

Application Number:	2017/0624	Application Type:	Full
Proposal:	Erection of guesthouse accommodation comprising 8 guestrooms (Use Class C1) and associated facilities including lounge, restaurant, spa, and cinema room in addition to landscaping, car parking and access road	Location:	Rossendale Holiday Cottages Dean Lane Water BB4 9RA
Report of:	Planning Manager	Status:	For Publication
Report to:	Development Control Committee	Date:	19 June 2018
Applicant:	Jonny Wilson	Determination Expiry Date:	21 st June 2018
Agent:	Mr John Brazier of DAY Architectural LTD		

Contact Officer:	James Dalglish	Telephone:	01706 238643
Email:	planning@rossendalebc.gov.uk		

REASON FOR REPORTING	
Outside Officer Scheme of Delegation	
Member Call-In Name of Member: Reason for Call-In:	
3 or more objections received	✓
Other (please state):	

HUMAN RIGHTS

The relevant provisions of the Human Rights Act 1998 and the European Convention on Human Rights have been taken into account in the preparation of this report, particularly the implications arising from the following rights:-

Article 8

The right to respect for private and family life, home and correspondence.

Article 1 of Protocol 1

The right of peaceful enjoyment of possessions and protection of property.

1. RECOMMENDATION

Grant planning permission subject to the conditions set out in section 11.

APPLICATION DETAILS

2. SITE

The site is located within the Countryside on land to the north side of Dean Lane. For clarification, the site is not within the designated Green Belt. The nearest settlement is Water, which is approximately 400m away to the west. The site is accessed off Dean Lane via a private gated entrance.

Upon entering the complex there is a large area of hardstanding, surrounded by a large single storey building which is located adjacent to Dean Lane. Planning permission was granted in August 2008 for this building to comprise 12 stables, constructed from slate, stone and a grey-coloured render on those elevations facing inwards. It is understood that the building was erected and used as stables, and more recently for a commercial livery, until 2015 when it was converted into holiday accommodation. The site no longer provides any form of stabling accommodation although it is noted that planning permission exists for the construction of a new stable block on land adjacent to the ménage. Part of the stable building was demolished and replaced with a new building, forming an extension to the existing stable building, to provide for three additional holiday lets. A detached building located adjacent to the three holiday lets provides a shower block and a games room. This building is constructed from slate, stone, render and timber boarding. Located on the hillside slightly detached from the main complex of buildings are two glamping pods (four further pods are to be erected in the coming weeks) of timber construction. A former ménage with floodlighting is located on land to the west of the glamping pods.

A stream runs through the site along the western side, and a public footpath (FP131) runs from Dean Lane in a north-east direction across fields within the applicant's ownership over a track. The character of this part of the countryside comprises a mix of residential, commercial and agricultural. There is a row of electricity pylons visible from the site in a northerly direction. The nearest residential properties are to the west of the site on Dean Lane at around 120m away.

3. RELEVANT PLANNING HISTORY

2016/0144 - Change of use from stables to 4 guest rooms; construction of 2 guest rooms with communal area and construction of new stable block. Approved with conditions 09.06.2016.

2016/0030 – Discharge of condition 4 of 2015/0248. Approved 16/02/2016.

2015/0248 – Erection of new shower block and gym / treatment room and 7 holiday huts with associated car parking. Approved with conditions 11/12/2015.

2014/0557 - Conversion of existing stables/storage space to holiday accommodation and erection of 1-storey ancillary building. Approved with conditions 20/02/2015.

2012/0461 - Erection of 3 no. holiday lets, and alterations to existing stables as approved under application 2008/0416 as well as works to the car parking area. Approved with conditions 12/12/2012.

2012/0076 - Erection of No.3, 5m high lighting columns to the south of the existing ménage (retrospective) and erection of No.3, 5m high lighting columns to the north of the existing ménage. Approved with conditions 10/07/2012.

2008/0416 - Provision of 12.no stone and slate stables and ancillary facilities within an existing brownfield site. Approved with conditions 22/08/2008. This replaces the stables approved in 2006.

2006/0008 - Erection of wooden stables and a riding ménage (private domestic use for 1 Pleasant View Cottage only). Approved with conditions 03/04/2006.

4. PROPOSAL

As amended, planning permission is sought for the erection of a single storey building to contain guesthouse accommodation comprising 8 guestrooms (Use Class C1) and associated facilities including lounge, spa, and cinema room in addition to landscaping, car parking and access road.

The proposal is designed to expand upon the existing facilities, which currently caters for 34 visitors at any one time. Two additional glamping pods have been consented but not yet built, taking the total capacity up to 42 visitors. The proposal will provide additional bed and breakfast accommodation and will be sited to the north of the existing glamping pods, and accessed via the same access road that is proposed to be extended north. 8 bedrooms are proposed, which will enable a further 16 visitors to stay at the site, giving a total proposed guest accommodation of 58 persons.

Following advice from Officers at pre-application stage, the application is accompanied by the following:

- Planning statement prepared by Roman Summer
- Operational Statement prepared by DAY Architectural
- Sequential Assessment prepared by Roman Summer
- Transport Statement
- Phase 1 Ecology Survey
- Landscape and Visual Assessment
- Design and Access Statement
- Phase 1 Desk Study

5. POLICY CONTEXT

Rossendale Core Strategy DPD (2011)

AVP 3	Area Vision for Waterfoot, Lumb, Cowpe and Water
Policy 1	General Development Locations and Principles
Policy 7	Social infrastructure
Policy 8	Transport
Policy 9	Accessibility
Policy 14	Tourism
Policy 17	Rossendale's Green Infrastructure
Policy 18	Biodiversity and Landscape Conservation
Policy 19	Climate Change and Low & Zero Carbon Sources of Energy
Policy 21	Supporting the rural economy and its communities
Policy 22	Planning contributions
Policy 23	Promoting High Quality Design & Spaces
Policy 24	Planning Application Requirements

National

National Planning Policy Framework (2012)

Section 1	Building a Strong Competitive Economy
Section 3	Supporting a Prosperous and Rural Economy
Section 4	Promoting Sustainable Transport

- Section 7 Requiring Good Design
- Section 8 Promoting Healthy Communities
- Section 10 Meeting the Challenges of Climate Change, Flooding, etc
- Section 11 Conserving and Enhancing the Natural Environment
- Section 12 Conserving and Enhancing the Historic Environment

6. CONSULTATION RESPONSES

LCC Highways	No objection
United Utilities	No objection subject to conditions
Ecology	No objection
Land Contamination	No objection subject to conditions
RBC Conservation Officer	No objection subject to conditions
RBC Operations	No comments have been received
Tree Officer	No objection subject to conditions
LCC Public Rights of Way	No comments have been received

7. REPRESENTATIONS

To accord with the General Development Procedure Order a site notice was posted on 13th February 2018 and 21 neighbour letters were sent. As a result of amended plans being submitted, re-notification took place for 14 days from 22nd May 2018.

In total 24 objections (including a petition with 17 signatures) and two other representations have been received from respondents raising the following issues:

- Highway safety concerns
- Increased traffic
- Harm to visual amenity / countryside / landscape
- Noise nuisance
- Harm to neighbour amenity
- Overlooking / privacy concerns
- Harm to local economy
- Harm to wildlife
- Encroachment of development into countryside
- Utilities / services inadequate to cope with development
- Reflection of light off the proposed building may cause glare
- Unsustainable development

8. ASSESSMENT

Principle

1. Starting with the development plan, Policy 1 of the Core Strategy provides for the general development locations and principles, and directs new development to the Urban Boundary unless...*“it has to be located within the countryside, and should be of a size and nature appropriate to the size and role of the settlement.”* It goes on to state that the countryside should be enhanced and protected.

2. Policy 14 relates to tourism more specifically and in relation to new development outside of the Urban Boundary, it will be only be acceptable where:
 - it is essential for the proposed facility; and
 - no sites within the Urban Boundary are suitable; and
 - there are no impacts affecting landscape character, or visual quality (including light pollution), or amenity to neighbours (including noise pollution) or nature conservation assets.

3. Policy 15 relates to overnight visitor accommodation specifically, and states that proposals for overnight visitor accommodation will be supported both within and outside of the Urban Boundary where:
 - they are appropriate to their locality (including in terms of size, amenity to neighbouring uses), and
 - they are complementary to existing tourism facilities, and
 - access is good by a variety of modes (with no adverse effects on the local road network) and
 - the capacity of existing infrastructure is adequate, and
 - there are no harmful effects on visual amenity, landscape, or nature conservation assets, and
 - the development will not reduce the amount of land in use for the purposes of open space or recreation, and
 - where need can be demonstrated.

4. In addition, for sites outside of the Urban Boundary, it will be expected that...*“where it is appropriate to the type of establishment (for example a hotel) use will be made of existing buildings.”* In this case it is noted that there are no buildings within the site that could be converted.

5. There is a recognised need for appropriate overnight visitor accommodation within the Borough, as demonstrated in the findings of the Rossendale Town Centre, Retail, Leisure and Tourism Study (April 2017).

6. At the national level Section 3 of the National Planning Policy Framework (the Framework) requires support to be given to economic growth in rural areas where it is sustainable and would allow the growth and expansion of all types of business and enterprise, through the conversion of existing buildings, and well-designed new buildings. More specifically, the Framework states that sustainable rural tourism and leisure should be supported, including *“...the provision and expansion of tourist and visitor facilities in appropriate locations where identified needs are not met by existing facilities in rural service centres.”*

7. The applicant has submitted a sequential assessment, which demonstrates that there are no sequentially preferable sites in this case located elsewhere.

8. The submitted planning statement concludes that:

“...it is essential to provide accommodation aimed at rurally-based tourists within the rural area. Locating the same accommodation in a more urban setting would clearly not attract those who this proposal seeks to cater for – ie those attracted to the rugged charm and splendour of the Rossendale Valley, whose visits are focused on experiencing that at first

hand, and those who wish to avoid the bustle of urban areas, and instead experience peace, quiet and tranquility.”

“...it is evident that there are no suitable sites within the Urban Boundary. There is of course land available within the Urban Boundary, but such sites are - by definition - not suitable for rural-based tourism or for those whose intent and desire is to purposely avoid the urban environment in search of solitude.”

9. Having regard to both the development plan and national planning policy, it is considered that there is support in principle for the proposed expansion of the holiday accommodation at this site, subject to more detailed matters including visual amenity, landscape and nature conservation being considered satisfactory.

Visual Amenity and Landscape Impact

10. Concerns were initially raised by officers in relation to the appearance of the proposed building, the plans for the wider site and the impact of the scheme on the landscape. Since submission of the original scheme however, amended plans have been received showing a development of reduced scale.
11. The proposed building would now be entirely single storey, constructed predominantly of gabion baskets filled with local natural stone.
12. The Council's Conservation Officer has no objection to the amended scheme, and has commented as follows:

“The amended scheme at Rossendale Holiday cottages does appear to have addressed the main concerns with respect to the design of the building. The two storey element has been completely lost and the continuation of the single storey element which is built into the hillside has continued. With the loss of the two storey element here has been the introduction of a terraced area which has been screened to an extent. While noting this will be a focal hub the use of this as sitting and venue space should be restricted. This has also seen the continuation of the green roof which should help to blend the building into the landscape and once developed should also reduce the visibility of the roof lights, which will be visible from certain viewpoints. The amended scheme has also seen the introduction of stone in the form of gabions. It may be possible for the stone to be sourced on site, however this should be conditioned for inspection so as to ensure the colour and form of the stone is appropriate.

The internal illumination should ensure that it is kept to a deep warm glow as the concern, especially during the evening and night is that this will cause light to spill out of the building and be a dominant feature on the landscape which should be completely avoided and it to an extent seen in the CGI's provide of the site at dusk.

The proposed build element of the scheme has improved, however attention now needs to be turned to the proposed landscaping of the area as this will further assist in creating natural buffering and screening to the site. This will also be essential given the design and change and will we have seen the reductions in height, effort needs to be made to ensure it is further helped to blend into the landscape. The landscape should look to site with the landscape and not appear to formalise the area. Within this details will need to be submitted of the proposed lighting scheme as again could create a negative visual impact, however with the appropriate low level low lighting this can be achieved.”

13. The Conservation Officer has suggested conditions relating to details of facing materials, landscaping and further details of lighting.
14. The Council's Tree Officer has no objection to the amended scheme and the proposed landscaping arrangements, subject to conditions including:
- The previously approved planting/landscape scheme should be revoked and a new drawing to be submitted for approval which takes account of the revised building type and increased indicative planting as shown in drawing AL-00-001 Rev P9.
 - Detail of the wetland/pond areas to be submitted for approval.
15. Notwithstanding the conclusions of the submitted landscape and visual impact assessment, it is considered that the proposed scheme as now amended will still form a not insignificant built feature within the wider countryside landscape.
16. The proposed development does involve the erection of a new relatively large building within the countryside and whilst it is acknowledged that the proposed scheme has now been scaled down as far as possible whilst maintaining a reasonable level of tourism accommodation, the impact of the development on this countryside location, through further built development, needs to be weighed against the benefits of the scheme. A balancing exercise is undertaken further on within this report.

Residential Amenity

17. Objectors' comments are noted. However, it is not considered that the proposed scheme will necessarily result in significant harm to the privacy, daylight or outlook of any neighbouring residential properties given the proposed siting and orientation of the proposed development and the separation distances involved. As such the scheme is considered acceptable in terms of residential amenity.

Access, Parking and Highway Safety

18. Concerns have been raised by several local residents relating to the impact of the development on traffic and highway safety on Dean Lane. However, no objection has been received from the Local Highway Authority, which provides specialist advice to officers on such matters.

19. The Local Highway Authority has stated the following in relation to the proposed scheme:

"Whilst the development is to be an expansion to a complex of Holiday Cottages and other types of accommodation, there is sufficient parking within the site to accommodate the expected number of visitors so there should be no offsite parking issues.

The gated entrance is set back from the carriageway with sufficient space to allow vehicles to pull off the highway if they are closed, the sight lines are sufficient to allow a safe return to the carriageway. Whilst the development will add a number of vehicle movements along Dean Lane, these are not expected to be a significant increase to the overall numbers. Especially given the number of residential dwellings and farms that are further along Dean Lane from the Holiday Cottages development. Similarly, the size and type of vehicle using the development upon completion is unlikely to be larger than a family car, unlike the mixture of agricultural and commercial vehicles which will serve the dwellings and agricultural premises

beyond the applicant's site."

20. The submitted information indicates that the facilities on site (restaurant, spa, gym, cinema room) are intended to be for the use of guests staying at the facility, and the application has been assessed as such. The Local Highway Authority considers it necessary to include a condition restricting the use of the ancillary facilities as such – as independent use of these facilities could generate different (and possibly greater) levels of traffic than the visitor accommodation would if the facilities were purely ancillary.

21. Having regard to all of the above and subject to the above condition, the proposed scheme is considered acceptable in terms of access, parking and highway safety.

22. Ecology and Landscaping

23. The Council's Ecology Consultant and Tree Officer have no objection to the proposed scheme, subject to conditions requiring the submission of further landscaping details and details of the proposed wetland / pond areas for approval.

24. Subject to suitable conditions, the scheme is considered acceptable in terms of ecology and landscaping.

Balancing Exercise

25. Having regard to paragraph 14 of the Framework, it is necessary to carry out a balancing exercise to weigh the benefits of the scheme against any potential adverse impacts of the development.

26. Paragraph 14 states:

27. *"For decision-taking this means:*

- *Approving development proposals that accord with the development plan without delay; and*
- *Where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless:*
- *Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or*
- *Specific policies in this Framework indicate development should be restricted."*

28. The proposed scheme as amended would still form a not insignificant built feature in the wider landscape, and would result in the encroachment of built development into the countryside expanding the built development on this site. However, having regard to the submitted information and landscape and visual impact assessment it is considered that the proposed scheme has been reduced in scale as far as practicable whilst maintaining the desired amount of overnight visitor accommodation on site.

29. There is a recognised need for the provision of new overnight visitor accommodation within the Borough, which is recognised and given support by Policies 14 and 15 of the Core Strategy. The proposed scheme would deliver an additional 8 no. guest rooms in addition to the provision already on site, which would enable an additional 16 no. overnight visitor stays. The submitted information has demonstrated that no other sites within the Borough are sequentially preferable for the proposed scheme, which would enhance and expand an existing tourist accommodation facility.

30. Subject to conditions, officers are satisfied that the scheme would not have an unacceptable impact on neighbour amenity, ecology or highway safety.

31. On balance, and in accordance with paragraph 14 of the Framework, it is considered that the scheme is acceptable having regard in this case to the provision of a significant benefit in terms of overnight visitor accommodation and tourism which is supported by Policies 14 and 15 of the Core Strategy.

9. RECOMMENDATION

Approve planning permission subject to conditions.

10. SUMMARY REASON FOR APPROVAL

The proposed scheme would provide a significant benefit to tourism within the Borough in terms of overnight visitor accommodation, and is considered acceptable in principle within the countryside. Subject to conditions, the development will not have an unacceptable impact on visual amenity, neighbour amenity or highway safety. As such, it is considered that the proposed development accords with the National Planning Policy Framework and Policies 1, 8, 9, 14, 15, 16, 18, 23 and 24 of the Core Strategy DPD.

11. CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: Required by Section 51 of the Planning and Compulsory Purchase 2004 Act.

2. The development shall be carried out in accordance with the following plans and documents:

- Application form date stamped 13/02/2018 by the Local Planning Authority.
- Site Location Plan (drawing number AL-00-003-P5) date stamped 13/02/2018 by the Local Planning Authority.
- Site Sections (drawing number AE-22-001-P03) date stamped 18/05/2018 by the Local Planning Authority.
- Typical Building Sections (drawing number AE-22-002-P03) date stamped 18/05/2018 by the Local Planning Authority.
- Elevations (drawing number AE-22-003-P02) date stamped 18/05/2018 by the Local Planning Authority.
- Proposed Site Plan (drawing number AL-00-001-P09) date stamped 18/05/2018 by the Local Planning Authority.

- Block Plan - Guesthouse (drawing number AL-00-002-P05) date stamped 18/05/2018 by the Local Planning Authority.

- Guesthouse GA (drawing number AL-20-001-P08) date stamped 18/05/2018 by the Local Planning Authority.

- Roof Plan (drawing number AL-20-003-P04) date stamped 18/05/2018 by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. No development shall take place until full details of all proposed hard and soft landscaping (including planting), and boundary treatments forming part of the development have been submitted to and approved in writing by the Local Planning Authority. The submitted details shall also include full details of the proposed green roof of the approved guesthouse building, and full details of the proposed wetland / pond area.

The development shall thereafter be implemented in accordance with the approved details. All boundary treatments shall be erected prior to first use of the development hereby approved. All planting shall take place in the planting season immediately following substantial completion of the development. Any plants that are removed, die or become diseased within five years from the date of planting shall be replaced by plants of the same size and species in the following planting season.

Reason: Insufficient information has been provided with the application. This is needed before the development commences to ensure that appropriate landscaping is incorporated before building starts; in the interests of visual amenity and biodiversity.

4. No development shall take place until a scheme of external lighting for the site has been submitted to and approved in writing by the Local Planning Authority. The submitted scheme shall include full details of the proposed locations, designs, hours of operation and luminance of all external lighting units.

The development shall thereafter be implemented in accordance with the approved details, and shall be maintained as such in perpetuity.

Reason: Insufficient information has been provided with the application. This is needed before the development commences to ensure that appropriate lighting is incorporated before building starts; in the interests of visual and neighbour amenity.

5. No development shall take place until a scheme of internal lighting for the rooms which will have windows in the south and west elevations of the building hereby approved has been submitted to and approved in writing by the Local Planning Authority. The submitted scheme shall include full details of the proposed colour and luminance of lighting within those rooms.

The development shall thereafter be implemented in accordance with the approved details, and shall be maintained as such in perpetuity.

Reason: Insufficient information has been provided with the application. This is needed before the development commences to ensure that appropriate lighting is incorporated before building starts; in the interests of visual amenity.

6. No development shall take place until full details (including a sample) of the proposed stone to be used in the gabion walls of the building hereby permitted have been submitted to and approved in writing by the Local Planning Authority. The submitted details shall include the type, colour and proposed coursing of the stone to be used, which shall be natural stone.

The development shall thereafter be implemented in accordance with the approved details.

Reason: Insufficient information has been provided with the application. This is needed before the development commences to ensure that appropriate facing materials are incorporated before building starts; in the interests of visual amenity.

7. No development shall take place until a management and maintenance plan for the proposed green roof of the building hereby approved has been submitted to and approved in writing by the Local Planning Authority.

The development shall thereafter be implemented in accordance with the approved details, and the green roof shall be managed and maintained in accordance with the approved details in perpetuity.

Reason: Insufficient information has been provided with the application. This is needed before the development commences to ensure that an appropriate management and maintenance plan is in place before building starts; in the interests of visual amenity.

8. Foul and surface water shall be drained on separate systems.

Reason: To secure proper drainage and to manage the risk of flooding and pollution.

9. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the Local Planning Authority.

The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards and unless otherwise agreed in writing by the Local Planning Authority, no surface water shall discharge to the public sewerage system either directly or indirectly.

The development shall be completed in accordance with the approved details.

Reason: To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution.

10. Notwithstanding any information submitted with the application, no development shall take place until an investigation and risk assessment has been submitted to and approved in writing by the Local Planning Authority. The assessment shall investigate the nature and extent of any

contamination on the site (whether or not it originates on the site). The assessment shall be undertaken by competent persons and a written report of the findings submitted to and approved in writing by the Local Planning Authority before any development takes place.

The submitted report shall comprise:

i) Where potential risks are identified by the Preliminary Risk Assessment, a site investigation survey of the extent, scale and nature of contamination and;

ii) An assessment of the potential risks to:

- * human health,
- * property (existing or proposed) including buildings, crops, livestock, pets, woodland, and service lines and pipes,
- * adjoining land,
- * groundwaters and surface waters,
- * ecological systems,
- * archaeological sites and ancient monuments;

iii) Where unacceptable risks are identified, an appraisal of remedial options and proposal of the preferred option(s) to form a remediation strategy for the site.

The development shall thereafter be carried out in full accordance with the duly approved remediation strategy.

Reason: To mitigate risks associated with land contamination and in the interests of preventing pollution.

11. Pursuant to condition 10 and prior to first use or occupation of the visitor accommodation facility hereby approved, a verification report, which validates that all remedial works undertaken on site were completed in accordance with those agreed with the Local Planning Authority, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To mitigate risks associated with land contamination and in the interests of preventing pollution.

12. The ancillary guest facilities (spa, gym, pool, bar and restaurant) forming part of the development hereby approved shall only be available for use by persons staying overnight in the guest rooms, and shall not be open to any other members of the public.

Reason: In the interests of highway safety and ensuring that the development has sufficient car parking capacity.

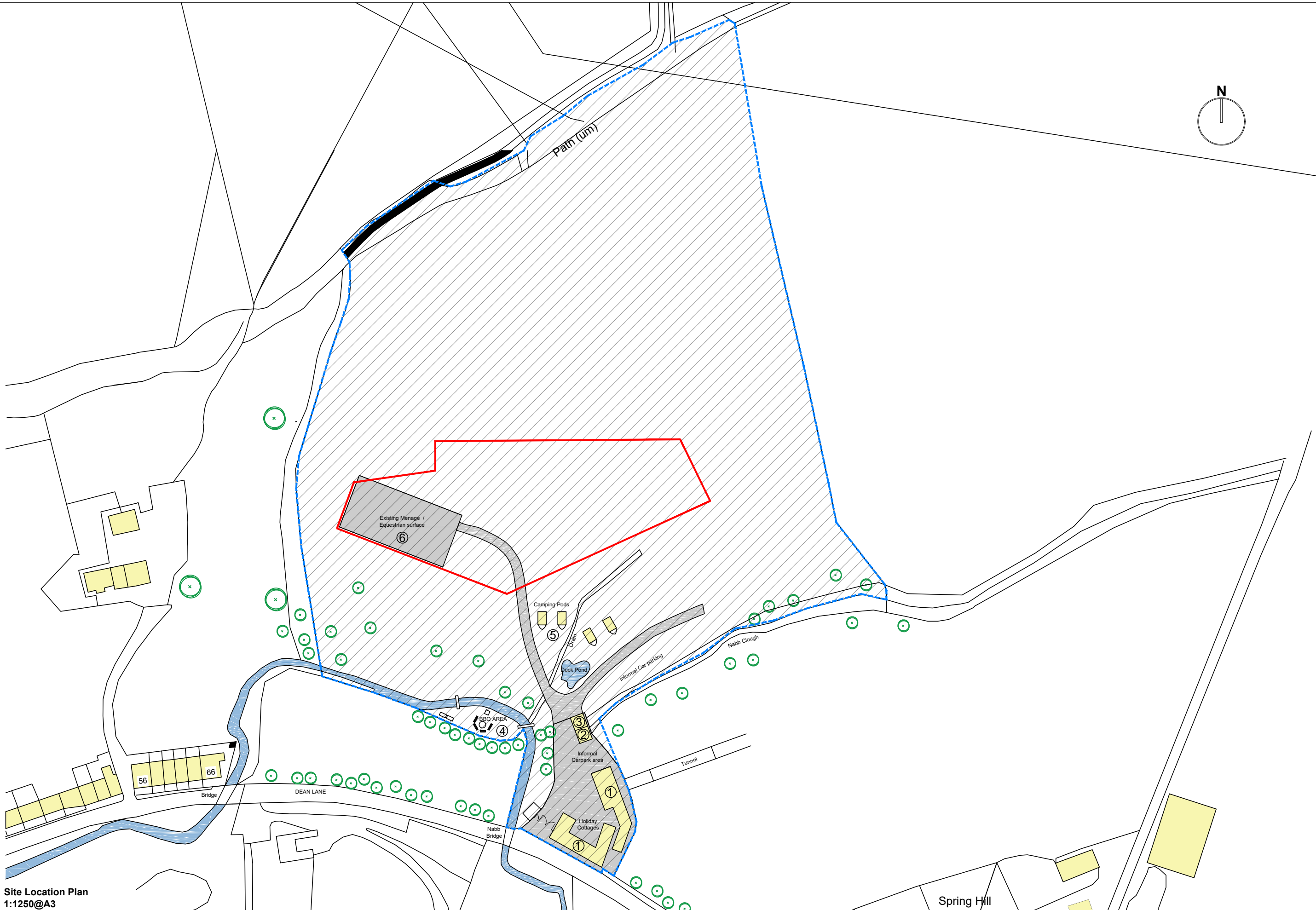
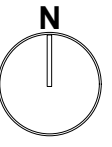
12. INFORMATIVES

1. The Local Planning Authority has a Core Strategy (adopted in November 2011) and a series of Supplementary Planning Documents, which can be viewed at:

http://www.rossendale.gov.uk/downloads/download/331/core_strategy_local_plan_part_1_adopted

The Council operates a pre-application planning advice service. All applicants are encouraged to engage with the Local Planning Authority at the pre-application stage. In this case the applicant did engage in pre-application discussions.

The Local Planning Authority has considered the application and where necessary considered either the imposition of planning conditions and/or sought reasonable amendments to the application in order to deliver a sustainable form of development in accordance with the National Planning Policy Framework and the local planning policy context.



Site Location Plan
1:1250@A3

GENERAL NOTES:

1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies reported to the Architect / Designer.
2. Partial Service: Any discrepancies with site or other information is to be advised to the Architect / Designer and / or approval is to be sought before the implementation of the detail.
3. Block and site plans are reproduced under license from the Ordnance Survey.
4. Do not scale this drawing.
5. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect / Designer.

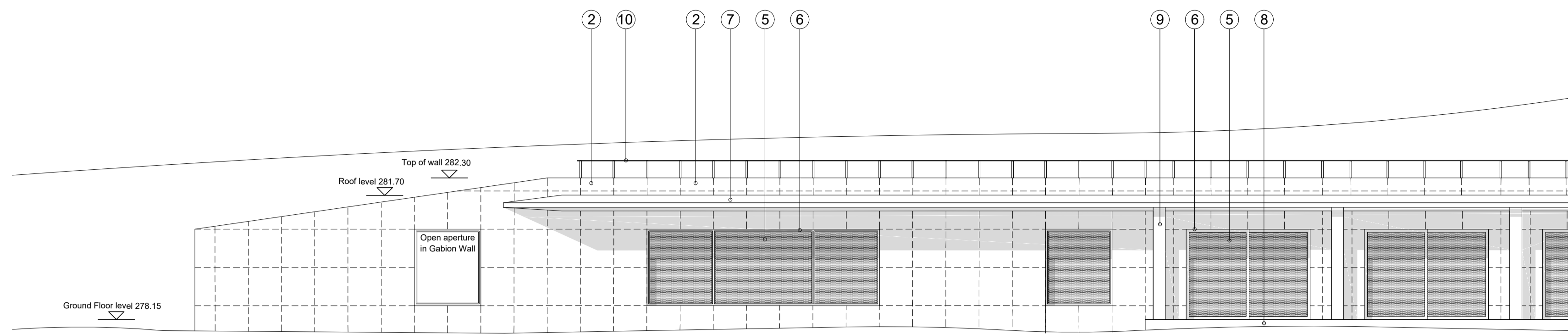
DRAWING NOTES:

DAY Architectural Ltd accepts no responsibility for any costs, losses or claims whatsoever arising from these drawings, specifications and related documents unless there is full compliance with the Client or any unauthorised user of the following:

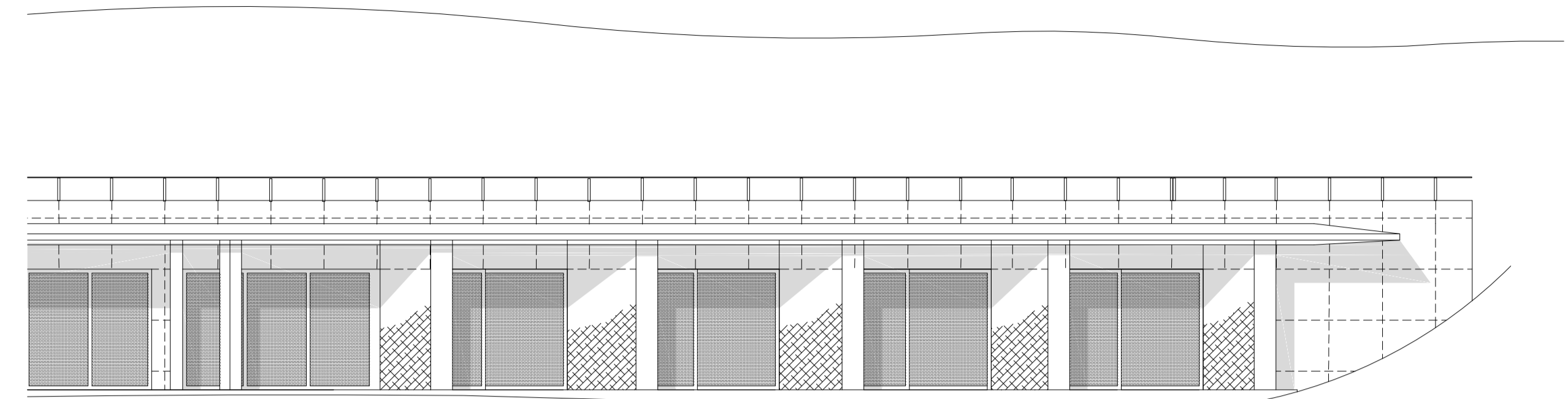
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PROJECT		SCALE	1:1250
		PAPER SIZE	A3
		DATE	21.12.17
		DRAWN BY	JB
		DRAWING No.	AL-00-003
		REVISION	POS
		PROJECT No.	829-17
		DRAWING STATUS	PLANNING

CLIENT		DRAWING	Site Location Plan
PROJECT		SCALE	1:1250
		PAPER SIZE	A3
		DATE	21.12.17
		DRAWN BY	JB
		DRAWING No.	AL-00-003
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		PROJECT No.	829-17
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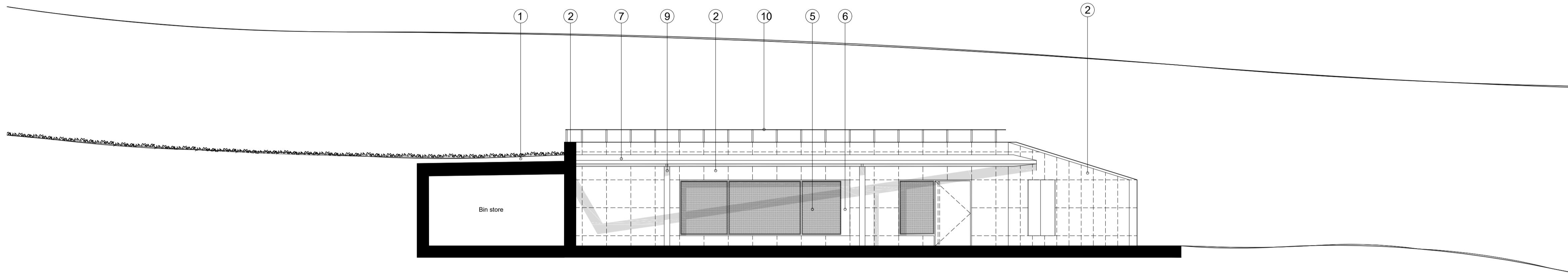




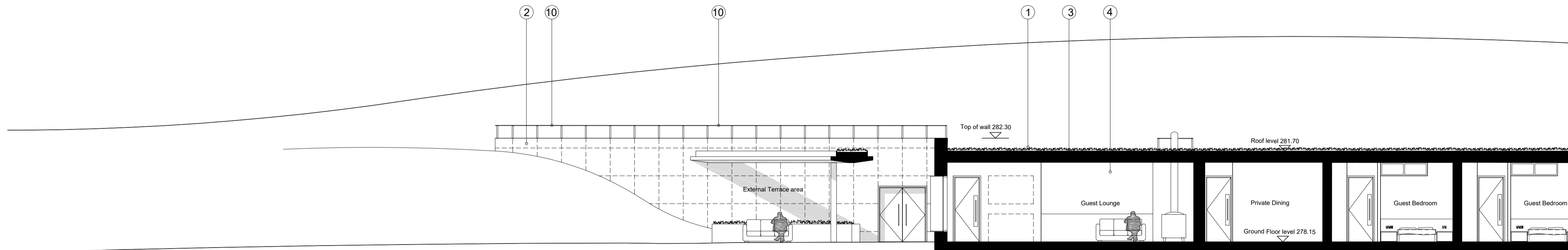
Front Elevation AA
Scale 1:100



Front Elevation BB
Scale 1:100



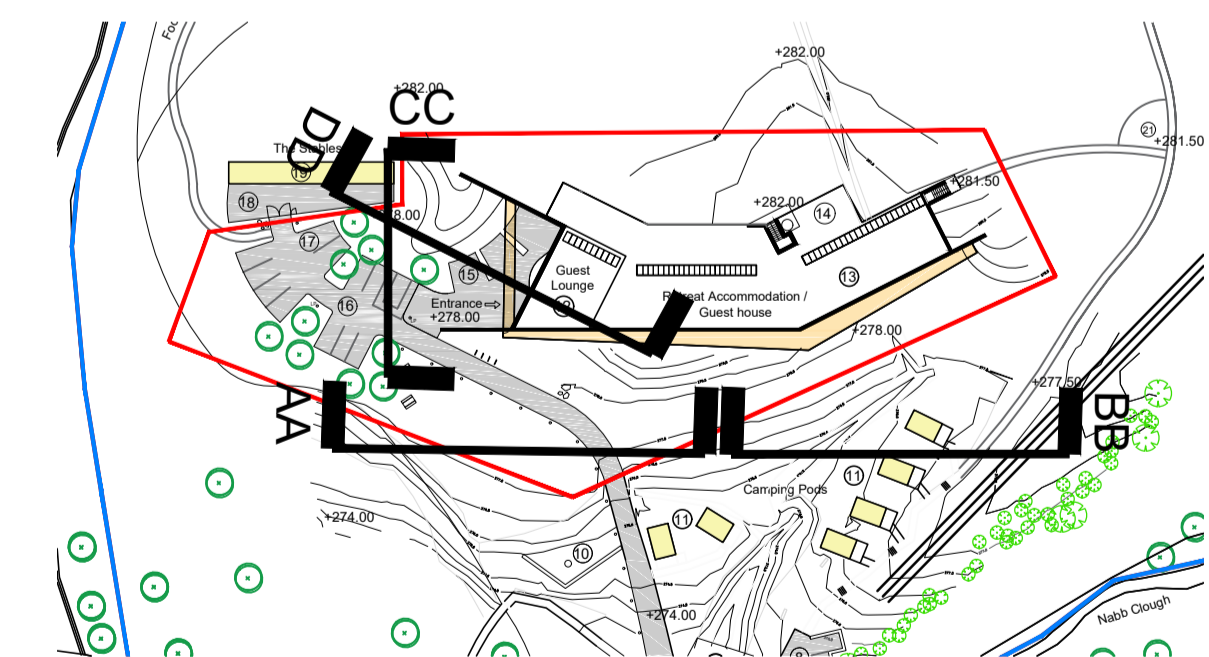
Entrance Elevation CC
Scale 1:100



Entrance Elevation DD
Scale 1:100

KEY TO FINISHES

- ① **Green roof.**
Natural wild grass and Sedum roof finish to allow the re integration of the existing landscape over the new roof structure.
- ② **External Gabion Wall**
Galvanized metal gabion baskets to form the finish of the building exterior. Gabions to be filled with local stone excavated from the site and mixed with matching stone where required. Local Flora to be planted within the gabions to the whole elevation. Size of stone and appearance to be agreed.
- ③ **Internal ceiling finishes.**
Internal ceilings are finished in light coloured natural timber boards to match the exterior Terrace finish.
- ④ **Internal walls Concrete**
Subterranean walls and retaining structures are to be formed in naturally shuttered concrete to give a textured appearance.
- ⑤ **Glazing system**
The proprietary glazing system will use aluminum glazing sections and double glazed units throughout the development. Colour finish of glazing units TBA.
- ⑥ **Window Flashing**
Deep window reveals around glazing systems to be finished in weathered dark steel profiles
- ⑦ **Projecting Canopy**
The canopy located over the terrace areas will support a green sedum roof system. The edge profile and rainwater channels will be formed in metal to match the window flashing. The underside of the canopies will be finished in naturally weathered timber to match the terrace decking.
- ⑧ **Terrace decking.**
Weathered external grade close board timber decking. Colour / Species TBC
- ⑨ **Timber columns**
Weathered timber columns to support canopy.
- ⑩ **Balustrade**
Slim profile balustrade rail and posts finished in naturally finished dark steel, to match window reveal and canopy edge profile.



Location Plan
Scale : NTS

GENERAL NOTES:
DAY Architectural Ltd accepts no responsibility for any costs, losses or claims whatsoever arising from these drawings, specifications and related documents unless there is full compliance with the Client or any unauthorised user of the following:

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DRAWING NOTES:

REV	DATE	REVISION NOTES	DRN	CHKD

CLIENT	Jonny and Rachel Wilson
PROJECT	Rosendale Retreat

DRAWING	Guest house Elevations
SCALE	1:100
PAPER SIZE	A1
DATE	25.08.2017
DRAWN BY	JAB
CHECKED BY	
PROJECT No.	529-17
DWG No.	AE-22-003
REVISION	P2
DRAWING STATUS	PLANNING

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Edge of site demise
+ 287.00

Landscape
+ 282.50

Roof level
+ 281.70
Ground Floor level
+ 278.15
Landscape
+ 277.75

Cabins
+ 275.00

Cottages
+ 272.00

Dean lane
+ 271.00

Site Section AA
Scale 1:500

Edge of site demise
+ 286.50

Landscape
+ 284.00

Landscape
+ 283.00

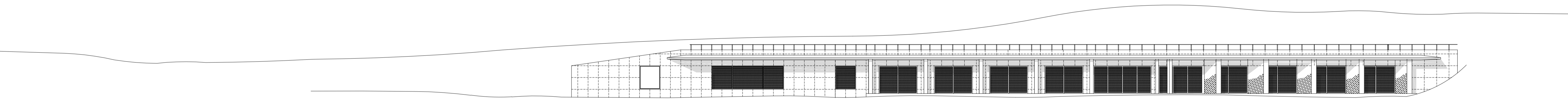
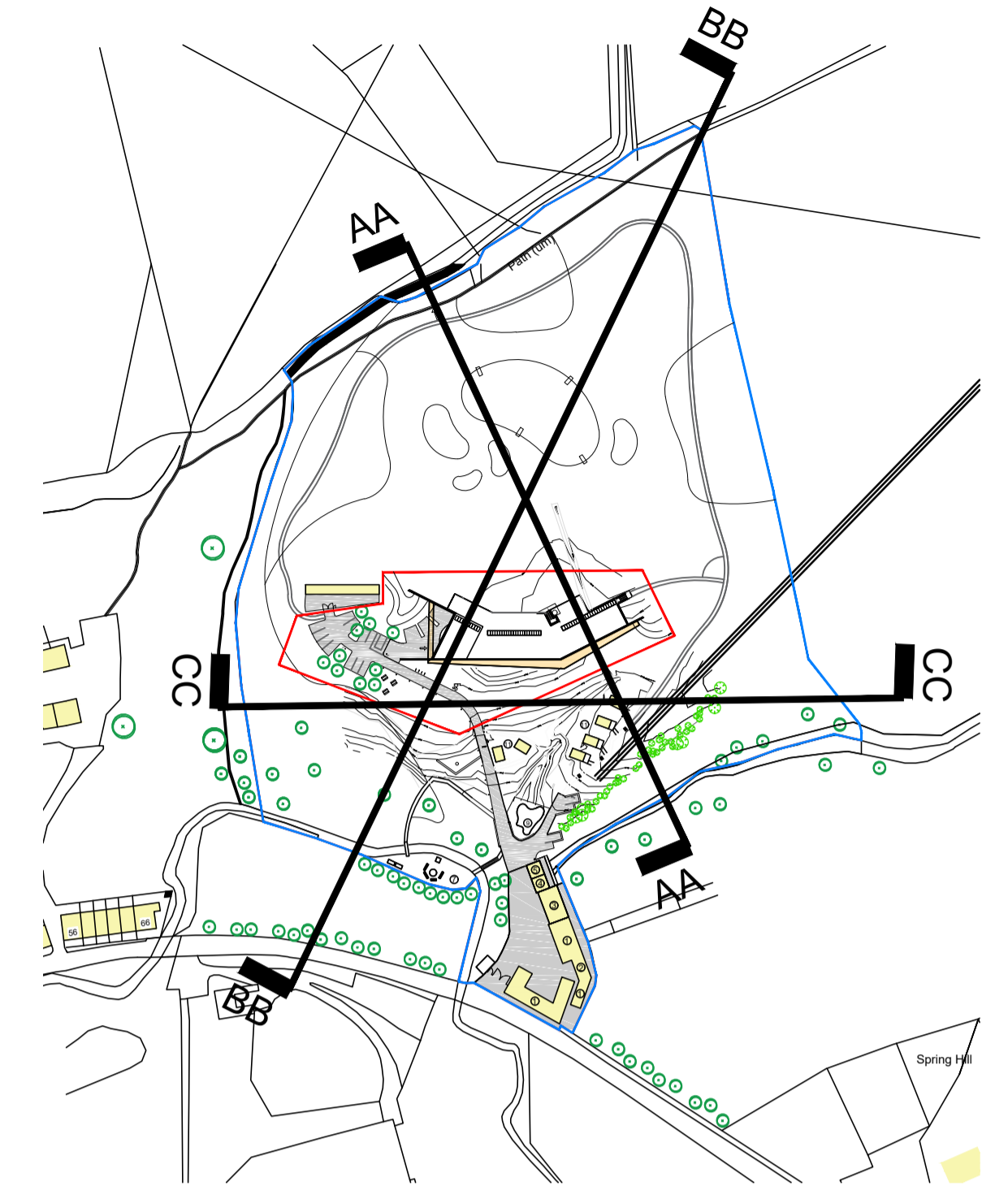
Roof level
+ 281.70
Ground Floor level
+ 278.15

Landscape
+ 275.00

River embankment
+ 268.00

Dean lane
+ 268.00

Site Section BB
Scale 1:500



Guesthouse Elevation CC
Scale 1:200

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REV	DATE	REVISION NOTES	DRN	CHKD

CLIENT Jonny and Rachel Wilson	
PROJECT Rossendale Retreat	

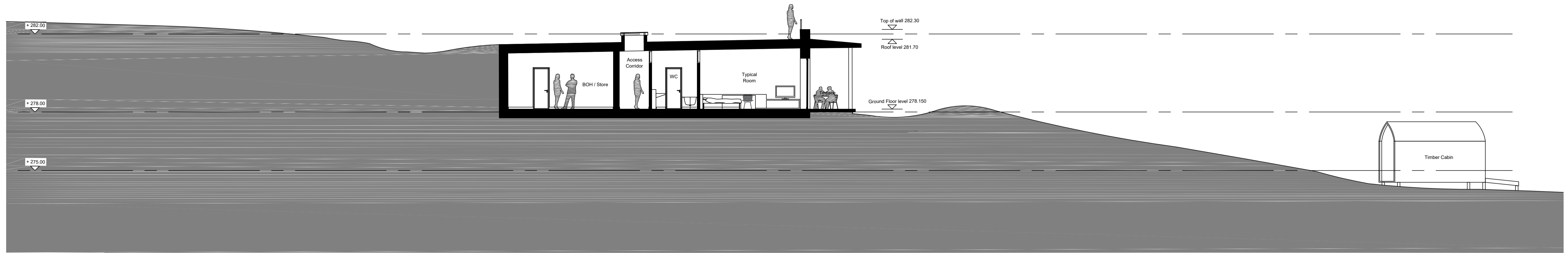
DRAWING Site sections	
SCALE 1:500	PAPER SIZE A1
DATE 25.08.2017	DRAWN BY JAB
PROJECT No. 529-17	DWG No. AE-22-001
DRAWING STATUS PLANNING	
CHECKED BY P3	

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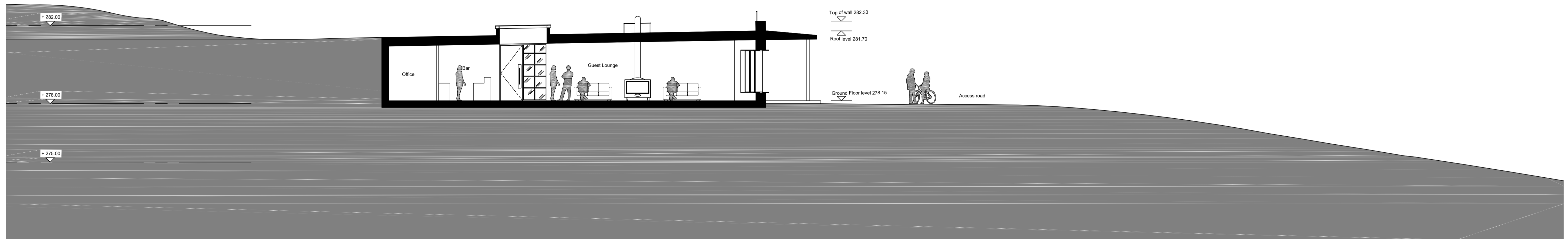
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Typical Guestroom Section
Scale 1:100



Guest Lounge Section
Scale 1:100

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REV	DATE	REVISION NOTES	DRN	CHKD

CLIENT
Jonny and Rachel Wilson

PROJECT
Rossendale Retreat

DRAWING
Typical Building Sections

SCALE 1:500	PAPER SIZE A1	
DATE 25.08.2017	DRAWN BY JAB	CHECKED BY
PROJECT No. 529-17	DWG No. AE-22-002	REVISION P3

DRAWING STATUS
PLANNING

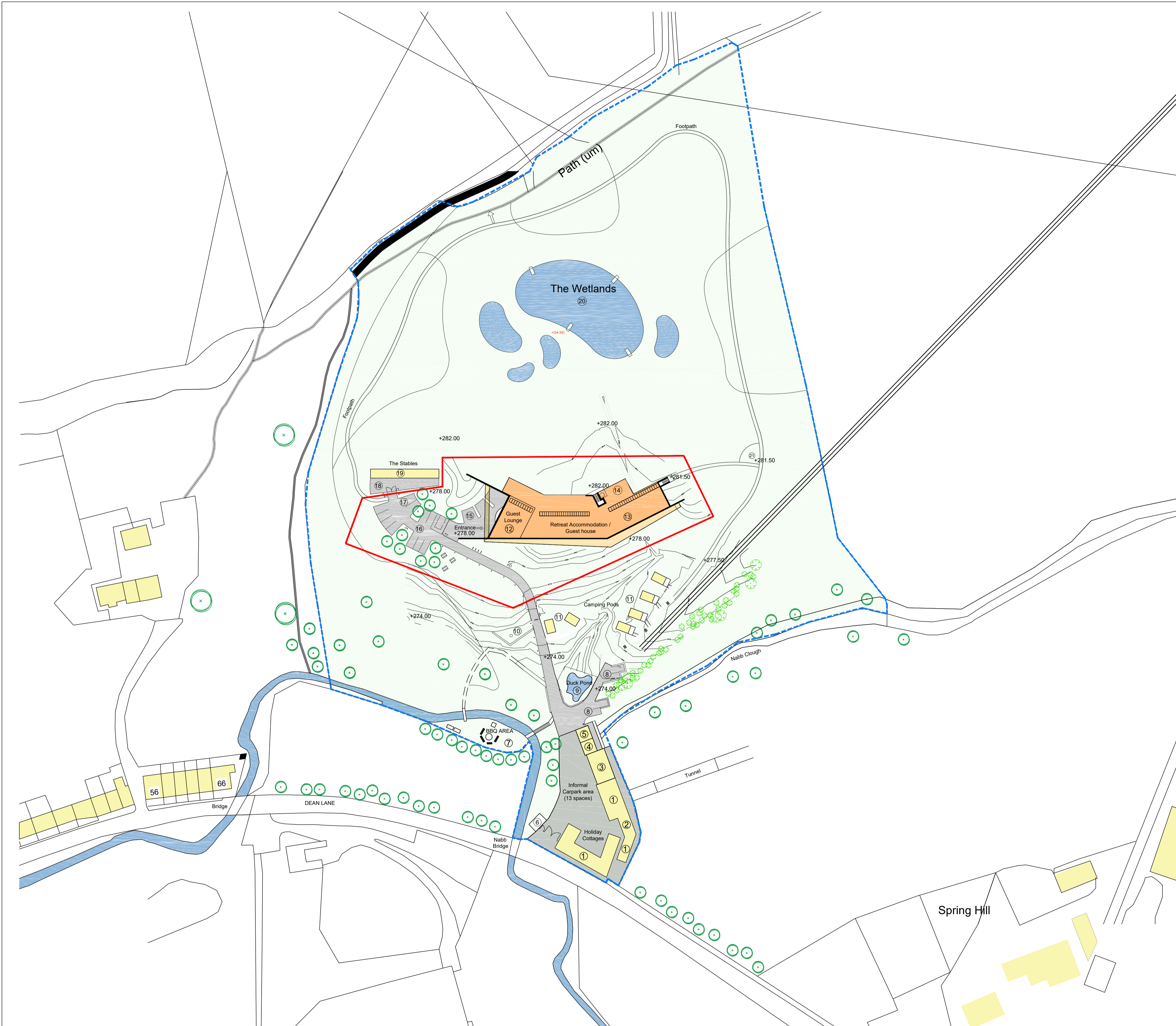
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Number	Description	Current Use	Planning Status
1	Existing Holiday cottages	Full planning permission granted Constructed as current application	As approved - Installed
2	Existing Office to be converted into Guest accommodation	This area is currently used as the site office. Upon completion of the proposed Guest house, the office would move to the main barn and converted into a room.	Captured under the current Planning application. No change to the building. Internal refurbishment only.
3	Existing Holiday Cottages	Full planning permission granted. Not currently constructed. Buildings to be formed to suite demand. Date of construction TBA	As approved - Not constructed.
4	Existing games room Converted to Cycle Storage	Current Games room is proposed to be converted to Secure Cycle storage / Drying room / back up facilities	As approved - Installed
5	Existing Camping Pod Utilities . WC's, Showers, Wash up.	No proposed change to this facility	As approved - Installed
6	Existing Bin Store	No proposed change to this facility. Capacity / Frequency to be reviewed when at capacity.	As approved - Installed
7	Existing BBQ / Picnic Area	Full planning permission granted Constructed as current application	As approved - Installed
8	Car parking	Dedicated car parking for Camping pods.	Noted as part of the coordinated masterplan for the site. Subject to feedback from the planning application.
9	Existing Duck Pond	Existing water / ecology feature	As approved - Installed
10	Proposed Viewpoint Picnic Space	Seating area and viewpoint	Noted as part of the coordinated masterplan for the site. Subject to feedback from the planning application.
11	Camping pods	4 number constructed on site 2 number to be constructed Date to be agreed	As approved - Installed Access to pods considered as part of the coordinated masterplan for the site.
12	Proposed Guest Lounge	Subterranean guest lounge to be constructed for the guesthouse to have a residents lounge and breakfast room connected to the accommodation.	Planning permission required for new accommodation.
13	Proposed Subterranean guesthouse accommodation	Provision of 8 number new rooms with ensuite facilities, back up facilities to service the guesthouse	Planning permission required for new accommodation.
14	Proposed External terrace and hottub	External staircase and terrace area to be formed with Sunken hottub	Planning permission required for new accommodation.
15	Proposed External Terrace area	To provide exterior space for residents, landscape formed to provide natural screening	Planning permission required
16	Proposed car parking 12 spaces inc' Accessible	Change of use from the existing Menage into new surface car park for the guesthouse. Removal of flood lights, introduction of low level lighting.	Planning permission required
17	Proposed Turning Head	As noted, See landscape proposals	Planning permission required
18	Proposed Stable Yard	As noted, See landscape proposals	Noted as part of the coordinated masterplan for the site. Not part of this planning application.
19	The Stables	No buildings currently constructed on site for this use.	Full planning permission granted Not currently constructed Location to be coordinated with Retreat application
20	Proposed Wetlands	Wetland pools and ponds to promote ecology and encourage local wildlife found locally in at this site location.	Noted as part of the coordinated masterplan for the site. Not part of this planning application.
21	Landscaped paths	Path ways formed as a loop around the wetlands and site ownership.	Noted as part of the coordinated masterplan for the site. Not part of this planning application.

KEY TO Buildings

Subject to Planning permission Part of this application

Buildings within the masterplan, for indicative purposes only

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DRAWING NOTES:

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CLIENT	Jonny and Rachel Wilson
PROJECT	Rosendale Retreat

DRAWING	
PROPOSED SITE PLAN	
SCALE	PAPER SIZE
NTS	A1
DATE	DRAWN BY
25.08.2017	JAB
PROJECT No.	DWG No.
529-17	AL-00-001
DRAWING STATUS	REVISION
PLANNING	P9
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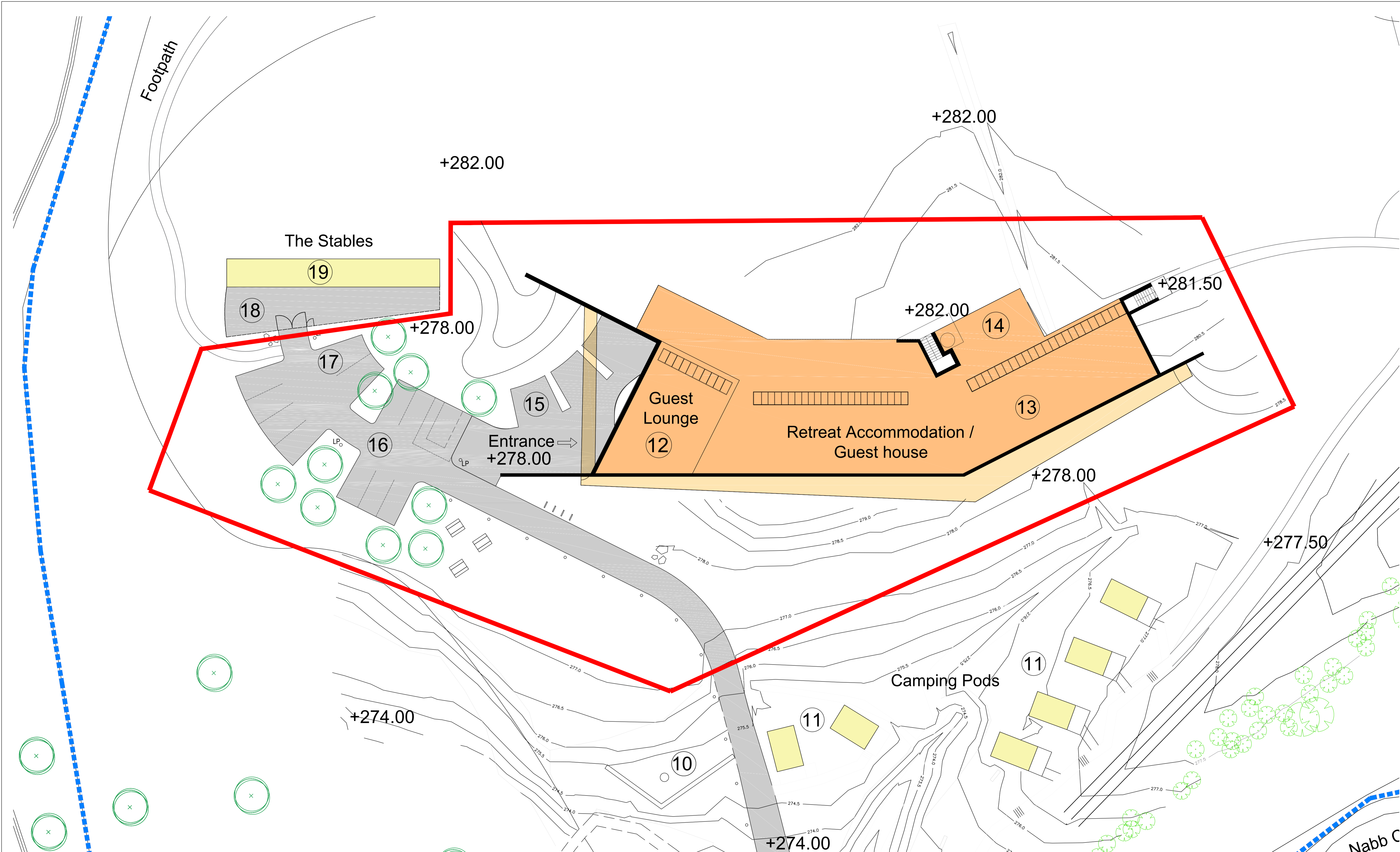
DRAWING	
PROPOSED SITE PLAN	
SCALE	PAPER SIZE
NTS	A1
DATE	DRAWN BY
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CLIENT Jonny and Rachel Wilson
PROJECT Rossendale Retreat

DRAWING Block Plan - Guest house		
SCALE 1:200	PAPER SIZE A1	
DATE 25.08.2017	DRAWN BY JAB	CHECKED BY
PROJECT No. 529-17	DWG No. AL-20-002	REVISION P5
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