

Rossendale Borough Council

Cloughfold Conservation Area

Townscape Appraisal Map

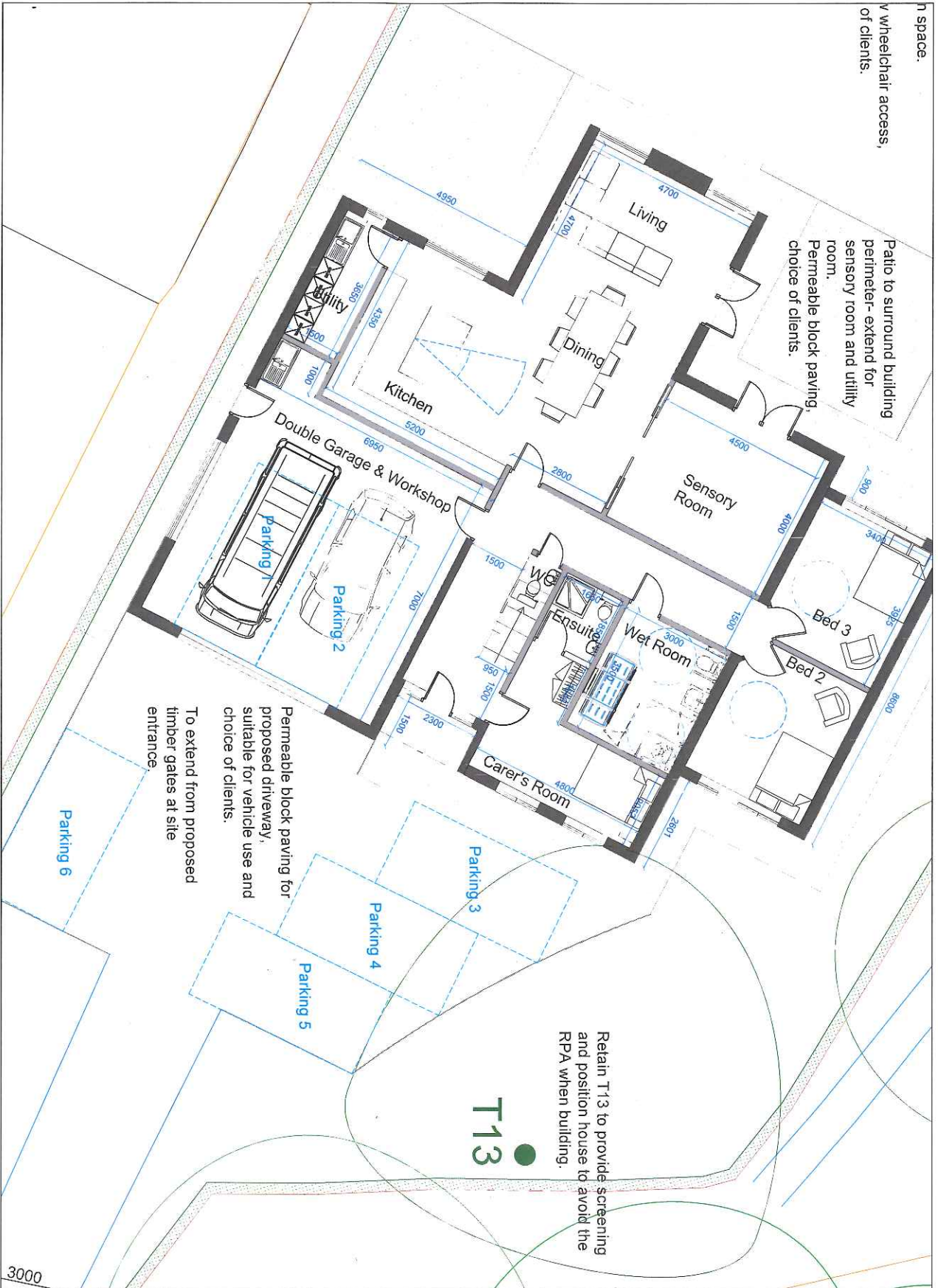
Not to scale



-  Existing Conservation Area Boundary
-  Proposed Conservation Area Boundary
-  'Positive' Unlisted Buildings of High Quality
-  'Positive' Unlisted Buildings of Medium Quality
-  Focal Building
-  Modern 'Positive' Buildings, which fit into the townscape, or historic buildings which have been altered
-  Building where Sensitive Redevelopment would be welcome
-  Traditional Street Surface
-  Important Views
-  Important Trees / Tree Groups
-  Stone slab walls

n space.
wheelchair access,
of clients.

Patio to surround building
perimeter- extend for
sensory room and utility
room.
Permeable block paving,
choice of clients.



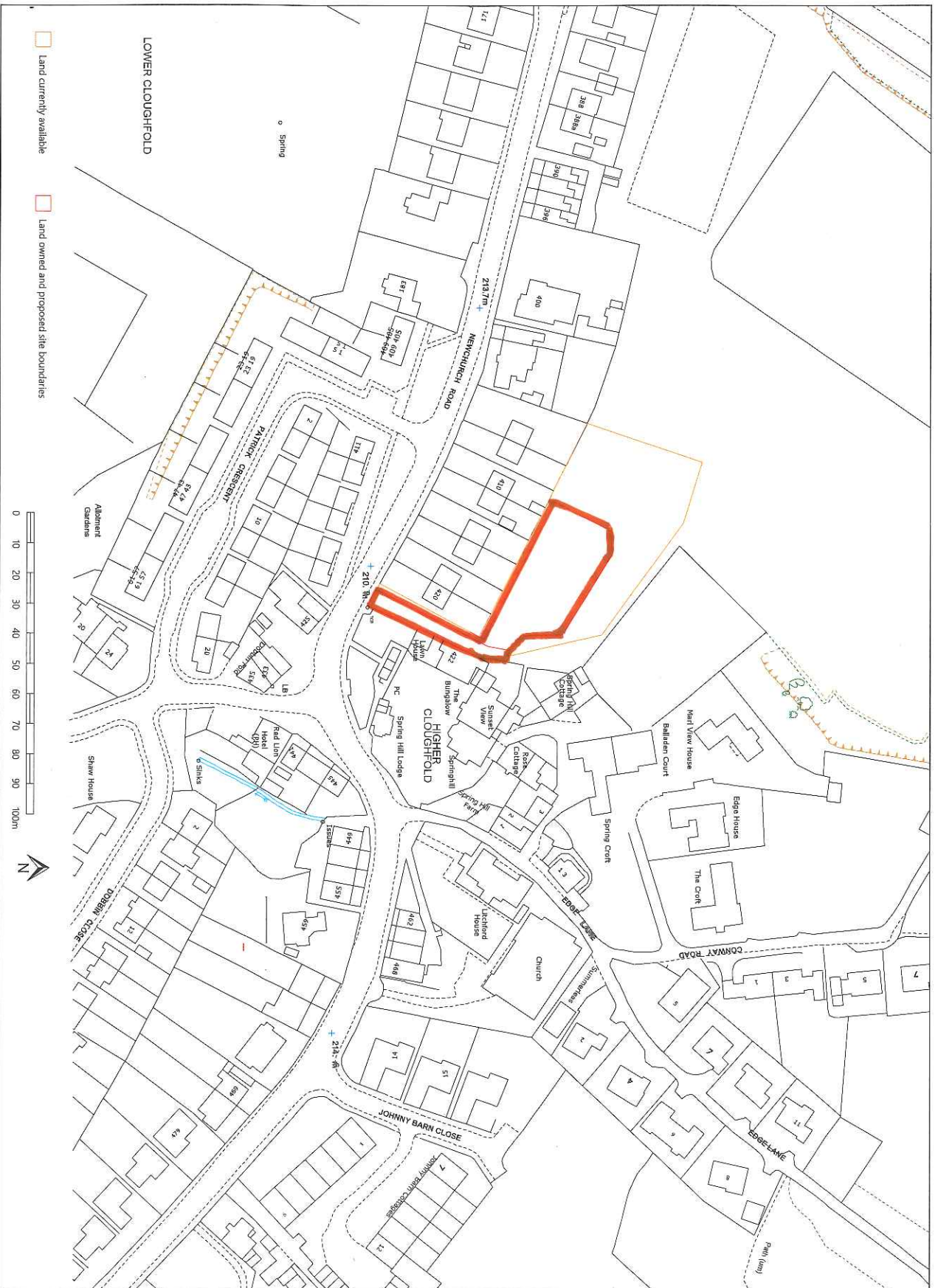
Retain T13 to provide screening
and position house to avoid the
RPA when building.

T13

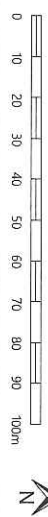
Permeable block paving for
proposed driveway,
suitable for vehicle use and
choice of clients.
To extend from proposed
timber gates at site
entrance.

3000

<p>Notes:</p> <p>All work to be carried out in accordance with the Building Regulations. Codes of Practice for all work and materials must comply with latest and valid legislation.</p> <p>All dimensions are in millimetres unless otherwise stated. All dimensions are to the face of work unless otherwise stated. All dimensions are to the face of work unless otherwise stated.</p> <p>Client: Dama & Luke Asher</p> <p>Project No: HA0300627</p> <p>Title: New Build</p> <p>Rear of Wheelchair Road</p> <p>Highgate, London</p> <p>Proposed Parking on Site</p> <p>Drawn: NME</p> <p>Paper: A3</p> <p>Date: 05-11-2016</p> <p>Scale: 1:100</p> <p>Amendments:</p>		<p>HUSMAN ARCHITECTURAL DESIGN LTD</p> <p>44 Greatfield Road</p> <p>0811 1AP</p> <p>www.husmanarchitectural.co.uk</p> <p>01222 491428</p>
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Land currently available
 Land owned and proposed site boundaries



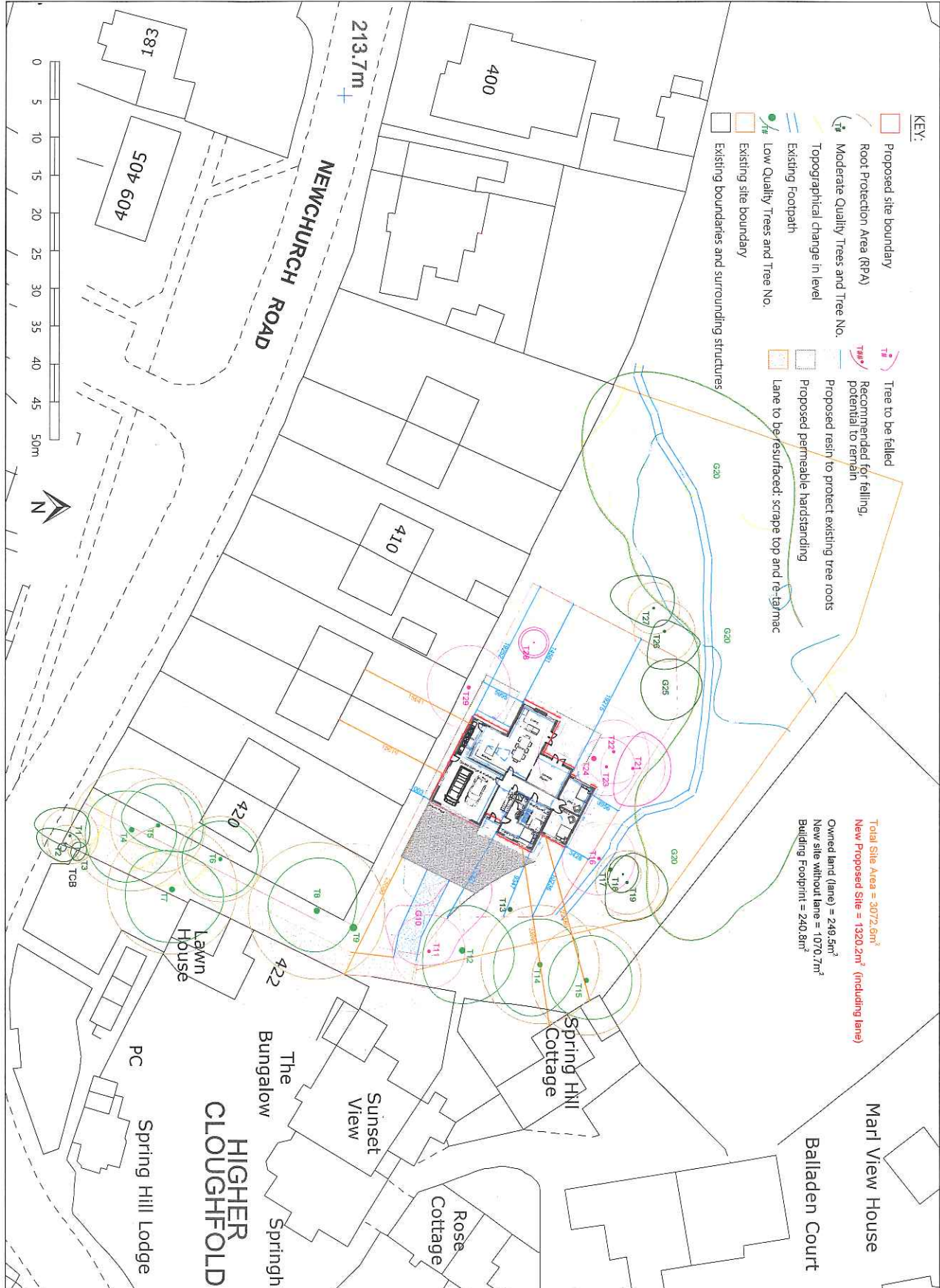
Notes:

All work is to be completed in accordance with the requirements of the Building Regulations 2010 and all other applicable legislation. All work is to be completed in accordance with the requirements of the Building Regulations 2010 and all other applicable legislation. All work is to be completed in accordance with the requirements of the Building Regulations 2010 and all other applicable legislation.

CLIENT: Hussain Architectural Design Ltd
PROJECT: New Build
LOCATION: Lower Cloughfold
DATE: 05-11-2016
SCALE: 1:250

HUSSAIN ARCHITECTURAL DESIGN LTD
 44 Grand Street
 Birmingham B2 4DU
 www.hussainarchitectural.co.uk
 0121 4541428

- KEY:**
- Proposed site boundary
 - Root Protection Area (RPA)
 - (T#) Moderate Quality Trees and Tree No.
 - Topographical change in level
 - Existing Footpath
 - Low Quality Trees and Tree No.
 - Existing site boundary
 - Existing boundaries and surrounding structures
 - (T#) Tree to be felled
 - (T#*) Recommended for felling, potential to remain
 - Proposed resin to protect existing tree roots
 - Proposed permeable hardstanding
 - Lane to be resurfaced: scrape top and re-tarmac



Notes:

All work is to be carried out by the Licensed British Tree Care Company Ltd. All work will be undertaken in strict accordance with BS5837:2012. All dimensions are in millimetres unless stated otherwise. All dimensions are to the external face of the wall, unless otherwise stated. All dimensions are to the external face of the wall, unless otherwise stated. All dimensions are to the external face of the wall, unless otherwise stated.

PERMITTED WALL, ETC.

The owner, should they wish to do so, should be aware of the requirements of the Party Wall Act 1994 and the Party Wall etc. Act 1999. The owner should be aware that the Party Wall Act 1994 and the Party Wall etc. Act 1999 apply to all buildings which share a party wall with an adjoining building. The owner should be aware that the Party Wall Act 1994 and the Party Wall etc. Act 1999 apply to all buildings which share a party wall with an adjoining building.

MULTIPLYING AND QUANTIFYING

All work is to be carried out in strict accordance with the specifications of the Party Wall Act 1994 and the Party Wall etc. Act 1999. All work is to be carried out in strict accordance with the specifications of the Party Wall Act 1994 and the Party Wall etc. Act 1999. All work is to be carried out in strict accordance with the specifications of the Party Wall Act 1994 and the Party Wall etc. Act 1999.

Client: Donna & Luke Maher
Project No: HA0300027
Date: 05-11-2018
Scale: 1:500

HASSAN ARCHITECTURAL DESIGN LTD
 41 GARDENS GATE
 BRISTOL, BR1 1TP
 www.hassanarchitect.co.uk
 01222 457428

Higher Cloughfold
 Rear of Newchurch Road
 Higher Cloughfold
 FROSTFIELD
 Proposed Site Plan

Drawn: NME
Paper: A3

NOTES

All work to be carried out in accordance with the current British Standards Codes of Practice.
 All work and materials should comply with health and safety legislation.
 All structures are to be designed in accordance with the relevant British Standards, and any other applicable codes of practice.
 Do not state the date of the drawing, if it is not a final drawing.
 Hessian Architectural Design are not liable for any variations or prior to full Planning Consent and/or Building Regulations Approval.
CDM REGULATIONS 2015
 Construction Design and Management Regulations 2015. The client must appoint a contractor, or more than one, to carry out the work. The contractor must appoint a principal contractor for the site, manage and coordinate the planning and construction of the project. The contractor must ensure that the construction and erection work are not undertaken in parallel or overlapping and separating the project.
 The contractor must be a registered professional designer and a principal contractor when there is more than one contractor. If not your contractor will be the principal contractor. The contractor must provide a written agreement between you and the contractor to this effect.
 Before construction work starts, the contractor must ensure that the work is carried out in accordance with the relevant British Standards and any other applicable codes of practice.
 The contractor must ensure that the work is carried out in accordance with the relevant British Standards and any other applicable codes of practice.

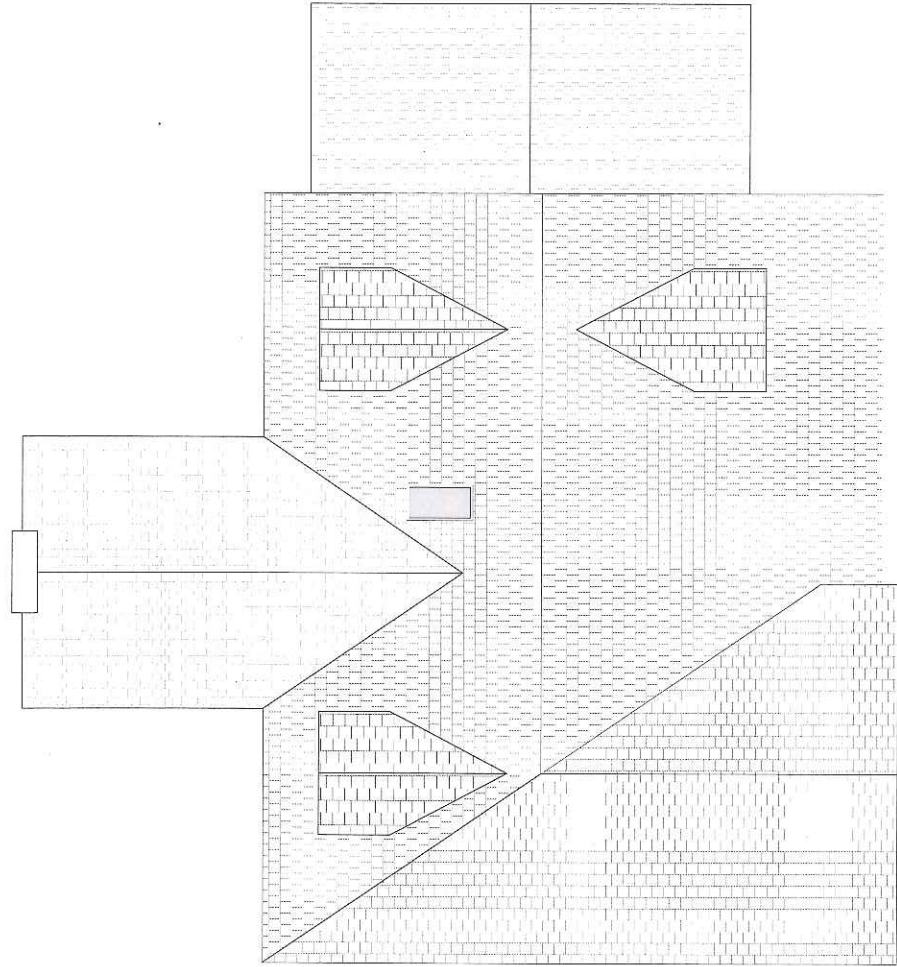
PARTY WALL ACT
 The owner should ensure that the requirements of the Party Wall Act 1999 are met. The building work should be carried out in accordance with the relevant British Standards and any other applicable codes of practice.
 - Party wall or cutting of party wall
 - Excavation and foundations
 - Construction of new buildings
 - Extension of existing buildings
 - Construction of a new structure which has an effect on the stability of an existing structure, or which is adjacent to an existing structure, or which is adjacent to an existing structure.
 - Party Wall Agreement to be in place prior to start of work on site.
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NOTES AND COMMENTS
 All work to be carried out in accordance with the relevant British Standards and any other applicable codes of practice. The contractor must ensure that the work is carried out in accordance with the relevant British Standards and any other applicable codes of practice.



HUSSEIN ARCHITECTURAL DESIGN LTD
 44 Cannon Street
 1st Floor
 www.husseinarchitect.co.uk
 01232 491428

Title: New Build
 Rear of Newchurch Road
 New Church
 Redditch
 Proposed Roof Plan

Project No: HAD0300-24	Drawn: INME
Client: Doma & Luke Mather	Paper: A3
Date: 26-10-2019	Scale: 1:100
Amendments:	



Roof Plan