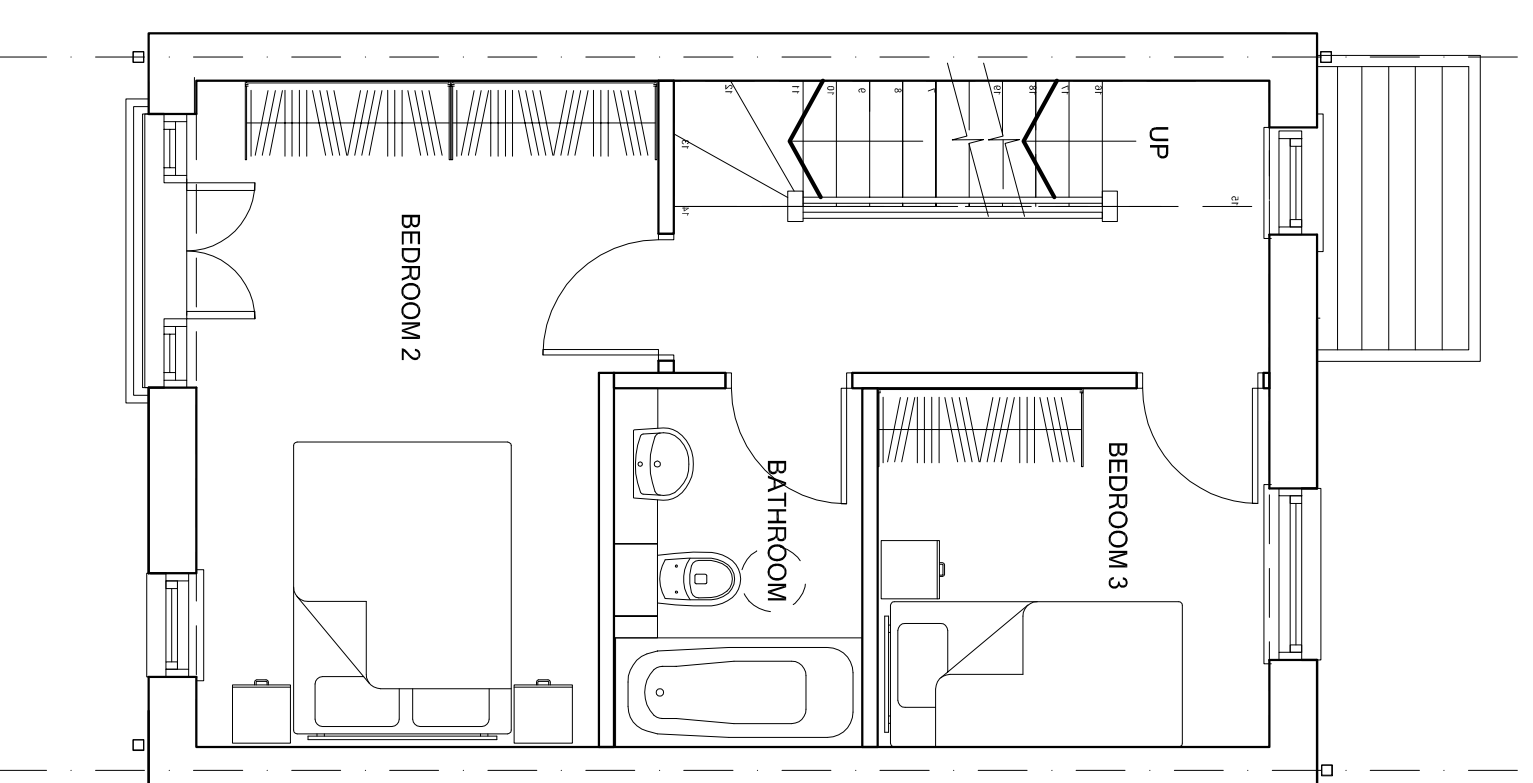
Drawn: DL    Checked: MW    Status: -

Drawing No: L[04]10    Revision: -

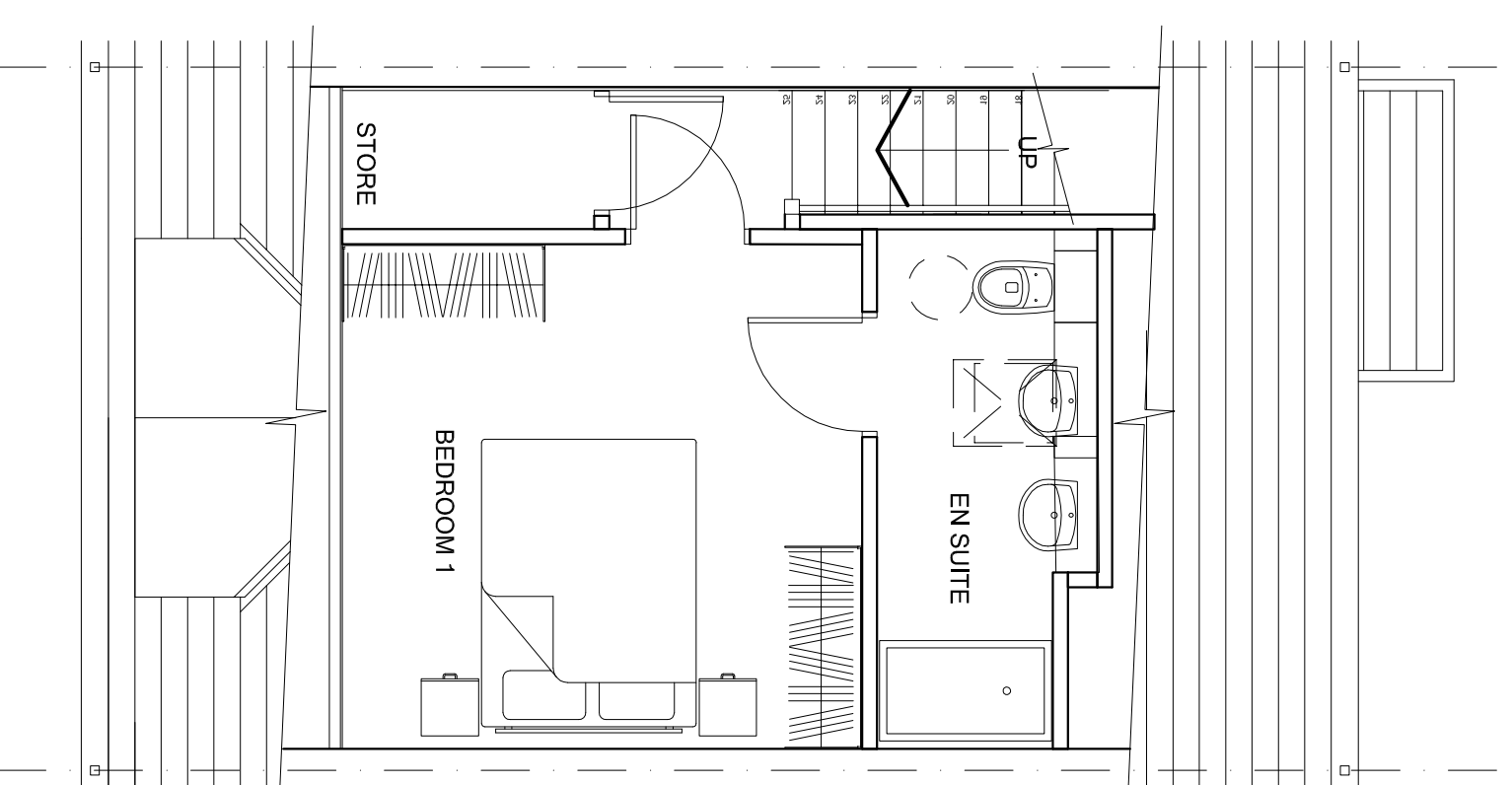




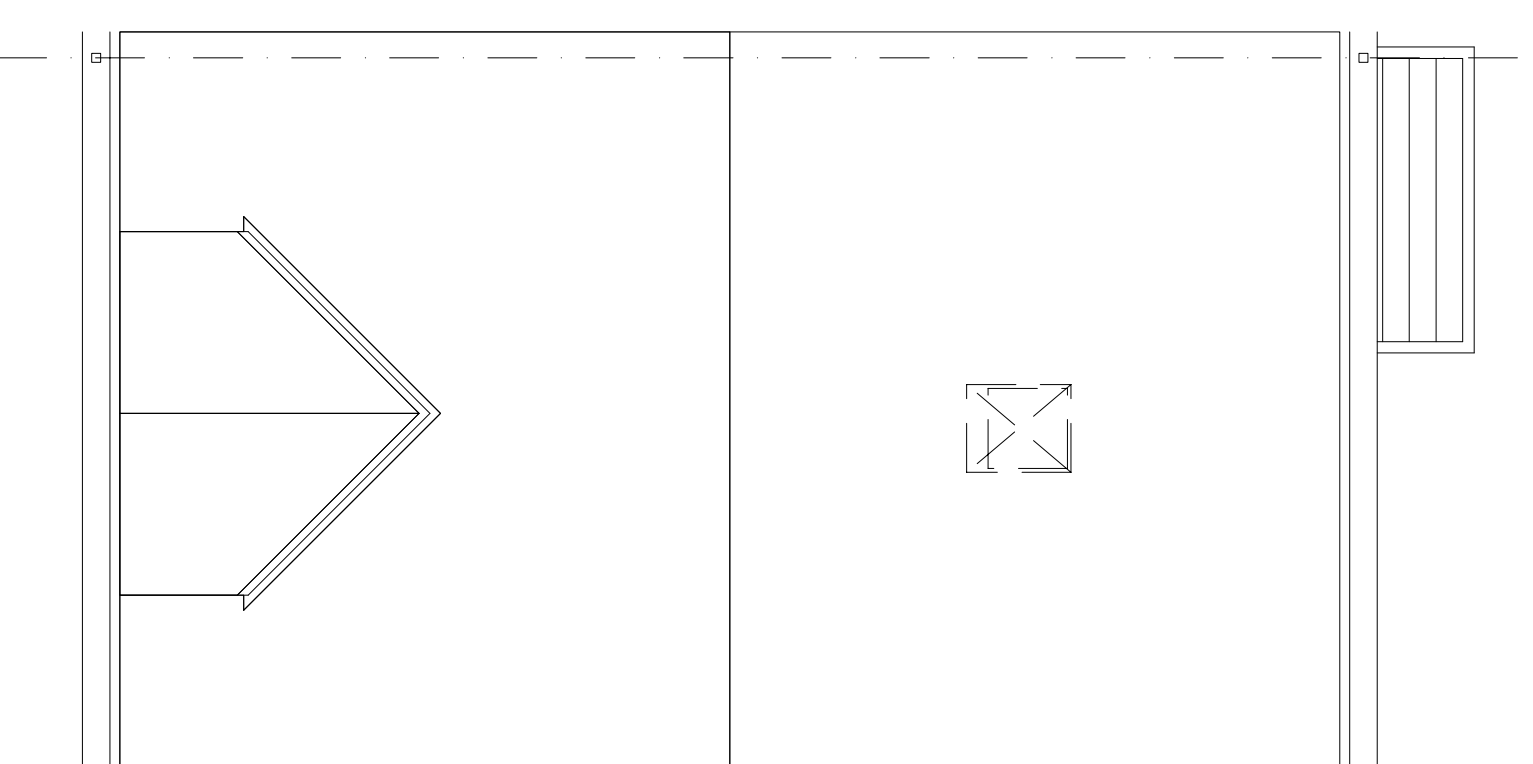
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



ROOF

Rev	Description	By	CHK	Date

**NORTHMILL**  
 ASSOCIATES  
 ARCHITECTS

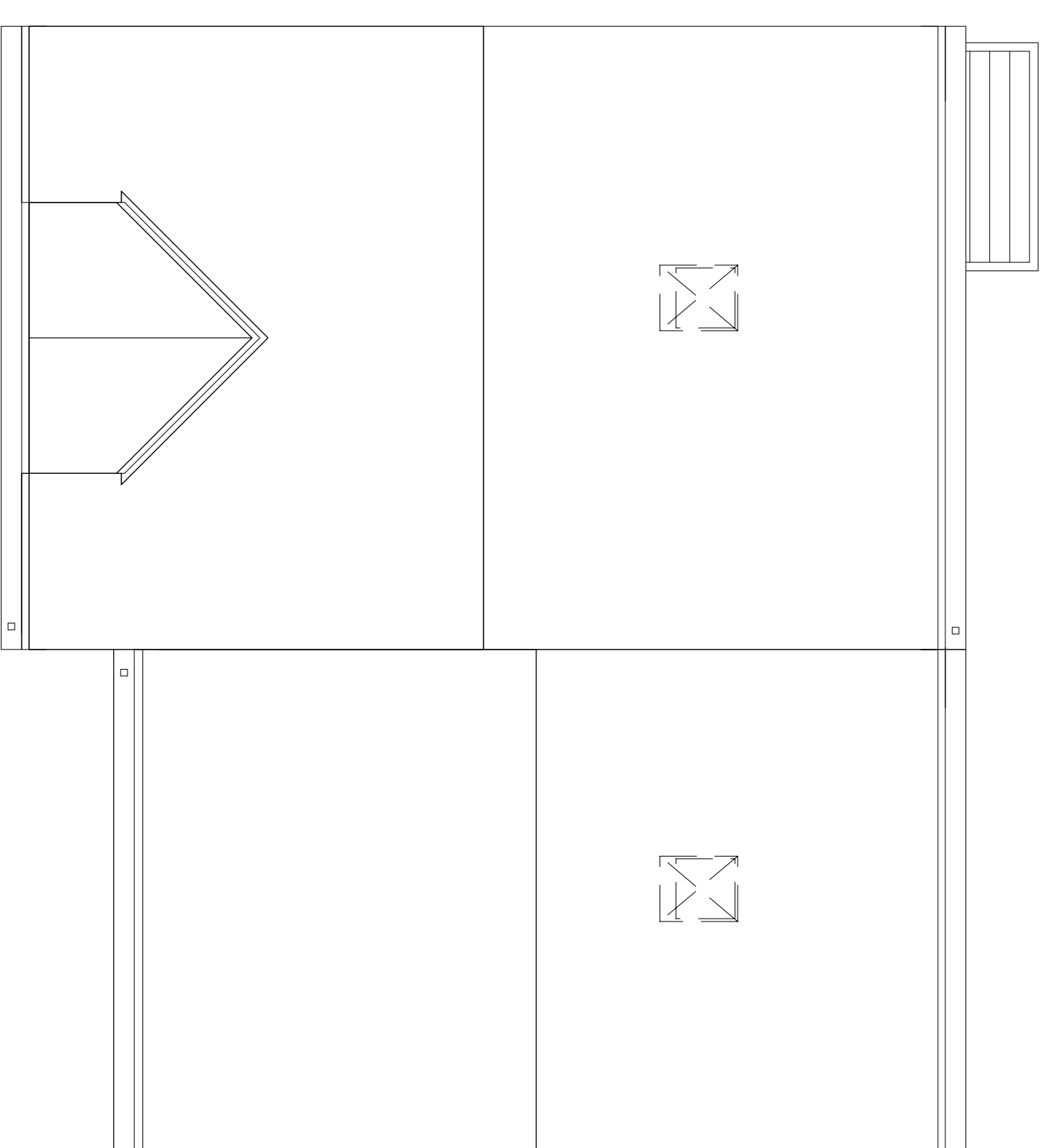
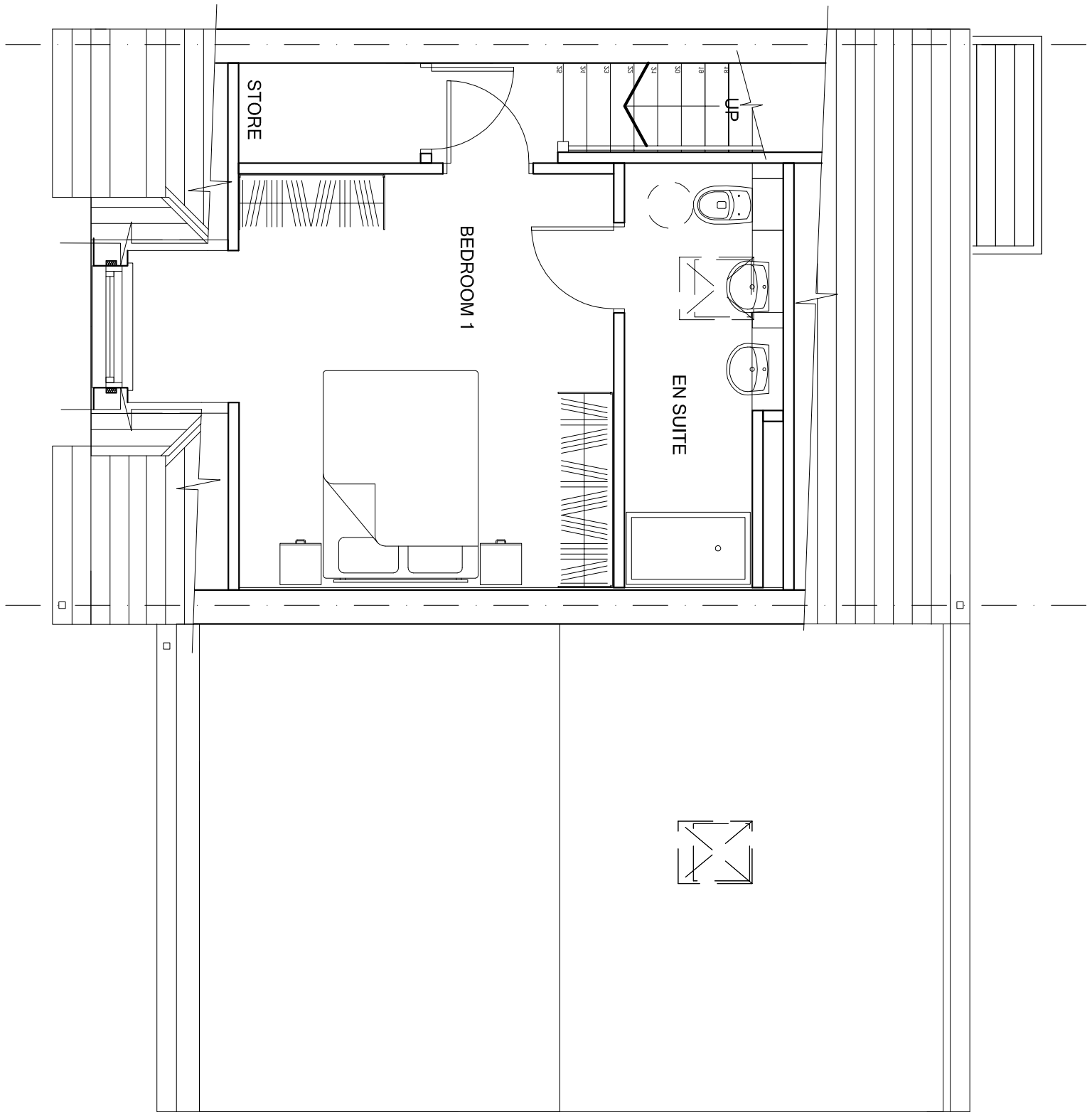
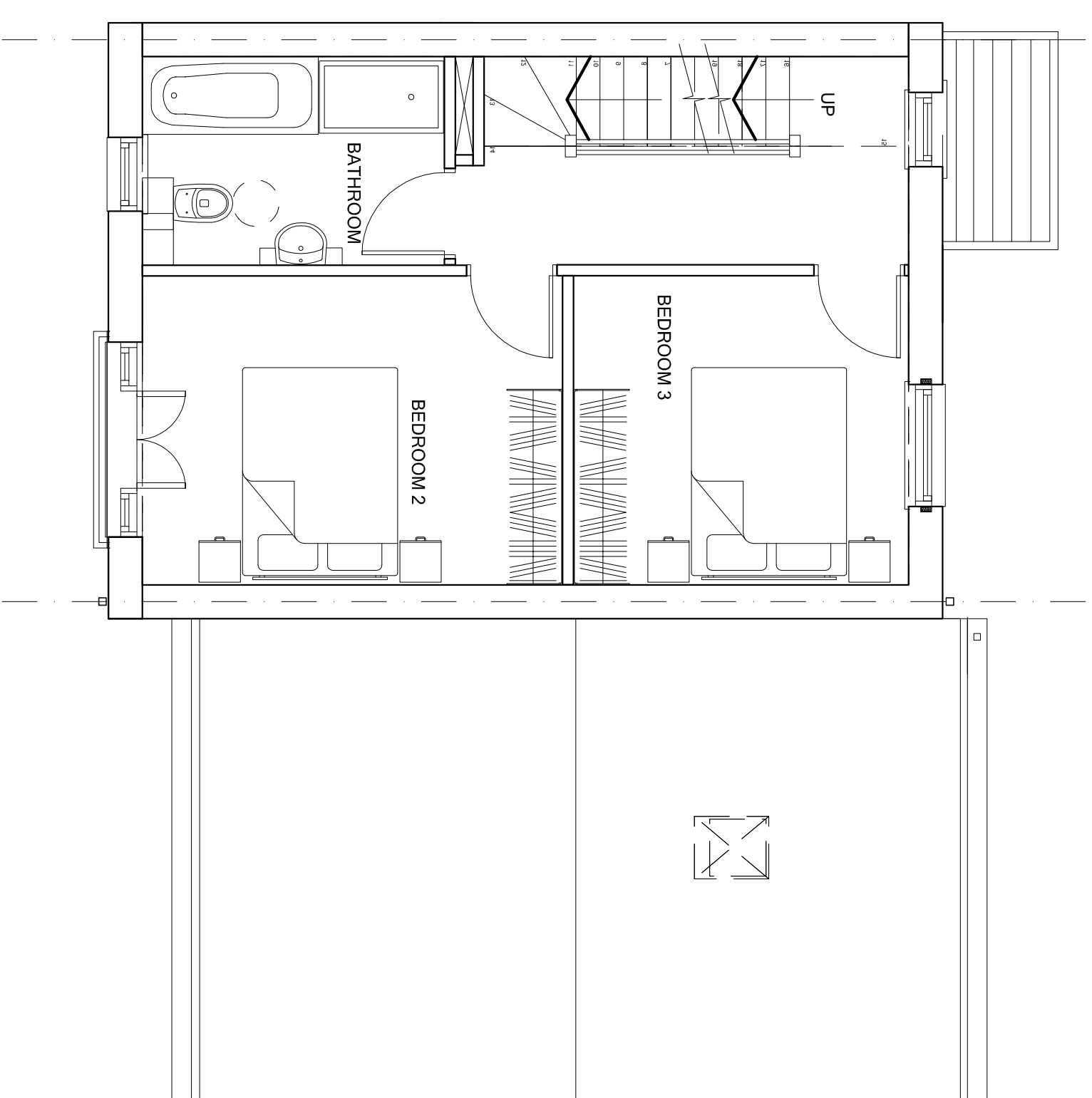
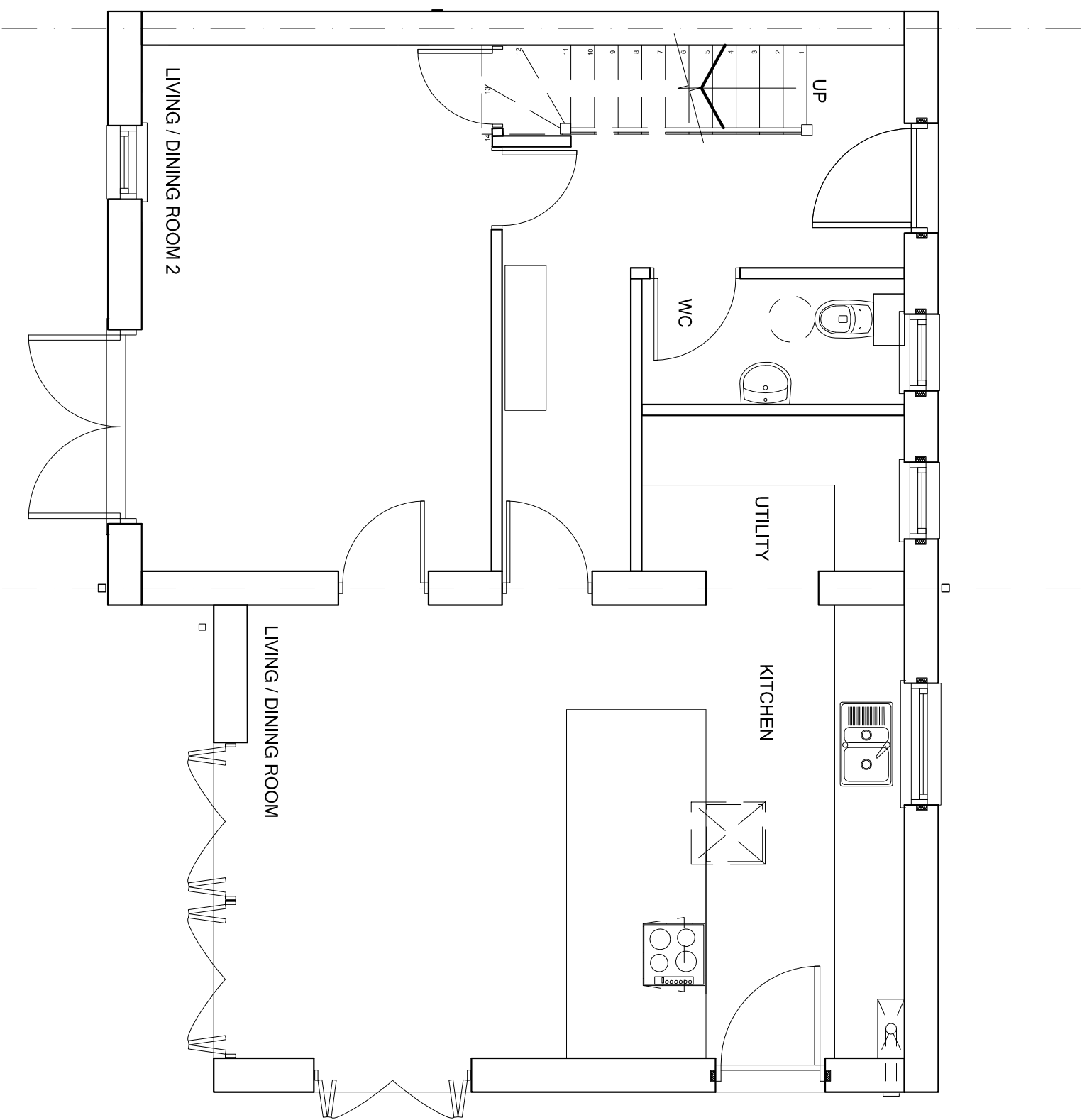
Project  
**85 MARKET STREET**

Client  
**MR M. SKILLIN**

Drawing  
**HOUSE TYPE 1 (3 BEDROOM, 3 STOREY)**

Project No: 2340    Scale: A1 1:50    Date: 20/07/2015  
 Drawn: DL    Checked: MW    Status: PLANNING G  
 Drawing No: L(02)20    Revision: P1





Rev	Description	By	CHK	Date



Project  
**85 MARKET STREET**

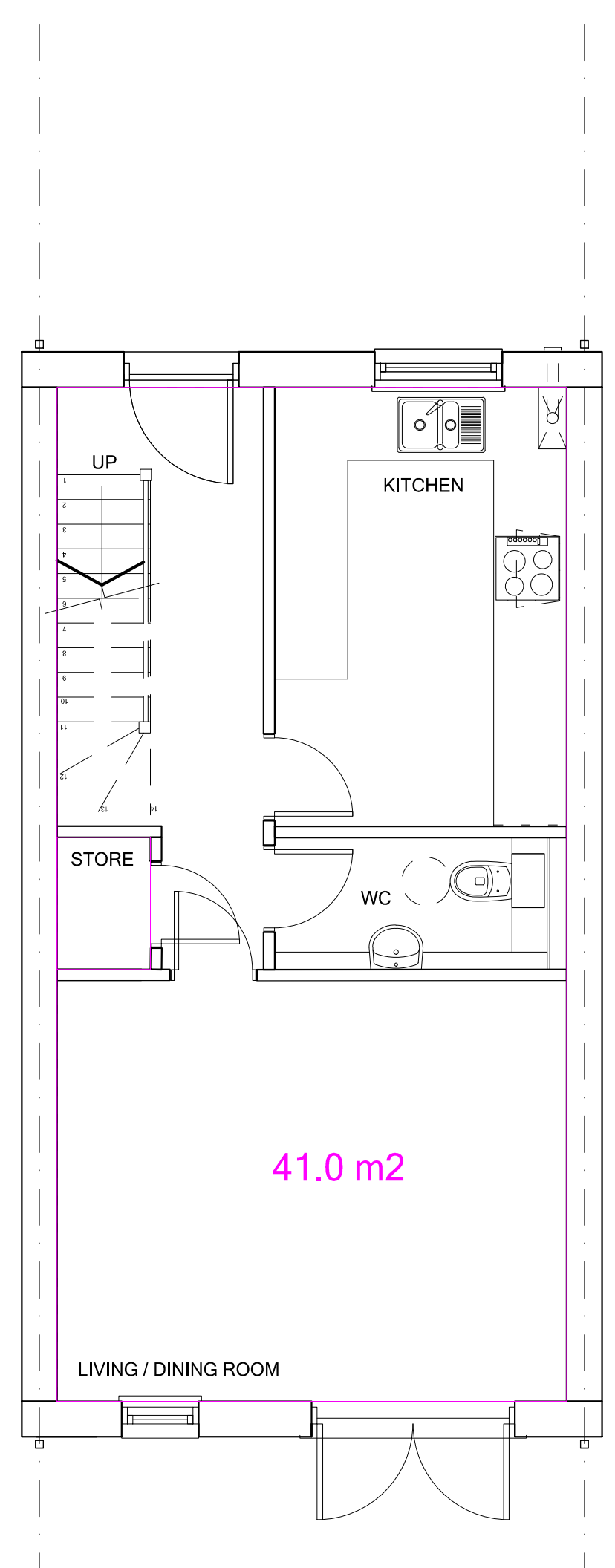
Client  
**MR M. SKILLIN**

Drawing  
**HOUSE TYPE 2 (3 BEDROOM, 1 & 3 STOREY)**

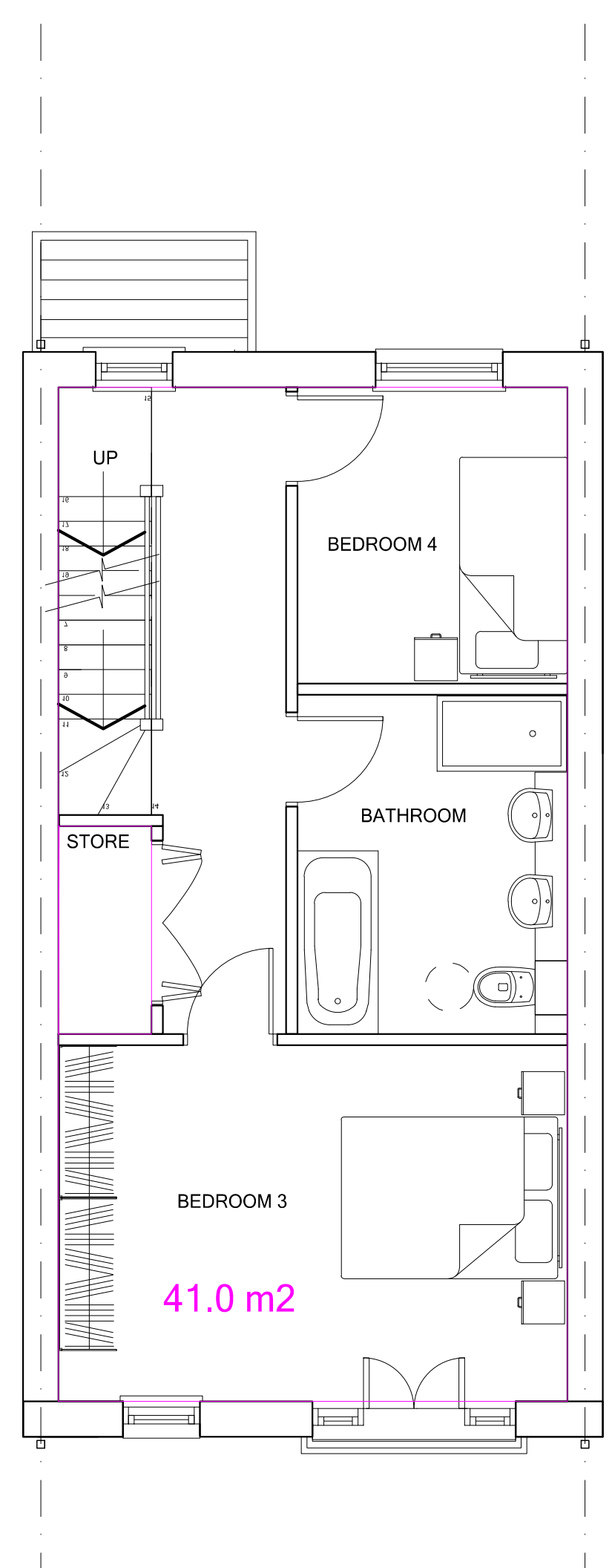
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Drawn: DL Checked: MW Status: PLANNING  
Drawing No: L(02)30 Revision: P1



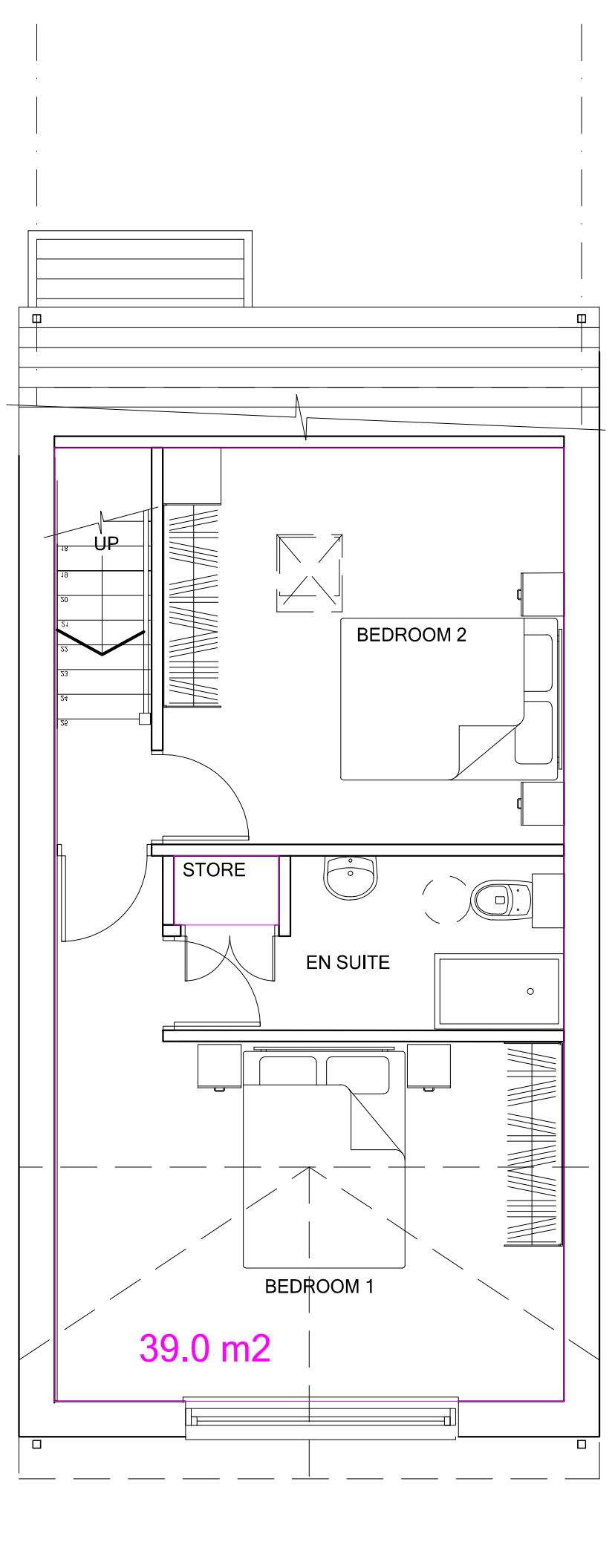
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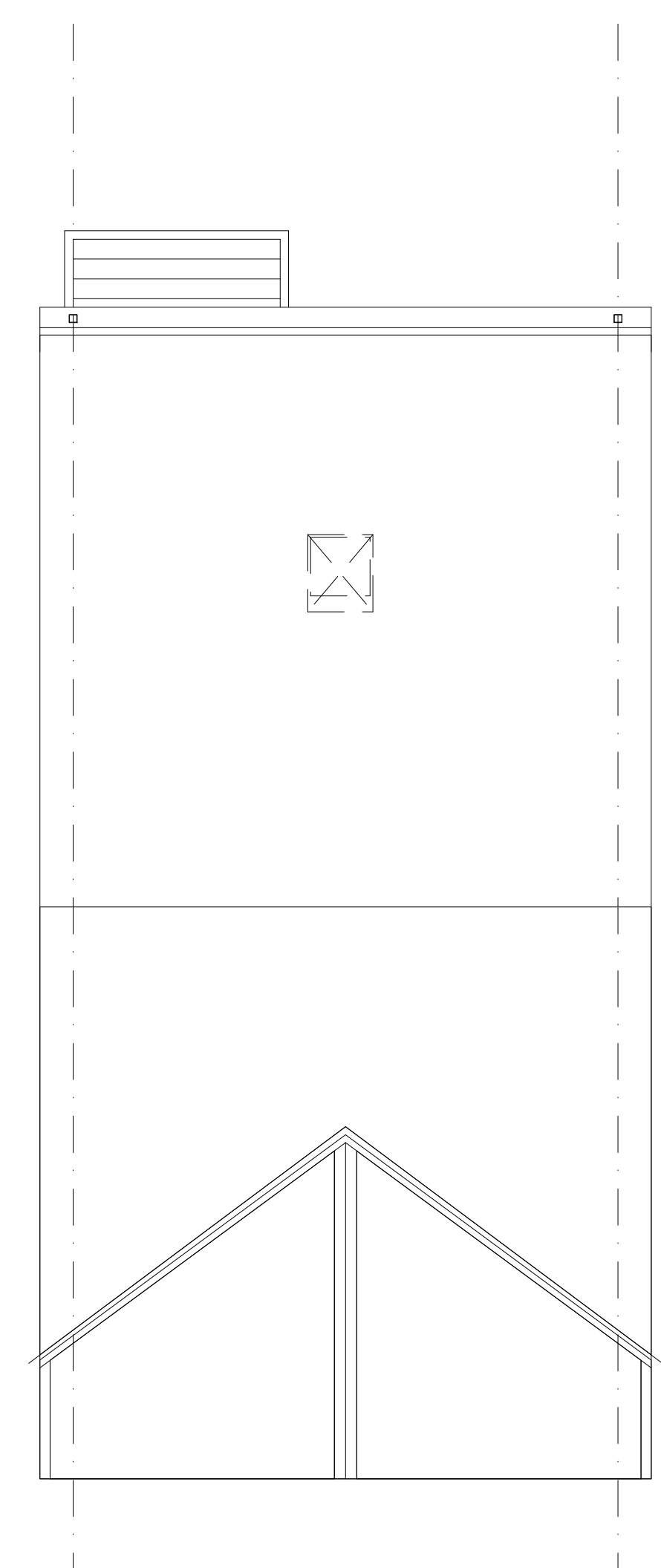
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



ROOF

Rev	Description	By	Chk	Date
-	-	-	-	-/-/-



Project  
**85 MARKET STREET**

Client  
**MR M. SKILLIN**

Drawing  
**HOUSE TYPE 3 (4 BEDROOM, 3 STOREY)**

Project No: 2340    Scale @ A1 1:50    Date: 20/07/2015  
 Drawn: DL    Checked: MW    Status: PLANNING  
 Drawing No: L(02)40    Revision: P2