

Rossendale Borough Council

Cloughfold Conservation Area

Townscape Appraisal Map

Not to scale



-  Existing Conservation Area Boundary
-  Proposed Conservation Area Boundary
-  'Positive' Unlisted Buildings of High Quality
-  'Positive' Unlisted Buildings of Medium Quality
-  Focal Building
-  Modern 'Positive' Buildings, which fit into the townscape, or historic buildings which have been altered
-  Building where Sensitive Redevelopment would be welcome
-  Traditional Street Surface
-  Important Views
-  Important Trees / Tree Groups
-  Stone slab walls

Notes:

All work to be carried out in line with current British Standards Codes of Practice.
All work and materials should comply with health and safety legislation.
All dimensions are to include fixtures, unless specified otherwise.
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Do not scale off the drawings. If in doubt ask.
Husain Architectural Design are not liable for any work undertaken prior to Full Planning Consent and/or Building Regulations Approval.

CONTRACT DOCUMENTS: Construction Design and Management Regulations 2016. This document is a contract. If more than one contract document is issued, the contract is the most recent one and amends all previous contracts. The contract documents are to be read in conjunction and where there are discrepancies to affect interpretation and interpretation in project.

The architect is to provide a detailed design and a principal contractor whenever there is more than one contractor. If just one contractor is used, the architect will be responsible for the design and construction of the building. The architect can rely on the data provided there is a written agreement in place for the design and construction of the building.

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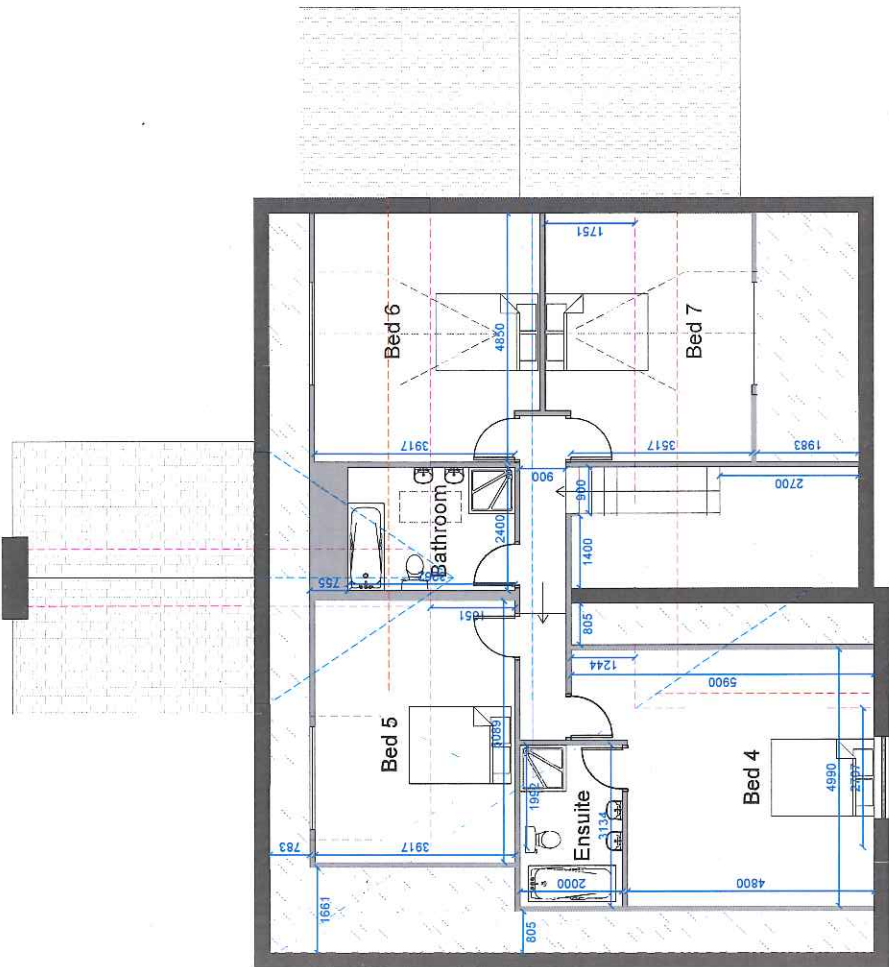
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HUSAIN ARCHITECTURAL DESIGN LTD
44 Mansel Street
BS1 1AP
www.husainarchitecture.co.uk
01252 451428

Title: New Build
Rear of Newchurch Road
Rippon Church Road
Riversdale
Proposed First Floor

Project No: HAD3035-24	Drawn: NME
Client: Donna & Luke Maher	Paper: A3
Date: 26-10-2018	Scale: 1:100
Amendments:	



First Floor Plan



Newchurch Road Side Elevation
D- Top and bottom with mid-way pieces



Proposed Front Elevation
D- Top and bottom with mid-way pieces

Notes:

All work is to be carried out to the latest current British standards Codes of Practice and recognised working practices.

All work and materials should comply with Health and Safety legislation.

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The contractor should check and certify all dimensions as work proceeds and notify the agent of any discrepancies.

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CDM REGULATIONS 2015

The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

Domestic clients

The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor. The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

(a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.

Or

(b) Exceeds 500 person days.

PARTY WALL ACT

The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

- Support of beam
- Insertion of DPC through wall
- Raising a wall or cutting off projections
- Demolition and rebuilding
- Underpinning
- Insertion of lead flashings

• Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is to be in place prior to start of works on site.

THERMAL BRIDGING

Care shall be taken to limit the occurrence of thermal bridging in the insulation layers caused by gaps within the thermal element, (i.e. around windows and door openings). Reasonable provision shall also be made to ensure the extension is constructed to minimise unwanted air leakage through the new building fabric.

MATERIALS AND WORKMANSHIP

All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.



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01282 451428

Title: New Build
Rear of Newchurch Road
Higher Cloughfold
Rossendale
Proposed Elevations 01

Project No: HAD3030-24 **Drawn:** NME

Client: Donna & Luke Mather **Paper:** A3

Date: 26-10-2018 **Scale:** 1:100

Amendments:

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Woodland Side Elevation
D- Top and bottom with mid-way pieces



Rear Garden Elevation
D- Top and bottom with mid-way pieces

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Title: New Build
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Rossendale
Proposed Elevations 02

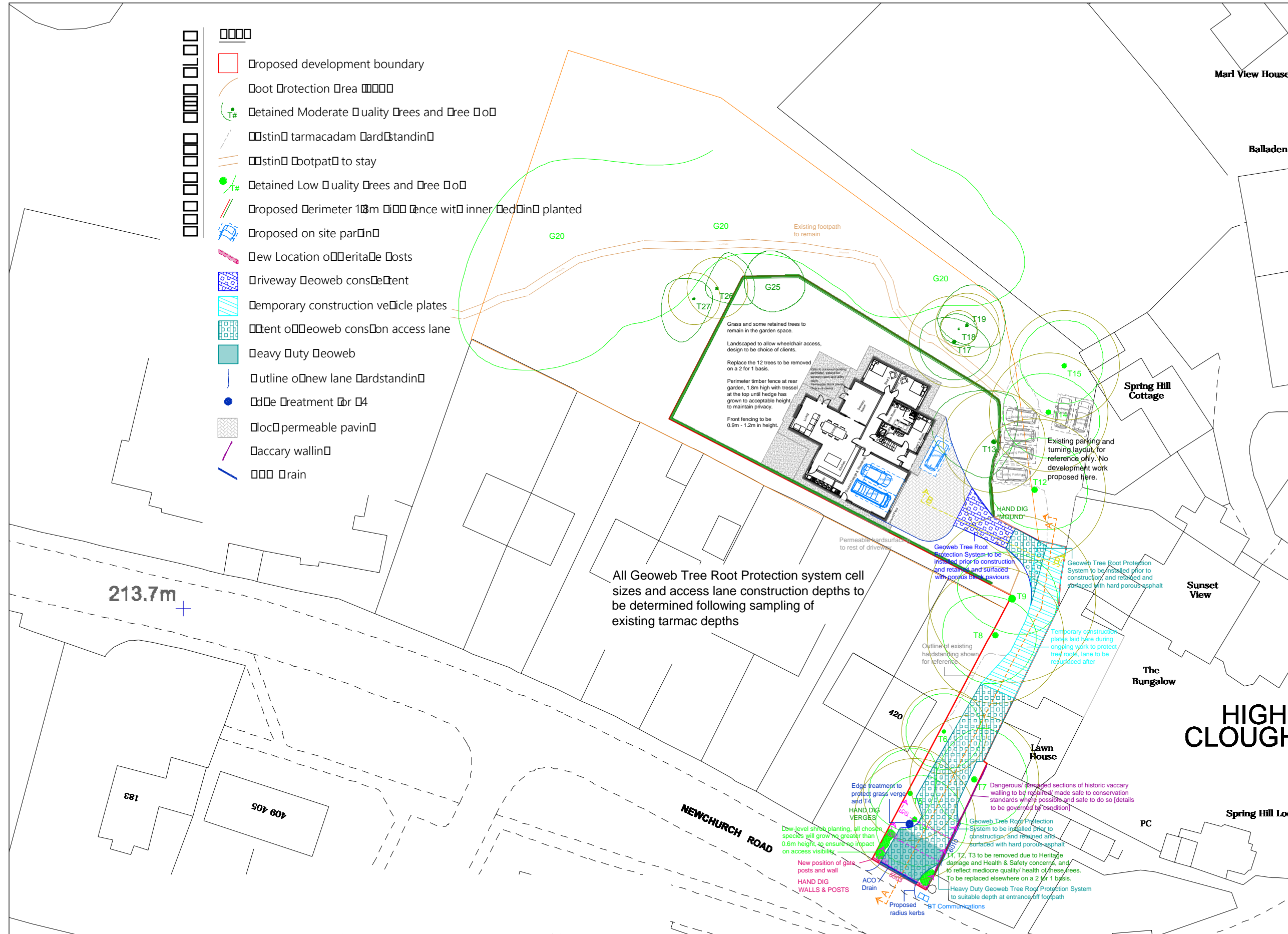
Project No: HAD3030-24 Drawn: NME

Client: Donna & Luke Mather Paper: A3

Date: 26-10-2018 Scale: 1:100

Amendments:

- Proposed development boundary
- Foot Protection Area
- Retained Moderate Quality Trees and Tree Co
- Retained Low Quality Trees and Tree Co
- Proposed Perimeter 1.8m fence with inner bed planted
- Proposed on site parking
- New Location of Heritage Posts
- Driveway Geoweb construction
- Temporary construction vehicle plates
- Tent of Geoweb construction access lane
- Heavy Duty Geoweb
- Outline of new lane hardstanding
- Edge Treatment for
- Local permeable paving
- Accracy walling
- Drain



All Geoweb Tree Root Protection system cell sizes and access lane construction depths to be determined following sampling of existing tarmac depths

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Amendments:

a - updated new lane hardstanding layout, T1, T2 and T3 to be removed, details of where Geoweb construction proposed to protect remaining tree roots, updated details of proposed perimeter for proposed garden space.

b - ACO Drain included at the end of the lane slope and section lines updated.



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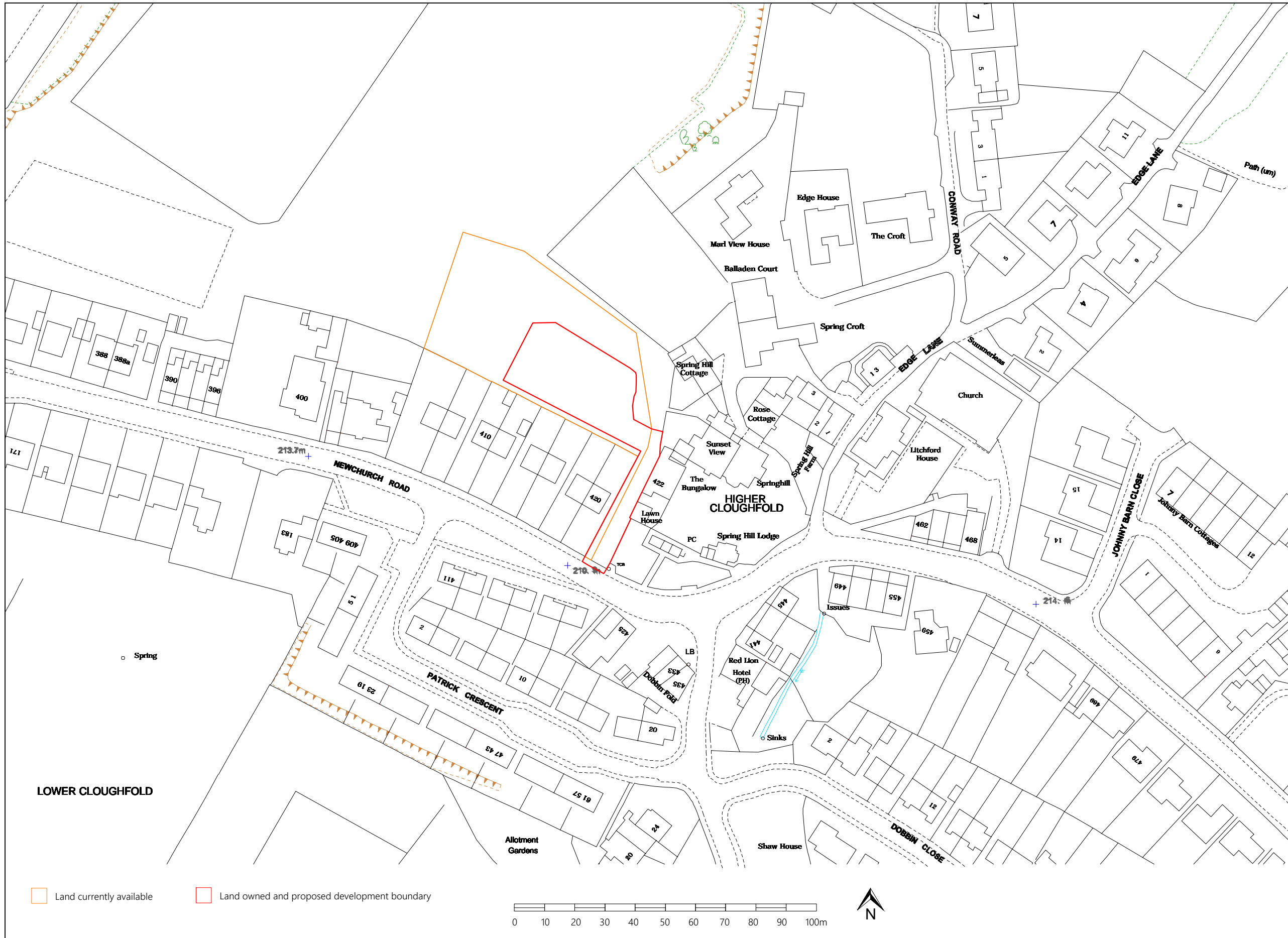
Title: New Build
 Rear of Newchurch Road
 Higher Cloughfold
 Rossendale
 Proposed Site Plan

Project No: HAD3030-36 **Drawn:** NME

Client: Donna & Luke Mather **Paper:** A3

Date: 07-05-2019 **Scale:** 1:500

Amendments:	a	b			
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Amendments:

a - amended red edge to include left hand side of lane due to widening the lane for Highways safety

b - red outer edge altered to match proposal



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Title: New Build
 Rear of Newchurch Road
 Higher Cloughfold
 Rossendale
 Location Plan

Project No: HAD3030-36 **Drawn:** NME

Client: Donna & Luke Mather **Paper:** A3

Date: 30-04-2019 **Scale:** 1:1250

Amendments:	a	b			
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Land currently available Land owned and proposed development boundary



LOWER CLOUGHFOLD

Allotment Gardens

Shaw House

HIGHER CLOUGHFOLD

Spring Hill Lodge

PC

Lawn House

422

420

410

400

396

390

388 388a

121

213.7m

NEWCHURCH ROAD

210.3m

PATRICK CRESCENT

111

110

109

108

107

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