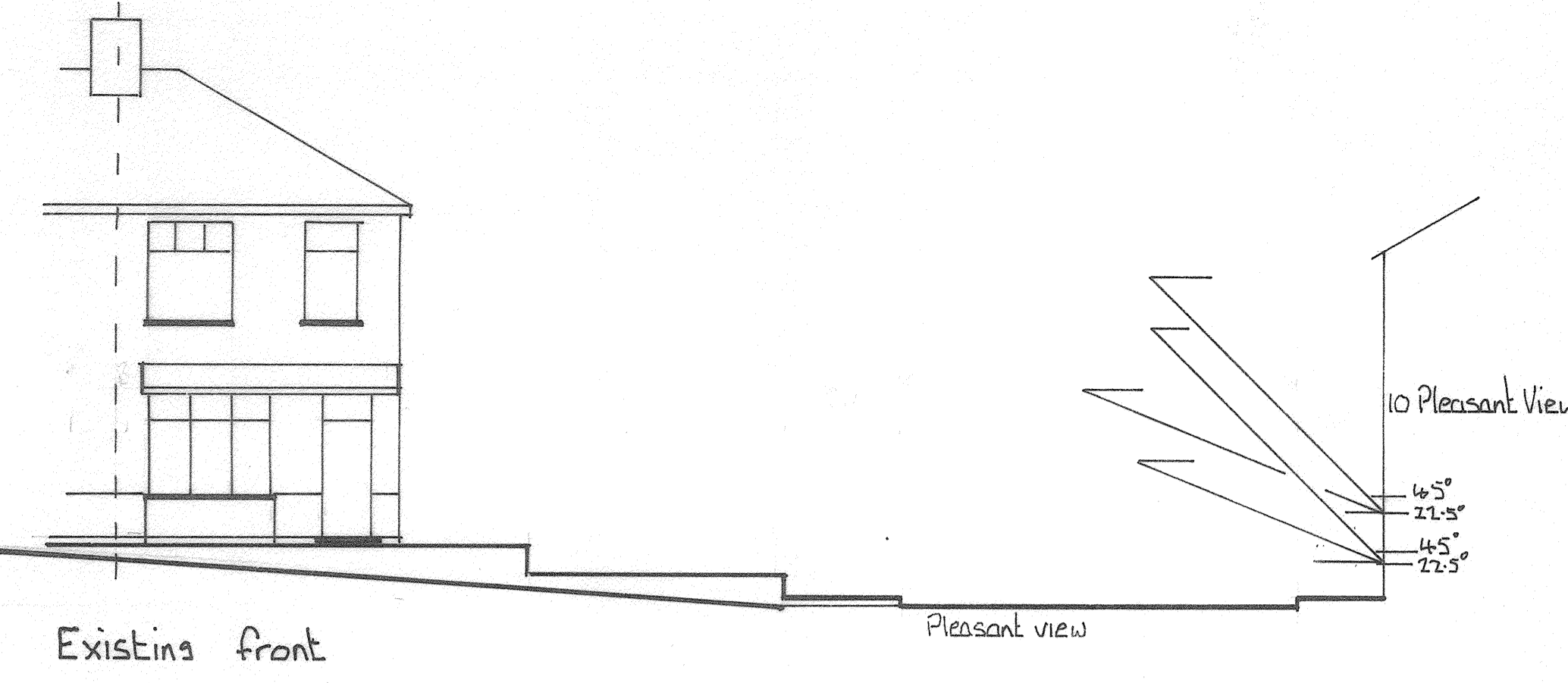


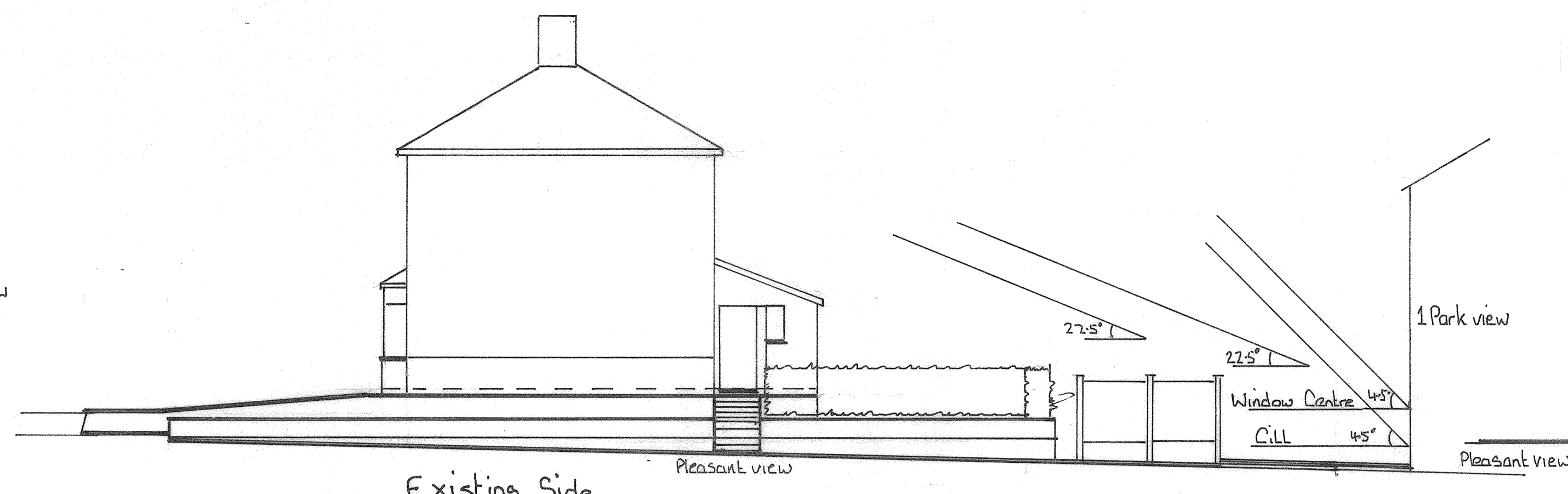
Borough of Rossendale
Approval of Planning Permission
This document forms part of notice
of approval dated...09..AUG 2005

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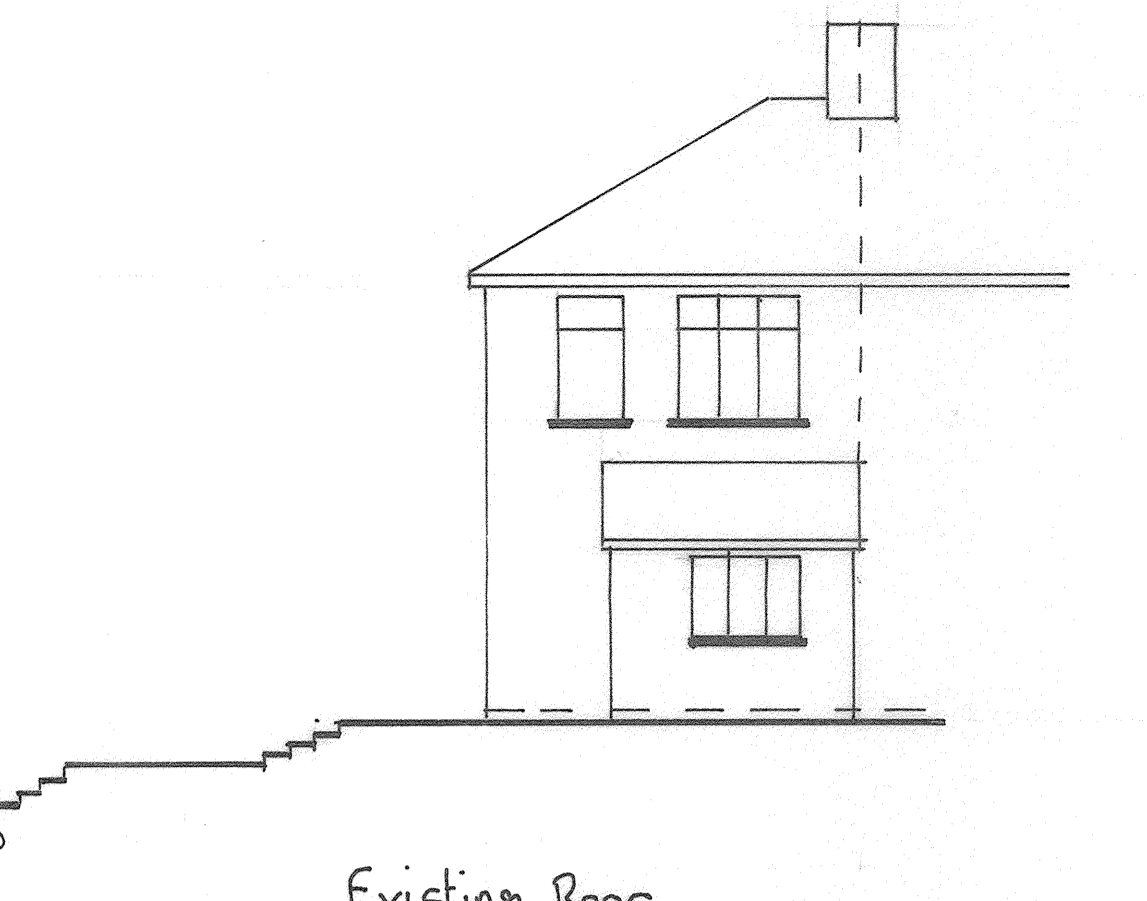
21 JUN 2005



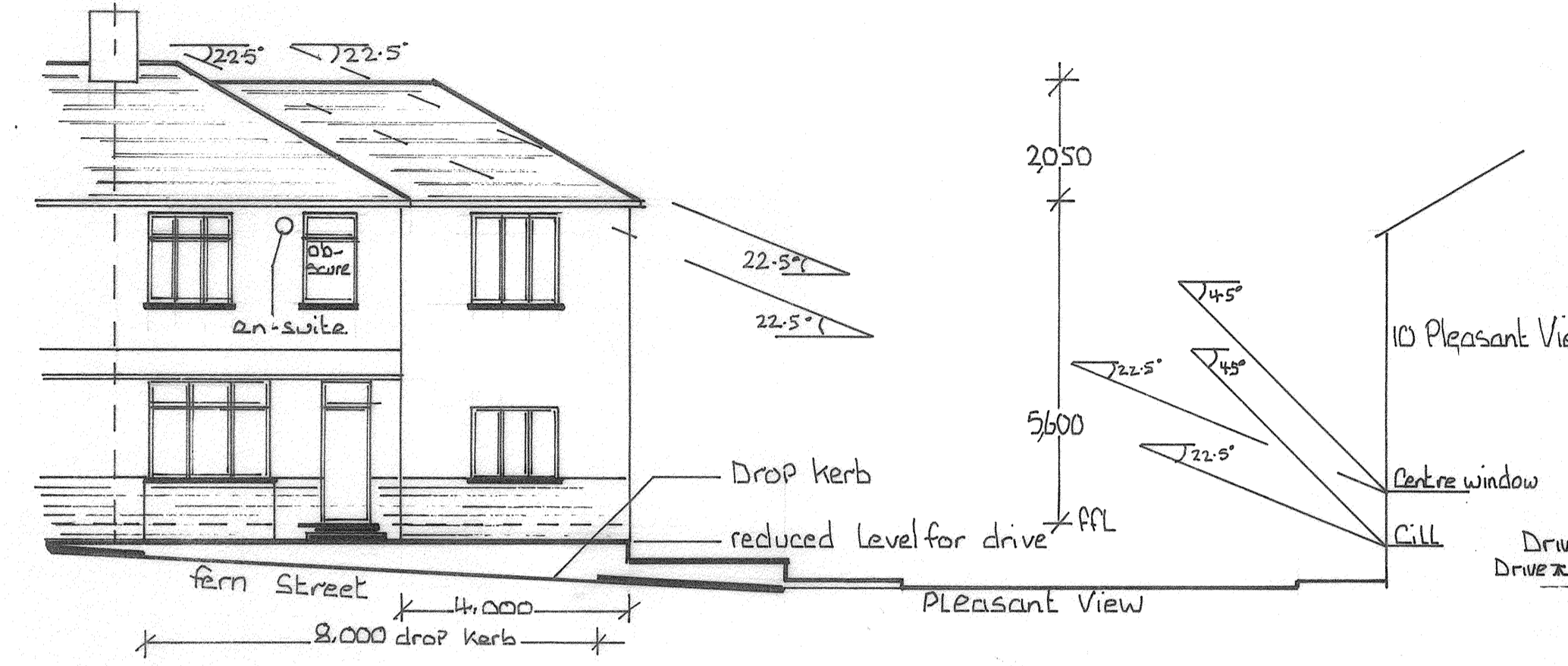
Existing front



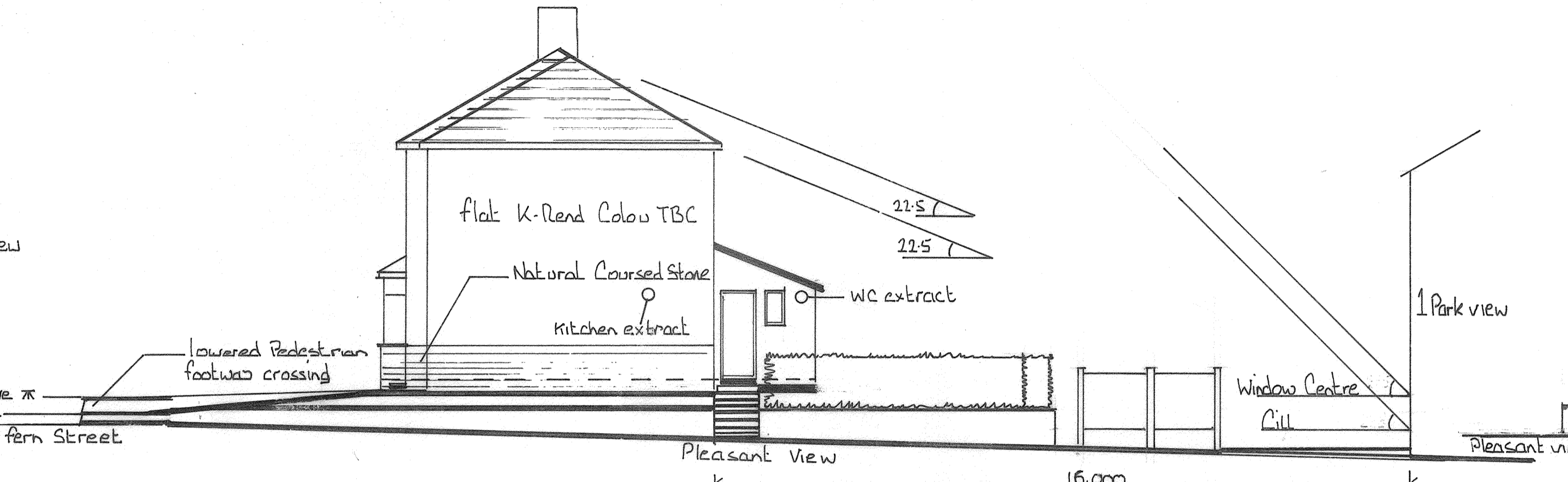
Existing Side



Existing Rear



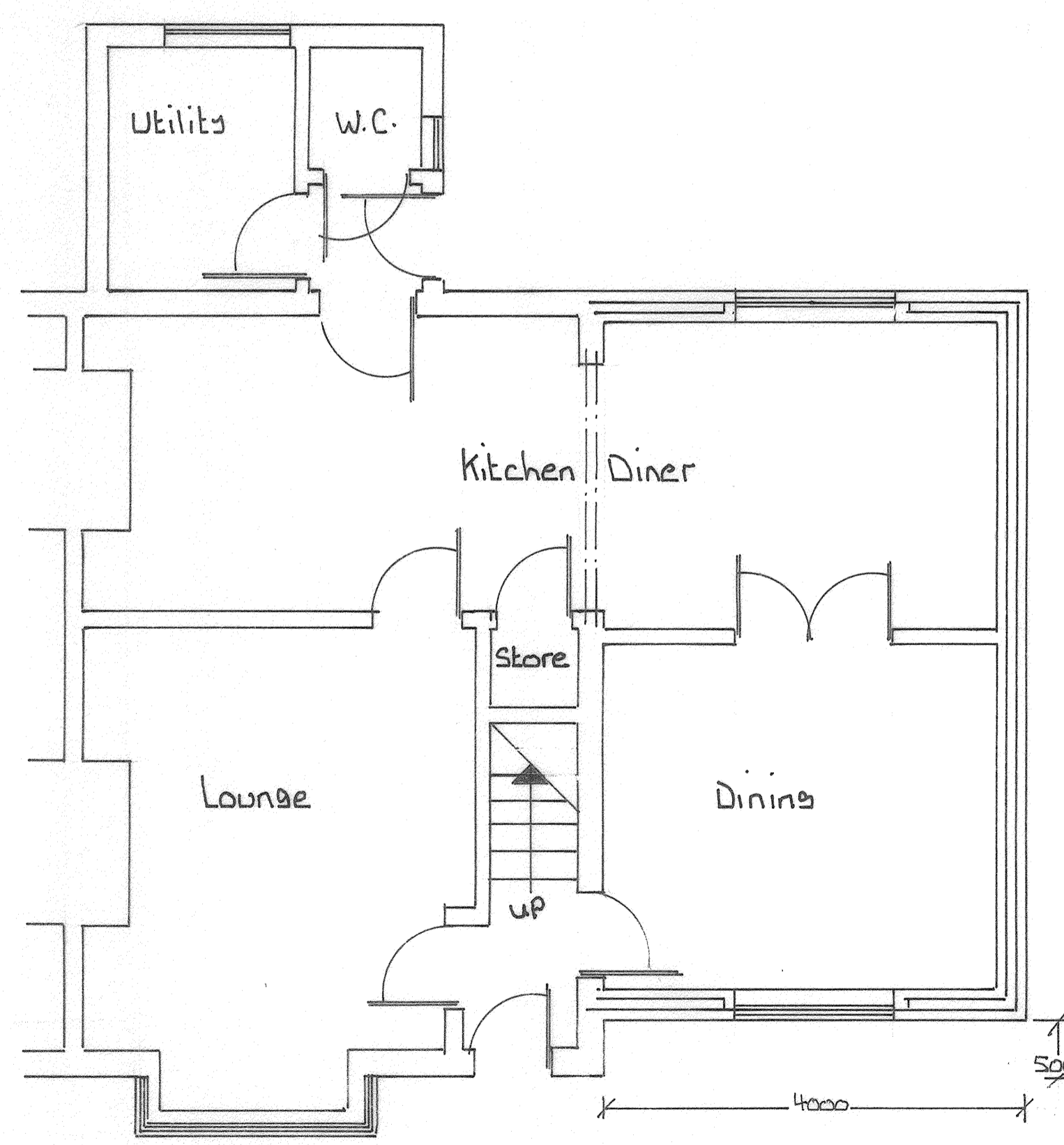
Proposed front



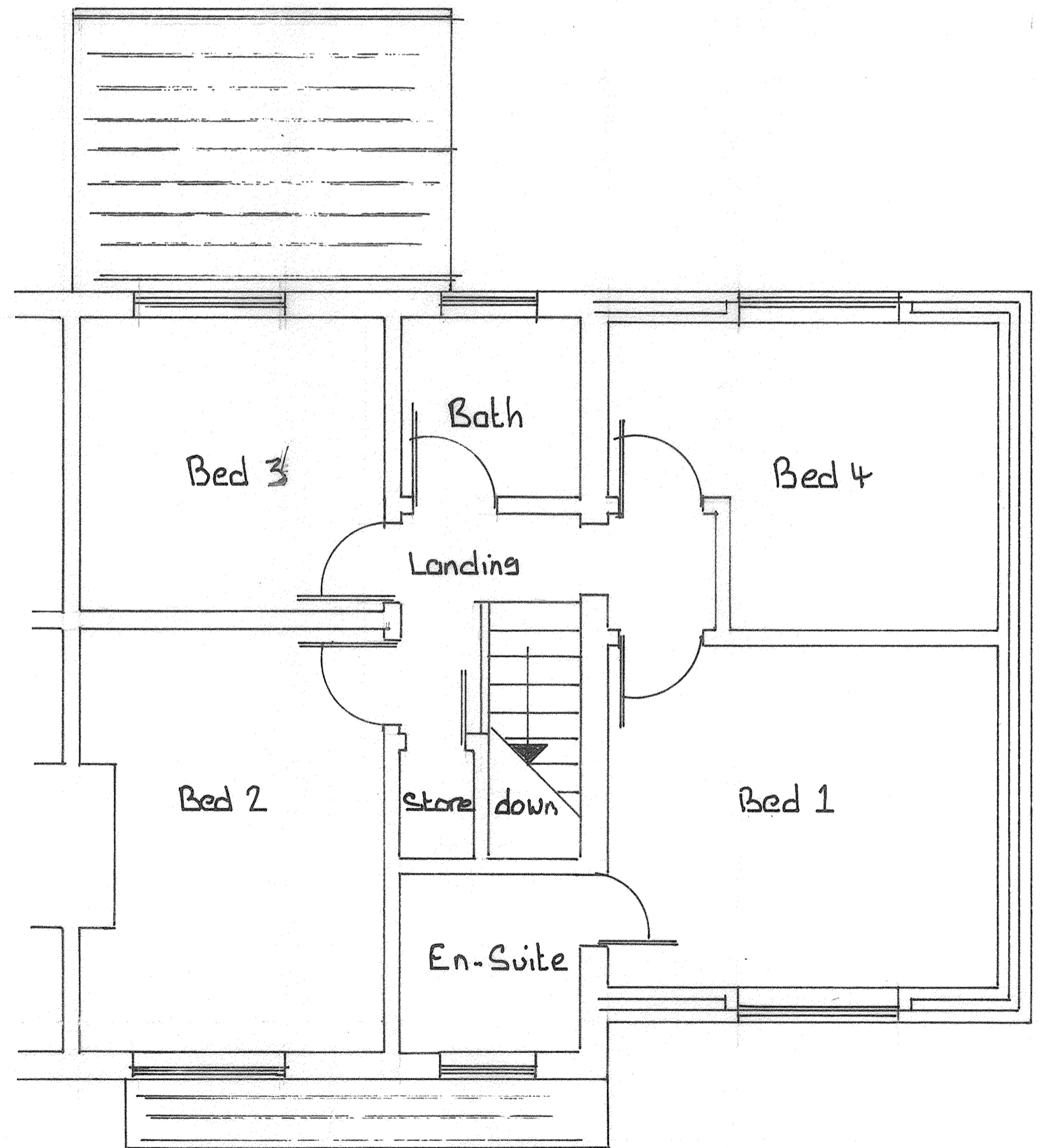
Proposed Side



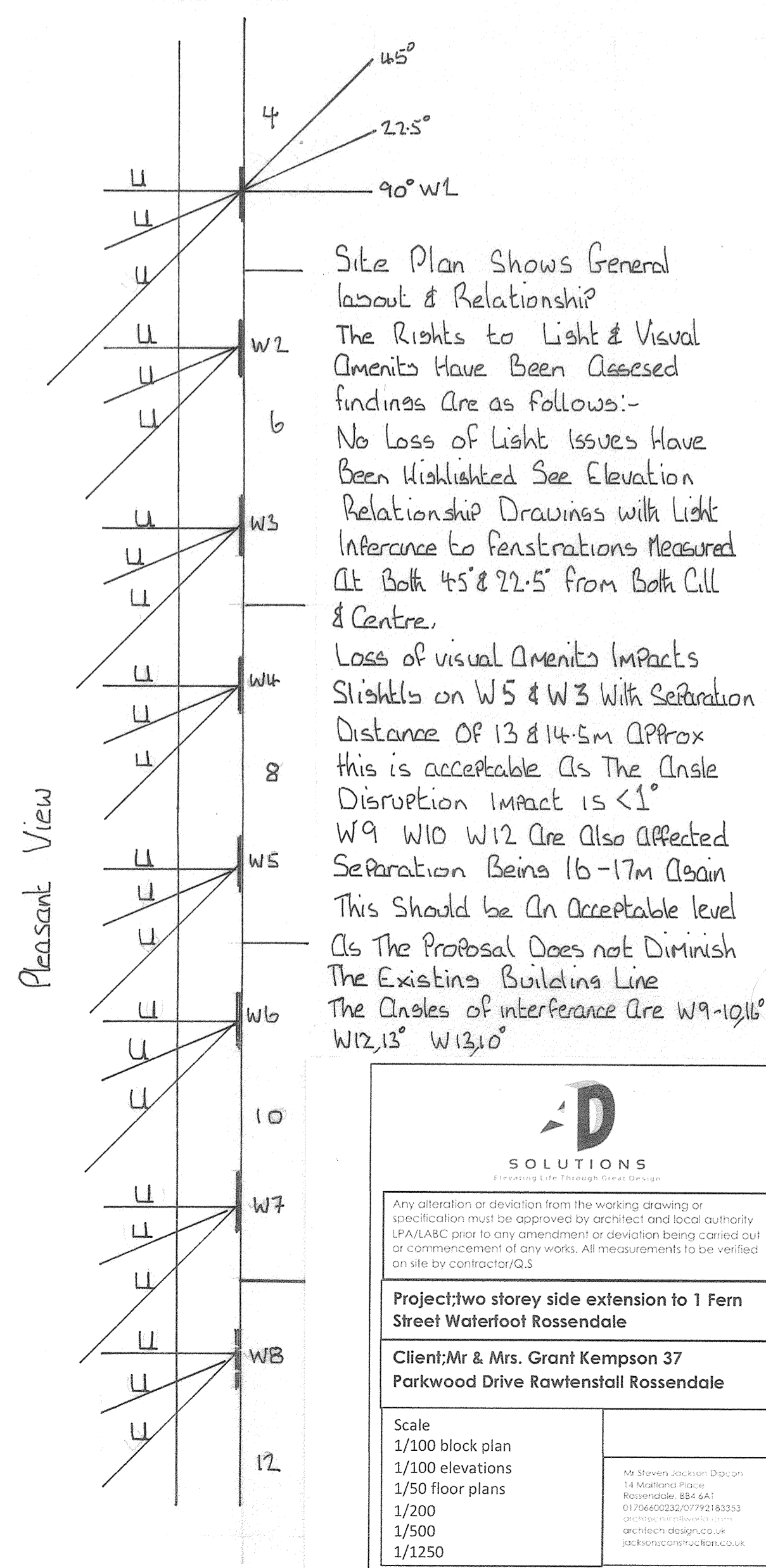
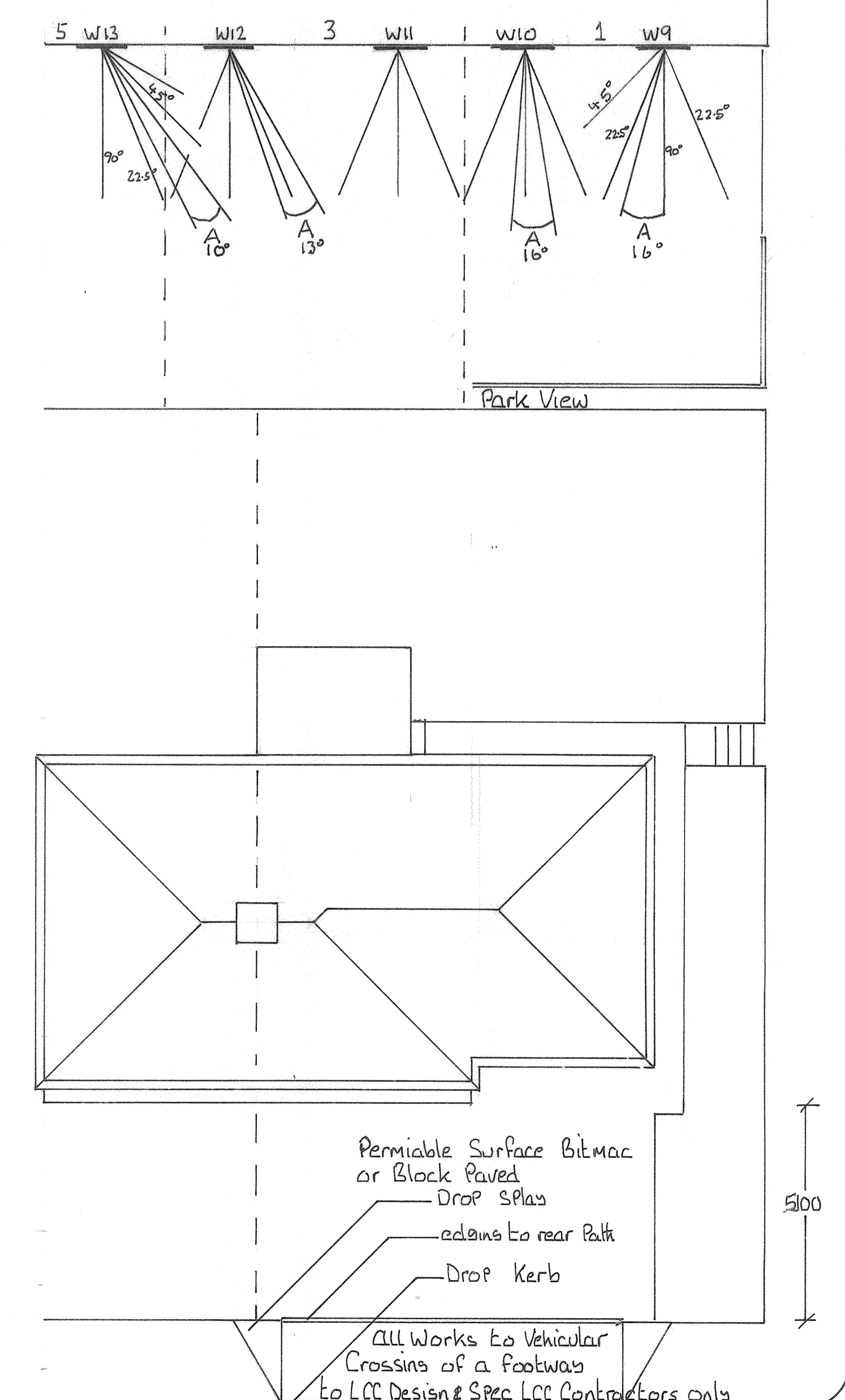
Proposed Rear



Ground floor Plan



1st floor Plan



Site Plan Shows General layout & Relationship
 The Rights to Light & Visual Amenities Have Been Assessed findings are as follows:-
 No Loss of Light Issues Have Been Highlighted See Elevation Relationship Drawings with Light Interference to fenestrations Measured at Both 45° & 22.5° from Both Cill & Centre.
 Loss of visual Amenities Impacts Slightly on W5 & W3 with Separation Distance of 13 & 14.5m Approx this is acceptable as the Angle Disruption Impact is <1°
 W9 W10 W12 are also affected Separation being 16-17m Again this should be an acceptable level as the Proposal does not diminish the Existing Building Line The Angles of interference are W9-10/16° W12,13° W13/10°

<small>Any alteration or deviation from the working drawing or specification must be approved by architect and local authority LPA/LASC prior to any amendment or deviation being carried out or commencement of any works. All measurements to be verified on site by contractor/D.S.</small>	
Project: two storey side extension to 1 Fern Street Waterfoot Rossendale	
Client: Mr & Mrs. Grant Kempson 37 Parkwood Drive Rawtenstall Rossendale	
Scale 1/100 block plan 1/100 elevations 1/50 floor plans 1/200 1/500 1/1250	<small>Mr Steven Jackson D.S. (arch) 14 Moorland Park, Rossendale, BB4 6AT 01756602202/07792143333 architects design ltd. uk info@architectsdesign.co.uk</small>