

<b>Application Number:</b>	2017/0100	<b>Application Type:</b>	Full Application
<b>Proposal:</b>	Outline application: Erection of 22no. bedroom care home (Use Class C2) with all details for approval except for landscaping	<b>Location:</b>	Former Health Centre Yorkshire Street Bacup Lancashire OL13 9AE
<b>Report of:</b>	Development Control	<b>Status:</b>	For Publication
<b>Report to:</b>	Development Control Committee	<b>Date:</b>	24 May 2017
<b>Applicant:</b>	Dr Krishnan Satkunam	<b>Determination Expiry Date:</b>	13 June 2017
<b>Agent:</b>	Krinvest Ltd		

<b>Contact Officer:</b>	<b>Lauren Ashworth</b>	<b>Telephone:</b>	<b>01706 238637</b>
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REASON FOR REPORTING	Tick Box
<b>Outside Officer Scheme of Delegation</b>	X
<b>Member Call-In</b> Name of Member: Reason for Call-In:	
<b>3 or more objections received</b>	
<b>Other (please state):</b>	

## HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:-

### Article 8

The right to respect for private and family life, home and correspondence.

### Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

## 1. RECOMMENDATION(S)

Grant outline planning permission subject to the conditions set out below and satisfactory resolution of the ecological matters in respect of bats. It is recommended that Members delegate authority to the Head of Planning to further consider the ecological implications for the development and to address any necessary mitigation by condition or to refuse outline planning permission if there will be an adverse impact without suitable mitigation measures prior to 13 June 2017 (the current target date) or an agreed extended time period.

## **APPLICATION DETAILS**

### **2. SITE**

The site is broadly square in shape and extends to approximately 0.2 hectares. It was formerly occupied by Bacup Health Centre (a single storey 1960s brick building) with car parking to the rear. The building has been demolished. The site is therefore previously developed in planning terms. The majority of the site is flat however levels rise towards the rear (south) where a row of trees are located and are retained by a 1 metre high stone wall. The trees form an important buffer between the site and the dwellings on Hammerton Green further south and are protected by virtue of their location within the Bacup Town Centre Conservation Area.

The site is bound by Yorkshire Street to the north, Hammerton Green to the east and south and Irwell Terrace to the west. The surrounding build development consists predominately of residential in the form of dwellings and flats.

The site is located within the Urban Boundary of Bacup and is within the Bacup Town Centre Conservation Area. There are a number of listed buildings within close proximity of the site including the Grade II listed Stocks Wall of History which is directly opposite the site is, 20-22 Yorkshire Street, 15 Yorkshire Street and the Mechanic's Hall (Bacup Library). The site lies immediately adjacent to, but outside of the Bacup District Centre boundary.

The site lies within Flood Zone 2. Greave Clough Brook (a main river) flows in culvert through the centre of the site. It is located 1.3m below the ground and opens at the west of the site. A public sewer also crosses the site. The location of these drainage elements is shown on the submitted drawings

### **3. RELEVANT PLANNING HISTORY**

- 2016/0035 – Outline: Erection of a three storey building to contain: nursery (Use Class D1), offices (Use Class B1) and 10no. residential apartments (Use Class C3), with details of access, appearance, layout and scale for approval. Approved 26 January 2017 with a Section 106 Agreement.
- 2015/0434 - Provision of car wash. Pending consideration.
- 2015/0097 - Construction of a three storey building to include a children's nursery and offices on ground floor with 10 flats on upper floors, and a terraced row of three houses (Outline with access, layout, appearance and scale for approval). Withdrawn.
- 2013/0168 - Outline Application proposal to build a 3 storey 39 - bed Care Home. Approved 19 June 2013.
- 2009/257 Demolition of existing building and Erection of 3-storey 39-bedroomed Care Home. Approved 10 September 2009.

### **4. THE PROPOSAL**

The application is submitted in outline, with all matters submitted for approval except for landscaping. Permission is sought for a 22 bedroom care home (Use Class C2) for adults

and the elderly with learning disabilities. A three storey building is proposed to be constructed from natural stone and slate. Windows are proposed in cream painted timber. The building has a total gross internal floor area of 1,038sqm.

The site will be accessed from Hammerton Green on the eastern boundary. The development includes provision of 8no. car parking spaces, a drop off area, ambulance bay and 8 spaces for bicycles. Although landscaping is a reserved matter, boundary treatment details have been supplied with the application. This includes a 1 metre high natural stone boundary wall to the northern boundary and 1.7 metre railings to the remaining boundaries, and the submitted site plan demonstrates the provision of two areas of amenity green space.

## 5. POLICY CONTEXT

### Development Plan

Rossendale Core Strategy DPD 2011:

- AVP 2 Strategy for Bacup and Stacksteads
- Policy 1 General Development Locations and Principles;
- Policy 4 Affordable and Supported Housing
- Policy 8 Transport
- Policy 9 Accessibility
- Policy 16 Preserving and Enhancing Rossendale's Built Environment
- Policy 17 Rossendale's Green Infrastructure
- Policy 18 Biodiversity, Geodiversity and Landscape Conservation
- Policy 19 Climate Change and Low & Zero Carbon Sources of Energy
- Policy 22 Planning Contributions
- Policy 23 Promoting High Quality Design & Spaces
- Policy 24 Planning Application Requirements

### National

#### National Planning Policy Framework (2012)

- Section 2 Building a strong, competitive economy
- Section 4 Promoting Sustainable Transport
- Section 6 Delivering a wide choice of high quality homes
- Section 7 Requiring good design
- Section 8 Promoting healthy communities
- Section 10 Meeting the Challenges of Climate Change, Flooding, etc
- Section 11 Conserving and Enhancing the Natural Environment
- Section 12 Conserving and Enhancing the Historic Environment

## 6. CONSULTATION RESPONSES

Consultee	Response
RBC Conservation Officer	No objection subject to a condition requiring material samples

<b>Consultee</b>	<b>Response</b>
Contaminated Land Officer	No objection subject to a condition
LCC (Highways)	No objection subject to amendments which have been completed
Ecology Consultant	No objections subject to a condition relating to tree works and a bat to be undertaken before the application is determined
United Utilities	No objections subject to conditions
Environment Agency	No objection subject to conditions relating to repairs or replacement of the culvert, flood risk and land contamination
Lancashire Constabulary	No objection. A number of security recommendations are made
Lead Local Flood Authority	No objection subject to conditions

## **7. REPRESENTATIONS**

To accord with the General Development Procedure Order site notices have been displayed in the vicinity of the site, a notice placed in the Rossendale Free Press, and 74 neighbour letters issued.

No responses have been received.

## **8. REPORT**

The main considerations of the application are: 1) Principle; 2) Heritage / Design; 3) Residential Amenity; 4) Highways/Parking; and 5) Other matters.

### Principle

The application site is within the defined Urban Boundary. It is within the Bacup Town Centre Conservation Area and lies immediately adjacent to, but outside of the Bacup District Centre boundary. The site is in a sustainable location being within walking distance of Bacup's bus interchange where regular services between Rochdale and Accrington are available.

Policy 1 of the Core Strategy promotes new development within the Urban Boundary and particularly where proposals make best use of under-used, vacant and derelict land and buildings. Through Policy 4 support is given to supported housing, particularly for elderly accommodation and care provision. Outline planning permission was approved in both 2009 (ref 2009/257) and more recently in 2013 (ref 2013/0168) for a 39 bedroom care home (Use Class C2). As such, the proposed development for a 22 bedroom care home is acceptable in principle.

## Heritage / Design

Policy 16 of the Core Strategy 'Preserving and Enhancing Rossendale's Built Environment' states that the Council will protect, conserve and enhance the built environment. New development should be located in a way that respects the distinctive quality of the setting, and retains or enhances character and context. Design should be of a high standard and should reinforce the local distinctiveness of Rossendale. At the national level the National Planning Policy Framework (the Framework) emphasises the use of good design and states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions (paragraph 64). Section 12 relates to conserving and enhancing the historic environment and requires Local Planning Authorities to ensure great weight is given to any heritage asset's conservation.

The proposed location is within a highly prominent area of the Bacup Conservation Area, some 50 metres to St James Square which is a key focal point within the town centre. The Council's Conservation Officer notes that the site is within close proximity to four listed assets. The Grade II Stocks which were formerly discovered in Tong Lane, erected in Yorkshire Street in 1976 and finally moved to The Wall of History in 2006. 20 and 22 Yorkshire Street a former taking in warehouse and then Public House associated to a Brewery in Burnley. The building is constructed in the local style of Watershot coursed sandstone with mirrored quoins and stone slate roof. 15 Yorkshire Street, Grade II a former dwelling constructed in the early 19th Century with dressed sandstone, stone slate roof tiles. The Conservation Officer notes that the main feature building is the Old Mechanics building now the Bacup Library, which is constructed of dressed ashlar blocks with a hipped roof finished in slate.

Within the Conservation Appraisal the site has been identified as key area of negative impact. With the former building having been demolished the site lies unused and therefore the development would present an opportunity for reuse. The Conservation Officer notes that the design of the proposed is simple and reflects an element of the local style through materials and proportions. The height is appropriate and does to an extent mirror the surrounding listed buildings going into the town centre. The simple stone boundary wall fronting Yorkshire Street is acceptable and to some extent reflects the historic stone walls in the area, however the Officer notes that it should be coursed and pitched faced of narrowstone with stone coping.

The use of sandstone for the main building would mirror the neighbouring buildings along with the proposed finish. A concern is the colour of the supplied material could be harsh against the surrounding buildings and therefore the stone should be locally sourced and be as close a match to the surrounding building as possible, so as to ensure it complements the neighbouring designated and undesignated buildings. The timber framed sash windows are of good design and the use of timber is a positive element of the design. The building is to have a pitched roof and this should be finished in grey welsh slate roof tiles to match the neighbouring listed buildings. These matters can be secured through planning conditions.

With regards to heritage / design, the proposal accords with the Council's Core Strategy 16. The proposed development would not have a detrimental impact upon the Conservation Area and neighbouring listed buildings and would represent a positive element to the Conservation Area as set out in Section 12 (137) of the Framework subject to conditions requiring samples of materials to be made available before the start of

construction, including a sample panel of the proposed stone work showing the proposed mortar joints, coursing and finish of the masonry and an example of the windows to be fitted.

Accordingly, the proposal is compliant with Policy 16 of the Core Strategy and the Framework.

### Residential Amenity

Officers are satisfied that the siting of the proposed building and its windows will not directly face windows serving the residential flats at Irwell Terrace. The existing flats will face onto the car park of the new development. Dwellings on Hammerton Green to the east do not have windows which will directly face the development's windows and therefore will not give rise to unacceptable overlooking or loss of privacy. The building has been located at the front of the site, with the car parking to the rear which is closest to the surrounding housing. This is considered to be the most appropriate layout for this site having regard to the various site constraints including the culvert.

No objections have been received. Accordingly it is considered that the proposed development will be acceptable with regards to residential amenity for existing and future occupants in accordance with Policy 24 of the Core Strategy and the Framework.

### Highways/Parking

Lancashire County Council's Highway Engineer has been consulted on the proposed development and raises no objection subject to a number of amendments and off-site highway works which are summarised below:

- The footway along the site frontage of Yorkshire Street should be widened to 2 metres to provide an improved provision for pedestrians and to ensure that the visibility splay at the junction of Yorkshire Street and Tong Lane lies within the highway. **This has been detailed on the amended plan but is outside the application site and will need to be addressed via a separate legal agreement with LCC.**
- The site layout plan shows a pinch point in the new footway at the junction of Hammerton Green and the site access road and this should be amended to show a continuous width of 1.8 metres (minimum). **This has been detailed on the amended plan but is outside the application site and will need to be addressed via a separate legal agreement with LCC.**
- It is noted that there are 2 drop-off parking spaces however, it will be necessary to provide an ambulance/delivery bay at the main entrance to provide direct access for the residents. This is standard practise at care homes and should be sufficient in length and width to accommodate a large vehicle. **This has been addressed.**
- A swept path analysis for a refuse vehicle/Fire Engine to enter, turn and exit onto Hammerton Green in forward gear is required. **This has been provided.**

The parking standards provided within Appendix 1 of the Core Strategy require 1 parking space per 5 bedrooms which results in a requirement of 5 parking spaces for 22 bedrooms. There are 8 parking spaces proposed which includes 2 disabled parking spaces which are considered necessary for this type of facility. In addition 8 cycle spaces are proposed which the Highway Engineer considers an over-provision for this type of facility however there is no objection to this proposal if it encourages sustainable means of travel.

The following off off-site highway works are necessary as a result of the proposed development:

- The widening and re-surfacing of the footways on the Yorkshire Street and Hammerton Green site frontages and the reinstatement of the carriageway on Hammerton Green at the re-aligned footway will be necessary and should be completed under a Section 278 agreement with Lancashire County Council.

No objection is raised by LCC to the proposed development subject to the amendments outlined above and mitigation measures (off-site highway works) which will be the responsibility of the applicant in conjunction with the Highway Authority and the use of planning conditions in Section 10 of this report. For the reasons above officers are now satisfied that the proposal will not result in severe cumulative impacts on the highway network in accordance with the Framework and Core Strategy Policy 8.

### Other matters

#### *Land contamination*

The Council's Contaminated Land Officer and the Environment Agency (EA) have been consulted on the proposed development and the accompanying Phase 1 Land Contaminated Report (March 2017).

The EA notes that the previous use of the proposed development site as an unspecified works unit presents a medium risk of contamination that could be mobilised to pollute controlled waters during repair/replacement of the culvert and/or construction of the development. Controlled waters are particularly sensitive in this location because the proposed development site, directly over a poor condition culverted water course, is located upon a Secondary A Aquifer. The EA notes that the submitted Phase 1 desk top study provides them with confidence that it will be possible to suitably manage the risk posed to controlled waters by this development however further detailed information will however be required before built development is undertaken. In light of the above, the proposed development will be acceptable if a planning condition is included requiring the submission of a remediation strategy, carried out by a competent person in line with paragraph 121 of the National Planning Policy Framework. Without this condition the EA would object to the proposal in line with paragraph 109 of the National Planning Policy Framework because it cannot be guaranteed that the development will not be put at unacceptable risk from, or be adversely affected by, unacceptable levels of water pollution.

Subject to conditions, Officers are satisfied the development is acceptable with regards to contamination.

#### *Ecology and landscaping*

A Tree Survey Report (March 2017) accompanies the application and identifies 15 trees on the site, all of which are located at the rear of the site on a sloping embankment. The report notes that the larger trees give a degree of screening to the adjacent dwellings on Hammerton Green. Although not particularly prominent from the main road (Yorkshire Street) as a grouping they form a relatively significant amenity contribution in their immediate locality. The report recommends that all but T15 are retained as part of the development, and that the site is appropriately landscaping and managed with additional tree and shrub planting to provide setting and enhancement to the site. T15 is

recommended to be felled due to its poor health. Landscaping is a reserved matter and therefore full details of all proposed landscaping will be secured by planning condition requiring such details to be submitted at the reserved matters stage.

The Council's Ecological Advisor has been consulted on the proposed development and notes that Greave Clough Brook runs in culvert through the site. The Ecologist requires a bat survey to be undertaken within the culvert should any works be proposed to the culvert. The Environment Agency (EA) inspected this culvert in May 2016 and classified it as being overall condition 5 (poor). The inspection has noted deformation of the arch structure which may have occurred as a result of the previous demolition works, and it is a condition of any planning permission that the culvert is either repaired or replaced before the proposed building is constructed. On that basis it is necessary for the applicant to undertake a bat survey of the culvert prior to the determination of this application. The matter has been raised with the applicant.

The existing trees are protected as a result of their location with the Conservation Area – trees in a conservation area that are not protected by a Tree Preservation Order are protected by the provisions in section 211 of the Town and Country Planning Act 1990. The landowner / developer would not be able to undertake works to the trees (or fell) without first making an application to the Local Planning Authority. Only T15 is permitted to be felled as part of this development, and consent is not given for works to or removal of any other trees within the site. The Council's Ecologist requires a planning condition which limits the felling of this tree to take place outside of the bird nesting season.

Following the high court decision (R (on the application of Simon Woolley) v Cheshire East Borough Council, June 2009) the Local Planning Authority have a legal duty to determine whether the three 'derogation tests' of the Habitats Directive implemented by the Conservation (Natural Habitats &c.) Regulations 1994 have been met when determining whether to grant planning permission for a development which could harm a European Protected Species. The three tests include:

- (a) the activity must be for imperative reasons of overriding public interest or for public health and safety;
- (b) there must be no satisfactory alternative and
- (c) favourable conservation status of the species must be maintained.

This requirement does not negate the need for a Licence from Natural England in respect of Protected Species and the Local Planning Authority is required to engage with the Directive. As set out above, no significant adverse impact on protected species or biodiversity is identified and any impacts can be addressed by precautionary and enhancement measures. At a national level, the Framework indicates that planning determinations should seek to make positive contributions to biodiversity and as such suitable conditions are suggested.

Until such time that the results of a bat survey are submitted to the Local Planning Authority it is not possible to confirm at this stage that the Local Authority has engaged with the three tests of the Habitats Directive and the guidance contained within the Framework and from an ecological perspective the proposal is acceptable. Members will be updated on this matter in the Update Report.



## *Flood risk*

The site is located within Flood Zone 2 and is accompanied by a Flood Risk Assessment which has been reviewed by the EA. As discussed above, Greave Clough Brook is a main river which flows in culvert through the centre of the site. The EA inspected this culvert in May 2016 and classified it as being overall condition 5 (poor). The inspection has noted deformation of the arch structure which may have occurred as a result of the previous demolition works. No objection is raised to the principle of redeveloping the site however the EA requires the culvert to be repaired or replaced before the proposed building is constructed. The EA also notes that the landowner is responsible for the maintenance/repair of the culvert and recommends that any planning permission has a condition to require the landowner/developer to undertake the necessary works.

United Utilities raised no objection subject to a conditions requiring the development to be carried out in accordance with the submitted Flood Risk Assessment and prohibiting surface water from draining directly or indirectly into the public sewer.

No objection is raised by the Lead Local Flood Authority subject to conditions.

Accordingly, subject to the use of planning conditions, Officers are satisfied that the proposal is acceptable with regards to flood risk and drainage.

## **9. RECOMMENDATION**

Grant outline planning permission subject to the conditions set out below and satisfactory resolution of the ecological matters in respect of bats. It is recommended that Members delegate authority to the Head of Planning to further consider the ecological implications for the development and to address any necessary mitigation by condition or to refuse outline planning permission if there will be an adverse impact without suitable mitigation measures prior to 13 June 2017 (the current target date) or an agreed extended time period.

## **10. REASONS FOR APPROVAL**

The proposed development would bring back into use a vacant previously developed site in a prominent location within the Urban Boundary of Bacup. The proposal is acceptable in principle and subject to conditions would not result in unacceptable visual amenity / heritage, neighbour amenity, parking, drainage or land contamination impacts with reference to the National Planning Policy Framework and Rossendale Core Strategy Policies AVP 2, 1, 4, 8, 9, 11, 16, 19, 22, 23 and 24.

## **11. CONDITIONS**

1. An application for approval of the reserved matters (namely the landscaping of the site, including full details of the proposed railings) must be made to the Council before the expiration of three years from the date of this permission and the development hereby permitted must be begun two years from the date of approval of the last of the reserved matters to be approved.

Reason: This condition is required to be imposed by the provisions of Article 3 (1) of the Town and Country Planning (General Development Procedure) Order 1995 and Section 92 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted for a 22no. bedroom care home (Use Class C2) shall be carried out in accordance with the following approved plans unless otherwise required by the conditions below:

Drawing Title	Drawing Number	Received
Site Location Plan	1	14 March 2017
Proposed Street Scape	11B	11 May 2017
Proposed Boundary Treatment	5	March 2017
Proposed Window Section	14	March 2017
Proposed Elevations	9B	11 May 2017
Proposed Elevations	10B	11 May 2017
Proposed Site Plan	4B	28 April 2017
Proposed Ground Floor Plan	6	March 2017
Proposed First Floor Plan	7	March 2017
Tree Survey Plan	3	March 2017
Proposed Second Floor Plan	8	March 2017
Swept Path Analysis	12A	28 April 2017
Phase 1 Land Contamination Report		March 2017

Reason: To accord with the permission sought and granted.

3. Either prior to the commencement of the development or as part of the first reserved matters application a scheme for the off-site works of highway improvement shall be submitted to, and approved in writing by, the Local Planning Authority. The off-site works shall thereafter be completed in accordance with the approved scheme prior to the occupation of the development hereby approved.

Reason: In order to satisfy the Local Planning Authority and Highway Authority that the final details of the highway scheme/works are acceptable before work commences on site.

4. The felling of (or any works to) tree labelled T15 on the Tree Survey Plan (March 2017) shall not occur between 1 March and 31 August unless a detailed bird nest survey by a suitably experienced ecologist has been carried out demonstrating that no active bird nests are present. The survey and written confirmation shall be submitted to the Local Planning Authority for approval in writing before any works to the tree take place.

Reason: Consent is given for the felling of tree T15 only, and in order to protect breeding birds.

5. The development hereby approved shall be undertaken in strict accordance with the materials listed on the Proposed Street Scape drawing (ref 11B received 11 May 2017) and prior to the commencement of above ground construction, samples of the stone shall be

provided by means of the erection on site of a one metre square sample panel including proposed mortar mix and joint detail, for the written approval of the Local Planning Authority. The panel so approved shall be retained on the site and shall not be removed until such time as the external walls of the building hereby approved are complete.

Reason: To ensure that the development will be of a satisfactory appearance.

6. Prior to the commencement of any above ground construction samples of the timber window frames, doors, cills, rainwater goods and barge boards shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in strict accordance with approved details and they shall be retained as approved thereafter.

Reason: In order to ensure the use of appropriate materials in the interests of the visual amenities of the locality. These details are required early on within the development process.

7. Either prior to the commencement of the development and as part of the first reserved matters application a remediation strategy to deal with the risks associated with contamination of the site shall be submitted to, and approved in writing by, the Local Planning Authority. This strategy will include the following components:

1. A site investigation scheme, based on the approved Phase 1 Land Contamination Report to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.

2. The results of the site investigation and the detailed risk assessment referred to in (1) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.

3. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (2) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

The development shall be completed in accordance with the approved remediation measures.

Reason: To ensure that the development is not put at unacceptable risk from, or adversely affected by, unacceptable levels water pollution in line with paragraph 109 of the National Planning Policy Framework. To prevent deterioration of a water quality element to a lower status class.

8. Either prior to the commencement of the development or as part of the first reserved matters application a structural survey of Greave Clough Brook culvert through the site shall be submitted to, and approved in writing by, the Local Planning Authority. The survey should identify a scheme of repairs or replacement as necessary to ensure the culvert longevity in relation to the development. The approved scheme shall be fully implemented and subsequently maintained, in accordance with the timing / phasing arrangements embodied within the scheme.

Reason: To reduce the risk of flooding to the proposed development and ensure that the culvert has a design life consistent with the proposed new development.

9. The drainage for the development hereby approved shall be carried out in accordance with principles set out in the submitted Flood Risk Assessment Dated March 2017 prepared by

Krinvest Care Group. No surface water will be permitted to drain directly or indirectly into the public sewer. The development shall be completed in accordance with the approved details.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

10. Either prior to the commencement of the development or as part of the first reserved matters application the following details shall be submitted to, and approved in writing by the Local Planning Authority:.

Surface water drainage scheme which as a minimum shall include:

- a) Information about the lifetime of the development design storm period and intensity (1 in 30 & 1 in 100 year + 30% allowance for climate change), discharge rates and volumes (both pre and post development), temporary storage facilities, means of access for maintenance and easements where applicable, the methods employed to delay and control surface water discharged from the site, and the measures taken to prevent flooding and pollution of the receiving groundwater and/or surface waters, including watercourses, and details of flood levels in AOD;
- b) The drainage scheme should demonstrate that the surface water run-off must be as close as reasonably practicable to the greenfield runoff rate for the 1 in 1 year and 1 in 100 year rainfall events. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed.
- c) Any works required off-site to ensure adequate discharge of surface water without causing flooding or pollution (which should include refurbishment of existing culverts and headwalls or removal of unused culverts where relevant);
- d) Flood water exceedance routes, both on and off site;
- e) A timetable for implementation, including phasing where applicable;
- f) details of water quality controls, where applicable.

The scheme shall be fully implemented and subsequently maintained, in accordance with the timing / phasing arrangements embodied within the scheme.

Reason: To prevent flooding by ensuring the satisfactory storage of/disposal of surface water from the site. To reduce the risk of flooding to the proposed development, elsewhere and to future users. To ensure that water quality is not detrimentally impacted by the development proposal.

11. No development hereby permitted shall be occupied until the sustainable drainage scheme for the site has been completed in accordance with the submitted details. The sustainable drainage scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

Reason: To ensure that the drainage for the proposed development can be adequately maintained. To ensure that there is no flood risk on- or off-the site resulting from the proposed development or resulting from inadequate the maintenance of the sustainable drainage system.

12. Either prior to the commencement of the development or as part of the first reserved matters application details of an appropriate management and maintenance plan for the sustainable drainage system for the lifetime of the development shall be submitted to and approved in writing by the Local Planning Authority which, as a minimum, shall include:

a) The arrangements for adoption by an appropriate public body or statutory undertaker, management and maintenance by a Residents' Management Company

b) Arrangements concerning appropriate funding mechanisms for its on-going maintenance of all elements of the sustainable drainage system (including mechanical components) and will include elements such as:

- i. on-going inspections relating to performance and asset condition assessments
- ii. operation costs for regular maintenance, remedial works and irregular maintenance caused by less sustainable limited life assets or any other arrangements to secure the operation of the surface water drainage scheme throughout its lifetime;

c) Means of access for maintenance and easements where applicable.

The plan shall be implemented in accordance with the approved details prior to first occupation of any part of the development. Thereafter the sustainable drainage system shall be managed and maintained in accordance with the approved details.

Reason: To ensure that appropriate and sufficient funding and maintenance mechanisms are put in place for the lifetime of the development. To reduce the flood risk to the development as a result of inadequate maintenance. To identify the responsible organisation/body/company/undertaker for the sustainable drainage system.

13. Prior to first use of the development hereby approved, full details of the proposed bin store shall be submitted to and approved in writing by the Local Planning Authority. The bin stores shall be implemented as approved prior to first occupation of the development.

Reason: Insufficient details have been provided with the application and the information is necessary in respect of the development hereby approved.

14. Any construction works associated with the development hereby approved shall not take place except between the hours of 7:00am and 7:00pm Monday to Friday and 8:00am and 1:00pm on Saturdays. No construction shall take place on Sundays, Good Friday, Christmas Day or Bank Holidays.

Reason: To safeguard neighbour amenity.

15. Either prior to the commencement of the development or as part of the first reserved matters application, a construction method statement shall be submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. It shall provide for:

- i) The parking of vehicles of site operatives and visitors
- ii) The loading and unloading of plant and materials
- iii) The storage of plant and materials used in constructing the development
- iv) The erection and maintenance of security hoarding
- v) Wheel washing facilities
- vi) Measures to control the emission of dust and dirt during construction
- vii) A scheme for recycling/disposing of waste resulting from demolition and construction works
- viii) Details of working hours
- ix) Routing of delivery vehicles to/from site

Reason: In the interests of highway safety and to protect residential amenity this information is required before works on site, including demolition, commence.

16. Either prior to the commencement of the development or as part of the first reserved matters application, a plan to show all trees to be retained on site, an Arboricultural Method Statement and Tree Protection Plan providing details of the procedures, working methods and protective measures to be used in relation to the retained trees, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be adhered to in full throughout the construction process.

Reason: To ensure retained trees are adequately protected during the construction process.

17. No part of the building hereby permitted shall be occupied until such time that the car park has been constructed in accordance with approved the drawing 'Proposed Site Plan' Revision 4B, and shall be retained as approved thereafter.

Reason: To ensure adequate on-site car parking, in the interests of highway safety.

18. The application for approval of reserved matters shall be accompanied by full details of existing and proposed ground levels and proposed building finished floor levels (all relative to ground levels adjoining the site), notwithstanding any such detail shown on previously submitted plan(s). The development shall only be carried out in conformity with the approved details.

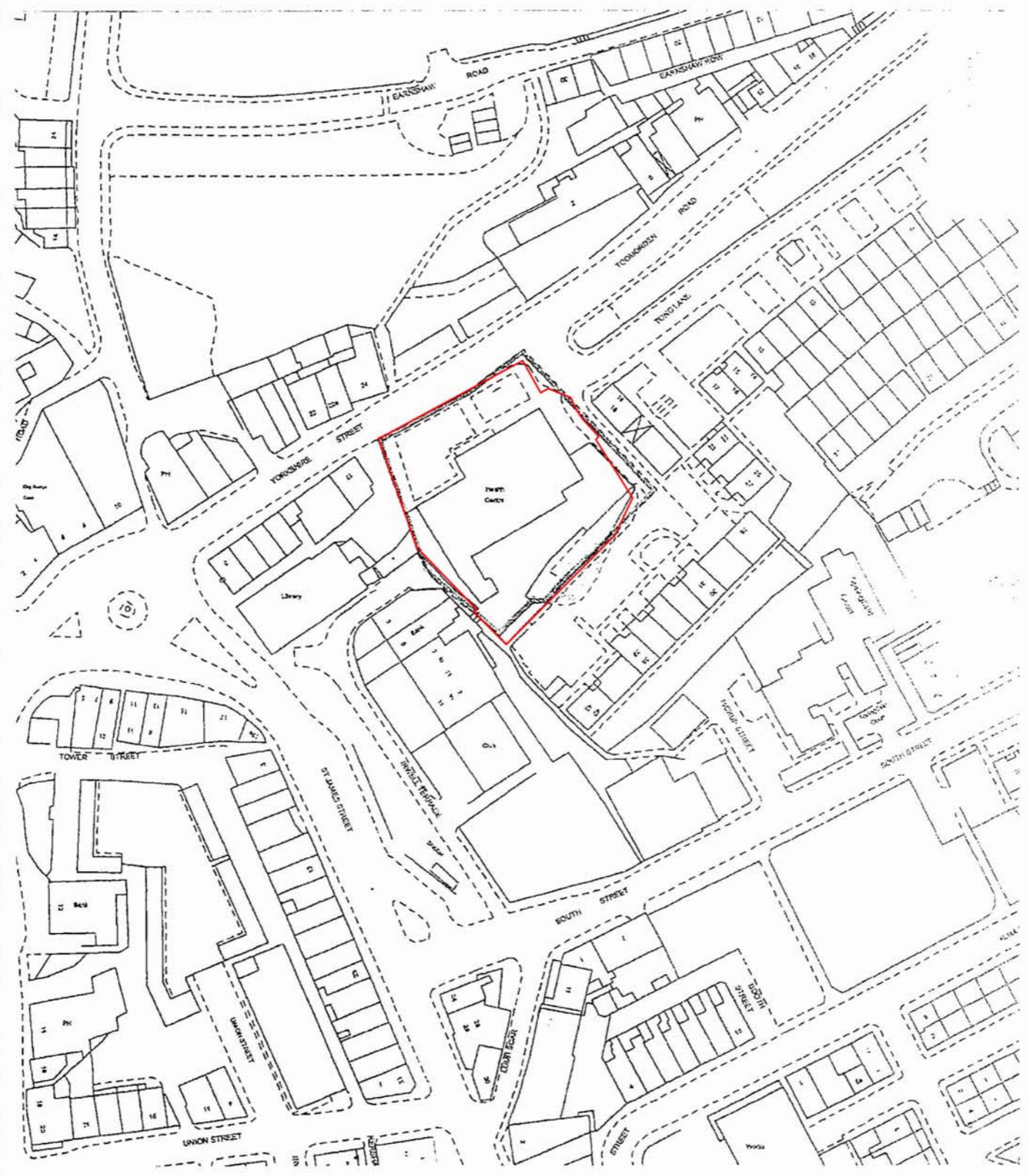
Reason: To protect the appearance of the locality and in the interests of the amenities of local residents.

### **Informatives**

1. Standard approval informative;
2. Coal low risk informative;
3. This development will require a permit under the Environmental Permitting (England and Wales) Regulations 2010 from the Environment Agency for any proposed works or structures, in, under, over or within eight metres of the top of the bank of Greave Clough Brook which, is designated a 'main river'. This was formerly called a Flood Defence Consent. Some activities are also now excluded or exempt. A permit is separate to and in addition to any planning permission granted. Further details and guidance are available on the GOV.UK website: <https://www.gov.uk/guidance/flood-risk-activities-environmental-permits>.
4. The grant of planning permission will require the applicant to enter into a Section 278 Agreement, with the County Council as Highway Authority. The Highway Authority hereby reserves the right to provide the highway works within the highway associated with this proposal. Provision of the highway works includes design, procurement of the work by contract and supervision of the works. The applicant should be advised to contact Lancashire County Council, Highway Development Control email – [lhscustomerservice@lancashire.gov.uk](mailto:lhscustomerservice@lancashire.gov.uk) in the first instance to ascertain the details of such an agreement and the information to be provided.
5. A public sewer crosses this site and United Utilities may not permit building over it. They will require an access strip width of six metres, three metres either side of the centre line of the sewer which is in accordance with the minimum distances specified in the current


issue of "Sewers for Adoption", for maintenance or replacement. Therefore a modification of the site layout, or a diversion of the affected public sewer at the applicant's expense, may be necessary. To establish if a sewer diversion is feasible, the applicant must discuss this at an early stage with the Developer Engineer at [wastewaterdeveloperservices@uuplc.co.uk](mailto:wastewaterdeveloperservices@uuplc.co.uk) as a lengthy lead in period may be required if a sewer diversion proves to be acceptable.

6. If, during any works on site, contamination is suspected or found, or contamination is caused, the LPA shall be notified immediately. Where required, a suitable risk assessment shall be carried out and/or any remedial action shall be carried out in accordance to an agreed process and within agreed timescales in agreement with the LPA.
7. The granting of planning permission does not in any way grant consent for the removal of or the undertaking of works to any of the trees contained within the application site other than the tree labelled T15 as shown on the submitted Tree Survey Plan (March 2017). All trees on site are protected by virtue of their location within the Bacup Town Centre Conservation Area by the provisions in section 211 of the Town and Country Planning Act 1990. Anyone who cuts down, uproots, tops, lops, wilfully destroys or wilfully damages a tree in a [conservation area](#) or causes or permits such work, without giving a section 211 notice (or otherwise contravenes [section 211 of the Town and Country Planning Act 1990](#)) is guilty of an offence, unless an [exception](#) applies. The same penalties as those for contravening an Order [apply](#).

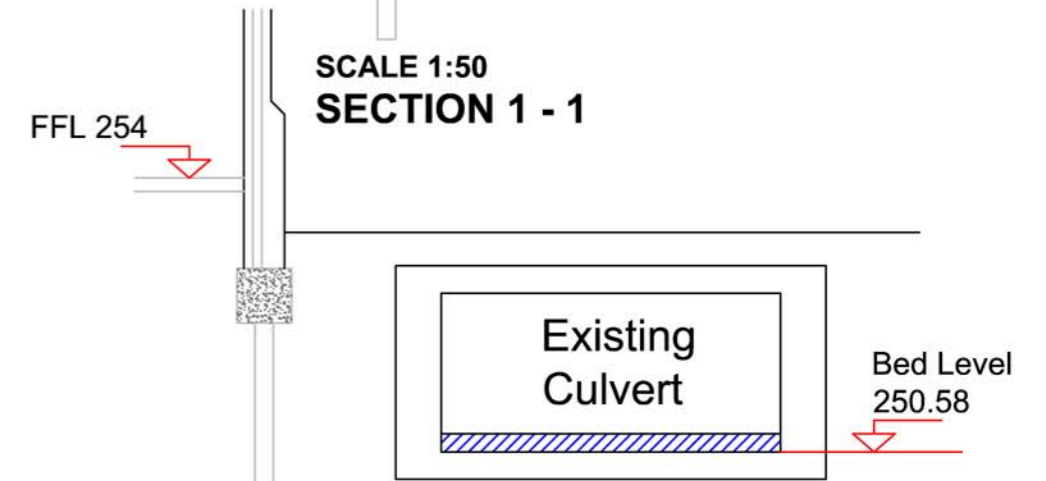
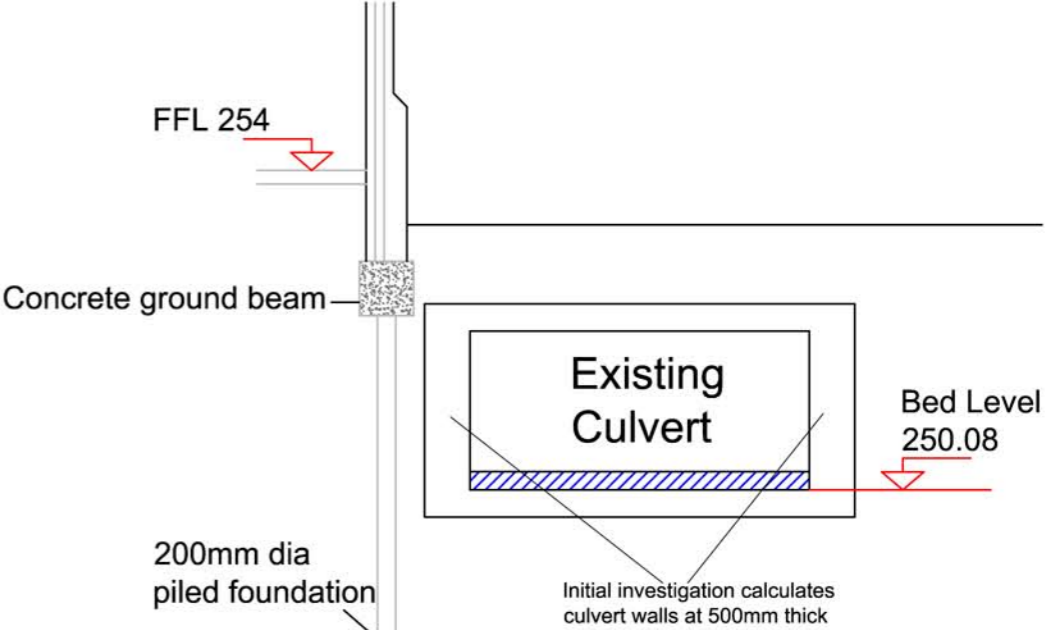


**SITE  
LOCATION PLAN**

**YORKSHIRE STREET,  
BACUP**

	60 Central Road Morden SM4 6RN tel: 0208 648 7269			
<b>Project Title</b>		ERECTION OF NEW 22 BED CARE HOME		
<b>Site Address</b>		FORMER HEALTH CENTRE YORKSHIRE STREET BACUP OL13 9AE		
<b>Drawing Title</b>		LOCATION PLAN		
<b>Drawn by</b>	<b>Dwg No.</b>	<b>Scale</b>	<b>Date</b>	
Saba Rukh Khan	1	1:1250@ A3	Mar 2017	N
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**SECTION 2 - 2**

**PROPOSED PARKING:**  
**TOTAL CAR PARKING SPACES = 8**  
**DROP-OFF CAR SPACES = 2**  
**TOTAL STANDS FOR CYCLE = 8**

AREA SCHEDULE	
Space	m <sup>2</sup>
<b>BUILT AREA</b>	399
<b>GREEN AREA</b>	679.6
<b>SITE AREA</b>	2117

60 Central Road  
Morden  
SM4 6RN  
tel: 0208 648 7269

---

**Project Title**  
ERECTION OF NEW 22 BED CARE HOME

---

**Site Address**  
FORMER HEALTH CENTRE  
YORKSHIRE STREET  
BACUP  
OL13 9AE

---

**Drawing Title**  
PROPOSED SITE PLAN

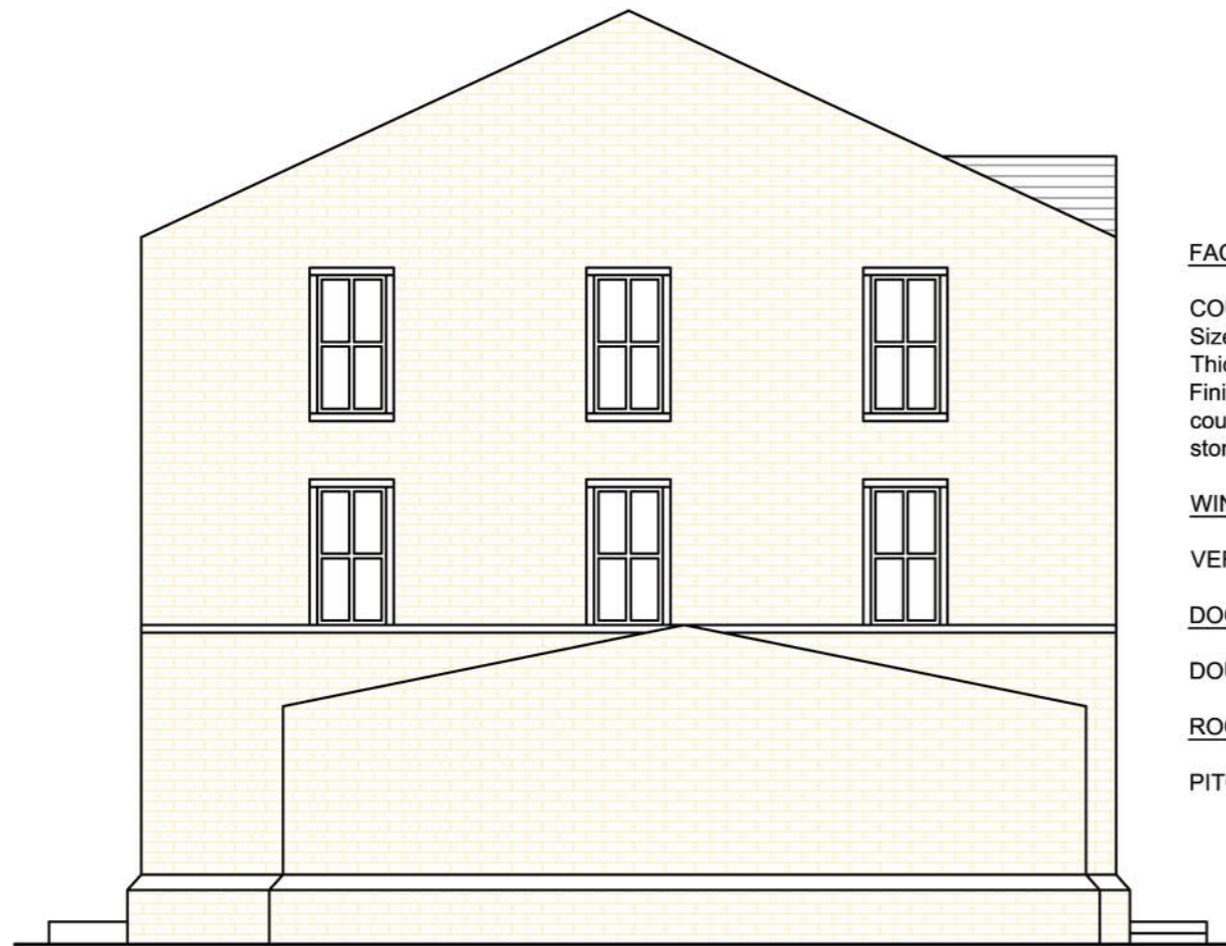
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Drawn by	Dwg No.	Scale	Date
Saba Rukh Khan	4B	1:250@ A3	April 2017

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PROPOSED REAR ELEVATION - SOUTH EAST



PROPOSED SIDE ELEVATION - SOUTH WEST

**FACADE TREATMENT:**

COURSED BUFF SANDSTONE (matching to the neighbouring buildings)  
 Size: Standard height 65 mm, 140 mm and 215. Random lengths between 150 – 500 mm  
 Thickness: 20 – 25 mm thick on average  
 Finish: split face, pitched face. Sharing characteristics with both ashlar and random stone, coursed sandstone cladding strikes aesthetic balance between the two kinds of natural stone.

**WINDOWS:**

VERTICALLY SLIDING SASH TIMBER FRAME, PAINTED IN CREAM GLOSS PAINT

**DOORS:**

DOUBLE GLAZED TIMBER FRAME, PAINTED IN CREAM GLOSS PAINT

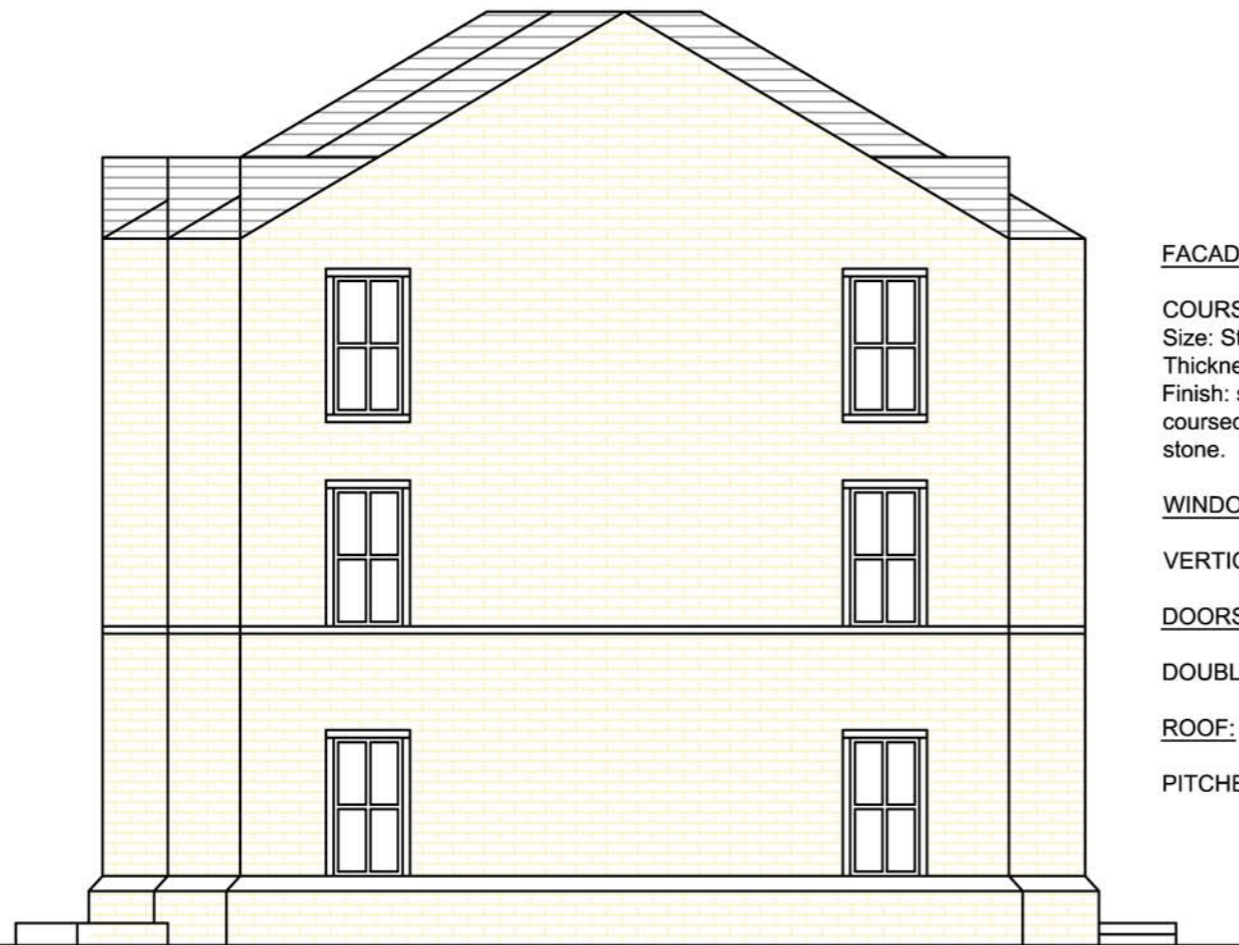
**ROOF:**

PITCHED ROOF - NATURAL SLATE

		60 Central Road Morden SM4 6RN tel: 0208 648 7269	
<b>Project Title</b>		ERECTION OF NEW 22 BED CARE HOME	
<b>Site Address</b>		FORMER HEALTH CENTRE YORKSHIRE STREET BACUP OL13 9AE	
<b>Drawing Title</b>		PROPOSED ELEVATIONS	
<b>Drawn by</b>	<b>Dwg No.</b>	<b>Scale</b>	<b>Date</b>
Saba Rukh Khan	9-B	1:100@ A3	May 2017
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PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION - NORTH EAST

**FACADE TREATMENT:**

COURSED BUFF SANDSTONE (matching to the neighbouring buildings)  
 Size: Standard height 65 mm, 140 mm and 215. Random lengths between 150 – 500 mm  
 Thickness: 20 – 25 mm thick on average  
 Finish: split face, pitched face. Sharing characteristics with both ashlar and random stone, coursed sandstone cladding strikes aesthetic balance between the two kinds of natural stone.

**WINDOWS:**

VERTICALLY SLIDING SASH TIMBER FRAME, PAINTED IN CREAM GLOSS PAINT

**DOORS:**

DOUBLE GLAZED TIMBER FRAME, PAINTED IN CREAM GLOSS PAINT

**ROOF:**

PITCHED ROOF - NATURAL SLATE

		60 Central Road Morden SM4 6RN tel: 0208 648 7269	
<b>Project Title</b>		ERECTION OF NEW 22 BED CARE HOME	
<b>Site Address</b>		FORMER HEALTH CENTRE YORKSHIRE STREET BACUP OL13 9AE	
<b>Drawing Title</b>		PROPOSED ELEVATIONS	
<b>Drawn by</b>	<b>Dwg No.</b>	<b>Scale</b>	<b>Date</b>
Saba Rukh Khan	10-B	1:100@ A3	May 2017
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PROPOSED STREET SCENE FROM YORKSHIRE STREET



PROPOSED STREET SCENE FROM HAMMERTON GREEN

**FACADE TREATMENT:**

COURSED BUFF SANDSTONE (matching to the neighbouring buildings)  
 Size: Standard height 65 mm, 140 mm and 215. Random lengths between 150 – 500 mm  
 Thickness: 20 – 25 mm thick on average  
 Finish: split face, pitched face. Sharing characteristics with both ashlar and random stone, coursed sandstone cladding strikes aesthetic balance between the two kinds of natural stone.

**WINDOWS:**

VERTICALLY SLIDING SASH TIMBER FRAME, PAINTED IN CREAM GLOSS PAINT

**DOORS:**

DOUBLE GLAZED TIMBER FRAME, PAINTED IN CREAM GLOSS PAINT

**ROOF:**

PITCHED ROOF - NATURAL SLATE

**BOUNDARY TREATMENT:**

1m HIGH STONE WALL COURSED AND PITCHED FACED OF NARROW STONE WITH STONE COPING TOWARDS YORKSHIRE STREET & AROUND EAST ELEVATION. BEYOND THIS POINT IS 1.7m HIGH RAILING.

60 Central Road  
 Morden  
 SM4 6RN  
 tel: 0208 648 7269

**Project Title**  
 ERECTION OF NEW 22 BED CARE HOME

**Site Address**  
 FORMER HEALTH CENTRE  
 YORKSHIRE STREET  
 BACUP  
 OL13 9AE

**Drawing Title**  
 PROPOSED STREET SCAPE

Drawn by	Dwg No.	Scale	Date
Saba Rukh Khan	11-B	1:250@ A3	May 2017

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